



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**600 Fatherland Street**  
**July 16, 2014**

**Application:** Demolition; New construction - infill; Setback determination.

**District:** Edgefield Historic Preservation Zoning Overlay

**Council District:** 06

**Map and Parcel Number:** 08216022300

**Applicant:** Preston Quirk, Architect

**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** Application is to demolish a non-contributing structure and to construct a new two-family dwelling. The infill requires a setback determination. Base zoning requires that primary structures on corner lots be located a minimum of ten feet (10') from the side street property line. In this case, the applicant is proposing to construct the new infill just eight feet (8') from the South 6<sup>th</sup> Street property line.

**Recommendation Summary:** Staff recommends approval of the demolition, new infill, and setback determination with the following conditions:

- The window and door selections are approved by MHZC Staff; and
- The exterior lighting and any permanent landscape features are approved by MHZC Staff.

With these conditions, staff finds that the project meets the applicable sections of the *Edgefield Historic Zoning District Handbook and Design Guidelines*.

**Attachments**

**A:** Photographs

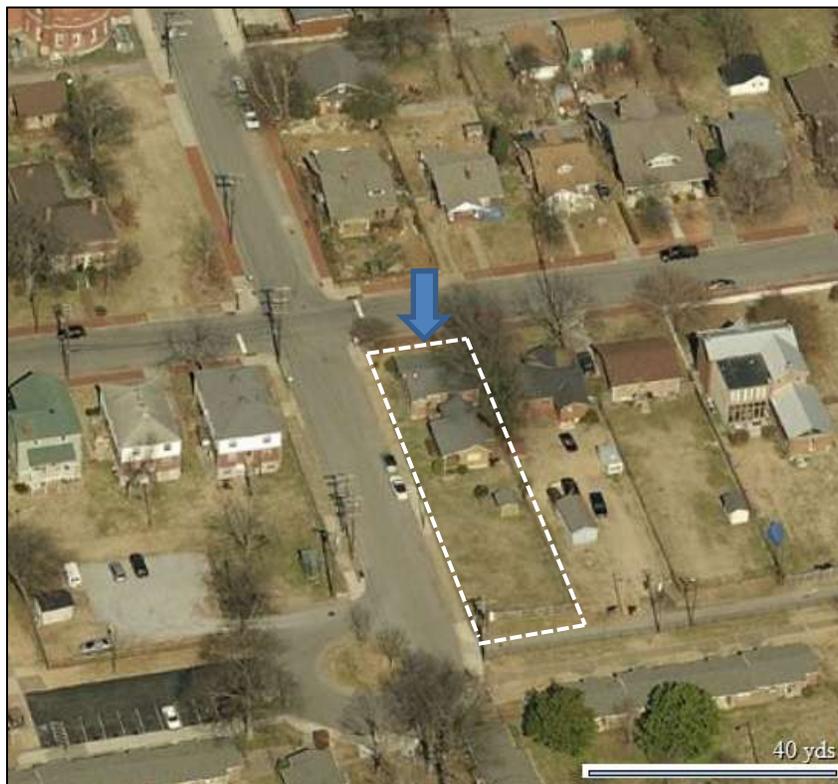
**B:** Site Plan

**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III.B.2 New Construction

- a . Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should reinforce that rhythm.
- b . Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- c . Building Shape: The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- d . Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- e . Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- f . Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- g . Materials Texture, Details, and Material Color: The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum sidings are not appropriate. *Materials include, but are not limited to, wood, brick, stone, mortar, roofing, concrete, and metals. The use of hardboard (Masonite) siding is recommended against. The material is made out of wood particles bound together with a glue. As a building passes from owner to owner it will go through years of good and bad maintenance. Despite manufacturers' claims, hardboard usually cannot withstand a bad-maintenance period without exhibiting its poor weathering characteristics. These can include dissolution and sagging; unprotected hardboard can literally soak up moisture like a sponge. However, because the material is a close visual approximation of true wood, and taking into consideration economic realities, the MHZC may approve the use of hardboard on new construction if the applicant installs the material according to manufacturer's specifications. Hardboard is not approved for additions to historic buildings.*

### IV.B.1 Fences

- a. Wood picket fences are appropriate in front or rear yards. Front yard fences can be up to 4' in height.
- b. Privacy fences are appropriate only around rear yards and can be up to 6' in height. *A rear yard is considered to be behind the mid-point on the side facades of a house. It is most appropriate for privacy fences to stop at the rear corners of a house.*
- d. Chain link or woven fences are generally not appropriate for front or visible side yards. They may be used in rear yards. If a portion of a rear fence is publicly visible, it should be camouflaged with plantings, or painted black or dark green.
- e. New or reclaimed iron fencing may be appropriate for pre-1900 houses. Iron fencing is generally not appropriate for later houses.

### IV.B.2 Permanent Built Landscape Features

- a. Walls, curbs, steps, pavement, gravel, driveways, lighting, walkways and other such appurtenances should not contrast greatly with the style of the associated house in terms of design, size, materials, material color and location, and should not contrast greatly with those original historic features of the surrounding buildings.
- b. Historic retaining walls in front and side yards should be retained.
- c. Satellite dishes (*over 3 feet in diameter*) are not appropriate.
- d. Permanently installed fixtures such as fountains or waterfalls should be based on documentary, physical, or pictorial historical evidence.

## V. DEMOLITION

### B. GUIDELINES

1. Demolition is not appropriate
  - a. if a building, or major portion of a building, contributes to the architectural or historical significance or character of the district.
2. Demolition is appropriate
  - a. if a building, or major portion of a building, does not contribute to the architectural or historical character or significance of the district; or
  - b. if a building, or major portion of a building, has irretrievably lost its physical integrity to the extent that it no longer contributes to the district's architectural or historical character or significance; or
  - c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.

**Background:** 600 Fatherland is located at the corner of Fatherland Street and South 6<sup>th</sup> Street, and contains a two-family dwelling constructed c. 1961. The structure is listed as non-contributing in the Edgefield Historic District National Register nomination.



600 Fatherland Street, front.



600 Fatherland Street, right side.

**Analysis and Findings:** The applicant proposes to demolish the existing two-family structure and to construct a new two-family structure in its place.

### Demolition

The structure at 600 Fatherland Street was constructed c. 1961, later than the era of architectural and historical significance for the Edgefield Historic Preservation Overlay. The structure's form, materials, window configuration, and orientation do not match the historic context of the Edgefield neighborhood, and the structure does not contribute to the neighborhood's architectural and historic character. Staff therefore finds that the demolition meets Section V.B.2. of the *Edgefield Historic Zoning District: Handbook and Design Guidelines* for appropriate demolition and does not meet Section V.B.1. for inappropriate demolition.

### Height & Building Shape

The new building will be a two-story tall two-family dwelling, with a form similar to that of an historic American Foursquare with a hipped roof and a pair of hipped-roof front porches.

The peak of the roof will be twenty-eight feet, six inches (28'-6") above the finished floor level and the eaves will be twenty feet (20') above the floor level. With an eight-inch (8") wide water-table band and a foundation height matching nearby historic houses at approximately two feet (2') tall, the new building will have a total height of approximately thirty-one feet (31'). The surrounding area comprises one and two story historic houses, ranging from twenty-four feet (24') tall to thirty-one feet (31') tall.

The building will be thirty-seven feet (37') wide on the front, with the side elevation extending fifty-feet (50') toward the rear. The front porches will be twelve feet (12') wide and six feet (6') deep. Covered screened porches at the rear will extend another ten feet (10'), but they will be set in from the sides of the structure so as to be subordinate in their massing. In the surrounding area there are several historic houses that are the same width or wider, including two-story houses at 606 and 610 Fatherland Street.

Staff finds that the scale and shape of the building are compatible with the surrounding context, as the building will match the height and width of several nearby historic houses. Staff finds that the proposal meets Sections III.B.2.b and III.B.2.c of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

### Setback & Rhythm of Spacing

The front edge of the building will be thirty-two feet (32') from the front of the property, which is compatible with the front setbacks of historic houses nearby. The proposed building will be located five feet (5') from the left side of the property and eight feet (8') from the right. These side setbacks are also compatible with historic houses, but the right side setback is two feet (2') shorter than the bulk zoning regulations would require because the lot is on a corner. Staff finds that the proposed setbacks are appropriate because the location and scale of the building will be compatible with the historic context

and the setback is similar to what is found in the district. The house across South 6<sup>th</sup> Street is also approximately eight feet (8') from the side property line.

Staff finds that the structure's setback determination and rhythm of spacing meet Section III.B.2.a of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

#### Roof Form

The primary roof of the new building will be hipped, with a ridge running front-to-back and a pitch of 5:12. The porch roofs will be hipped as well, with a slightly lower 4:12 pitch. These roofs are compatible with those on surrounding historic structures.

Staff finds that the structure's roof form meets Section III.B.2.d of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

#### Orientation

The new building will be constructed with both entrances on the front façade, as was typical of historic multi-family structures. Both dwellings will have a twelve foot (12') wide by six foot (6') deep front porch, connected to the street by a concrete front walkway.

Staff finds that the structure's orientation is compatible with surrounding historic buildings and meets Section III.B.2.e of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

#### Proportion and Rhythm of Openings

The windows on the proposed new construction are all generally twice as tall as they are wide, and the upperstory windows will not be taller than those on the first story. These proportions are compatible with the window sizes on historic buildings. There are no large expanses of wall space without a window or door opening.

Staff finds that the structure's proportion and rhythm of openings meet Section III.B.2.f of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

#### Materials, Texture, and Details and Material Color

The exterior materials of the new building will include a split-faced block foundation and smooth cement-fiber siding with a five inch (5") reveal. The primary roof will be asphalt shingles in a weathered wood color, and the porch roofs will be unpainted metal. The porch columns will be wood and the exterior trim will be a painted wood-composite. The porch will have a concrete floor and stairs with a wooden handrail. The windows will also be wood, and the front doors will be wood or fiberglass. With the staff's final approval of the window and door selections, staff finds that the structure's materials meet Section III.B.2.g of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

### Fences, Landscape Features, and Utilities

The building will have a pair of concrete parking pads at the rear of the lot, accessed from the alley, and a pair of concrete walkways connecting the front porches to the sidewalk. A six foot (6') tall wooden privacy fence will enclose the rear yard. The structure will also have external HVAC units on both side elevations; however they will be behind the mid-point of the structure so as to minimize their visibility. Because 600 Fatherland Street is located in a Historic Preservation Overlay, any exterior lighting and any other landscape features need to be reviewed and approved.

With a condition that Staff review any exterior lighting and any other landscape features, Staff finds that the proposal will meet Sections IV.B.1., IV.B.2, and IV.B.4 of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

**Recommendation:** Staff recommends approval of the demolition, new infill, and setback determination with the following conditions:

- The window and door selections are approved by MHZC Staff; and
- The exterior lighting and any permanent landscape features are approved by MHZC Staff.

With these conditions, staff finds that the project meets the applicable sections of the *Edgefield Historic Zoning District: Handbook and Design Guidelines*.

**Context Photos:**



604, 602, 600 Fatherland Street. All are non-contributing structures.



Historic structure at 606 Fatherland, to the west of 600 Fatherland Street.



Historic structures at 612 and 610 Fatherland, to the west of the site.



601 and 603 Fatherland Street, across the street from the site.



603 and 605 Fatherland Street, across the street from the site



603, 605, and 607 Fatherland Street, across the street and to the west of the site.

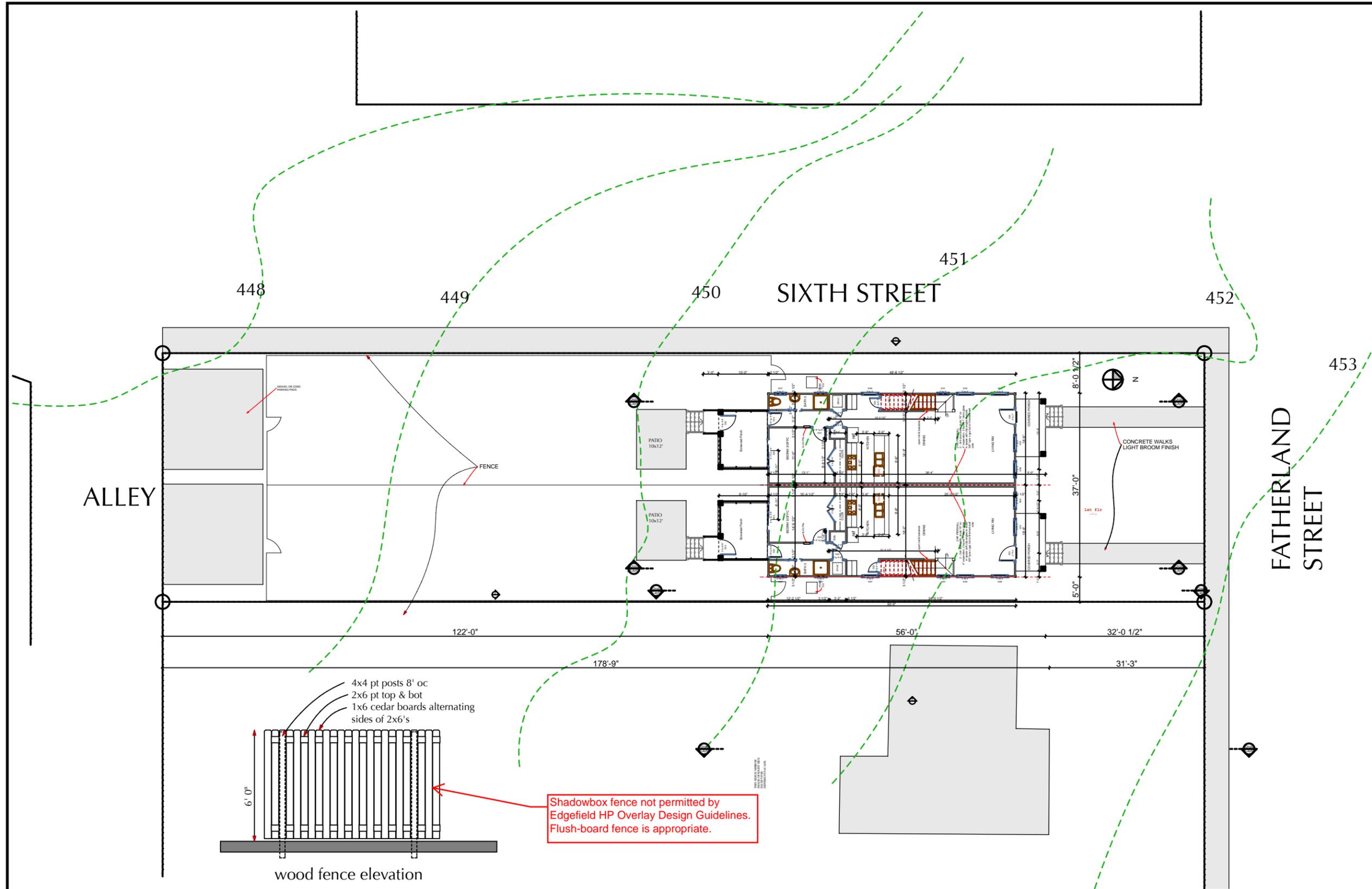


Houses across South 6<sup>th</sup> Street from the site include 546 Fatherland (left, non-contributing), 542 Fatherland (middle, non-contributing), and 538 Fatherland (right, contributing).



View of the apartments located behind 600 Fatherland Street.

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2814 BERRY HILL DRIVE  
SUITE 200  
NASHVILLE, TN 37204  
Phone: (615) 289-9248 Fax: (615) 627-1298  
email: quirkdesigns@comcast.net



PHONE:  
W335-0732  
H296-1508

600 Fatherland St.  
Jeff Zeitin  
600 Fatherland St.  
Nashville, TN 37206

DATE: 7/3/14  
REVISION

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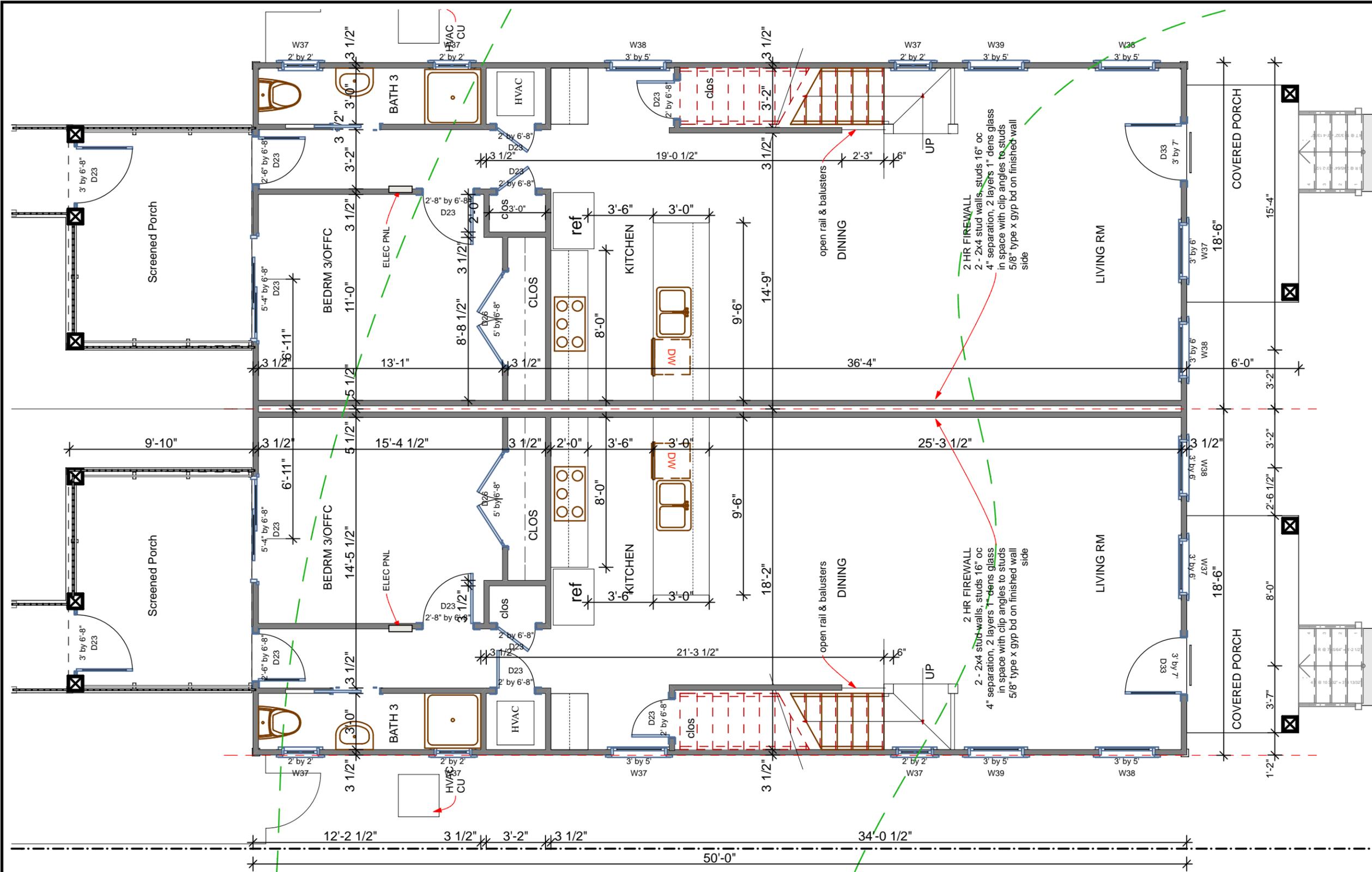
SITE PLAN

C1  
SHEET 1

# 1 SITE PLAN

SCALE: 1" = 20'

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1

# 1ST FLOOR PLAN

SCALE: 3/16" = 1'-0"

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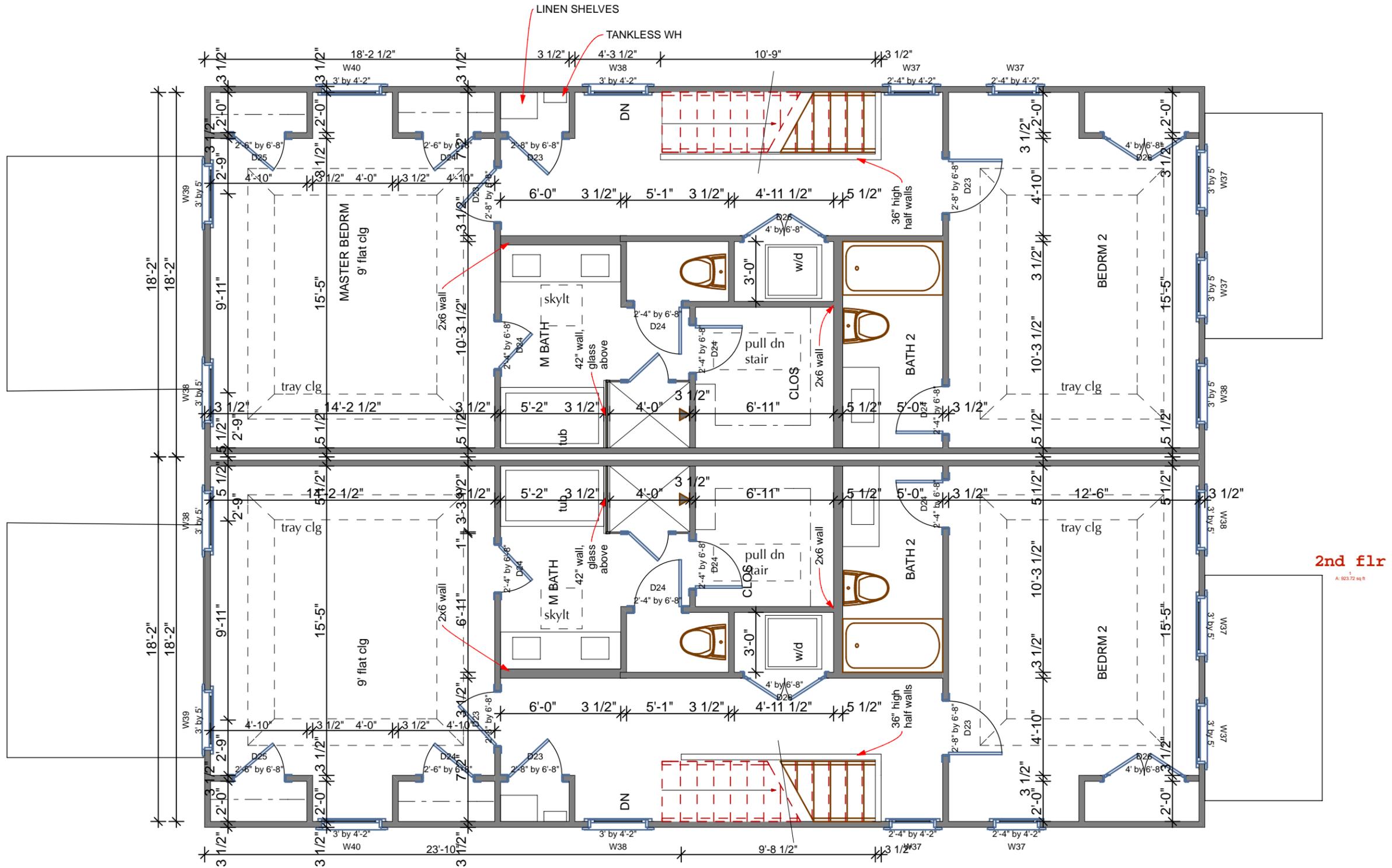
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1ST FLOOR PLAN

A1

SHEET 2

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2nd flr  
A: 923.72 sq ft

1

# 2ND FLR PLAN

SCALE: 3/16" = 1'-0"

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**QUIRK DESIGNS**

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2ND FLR PLAN

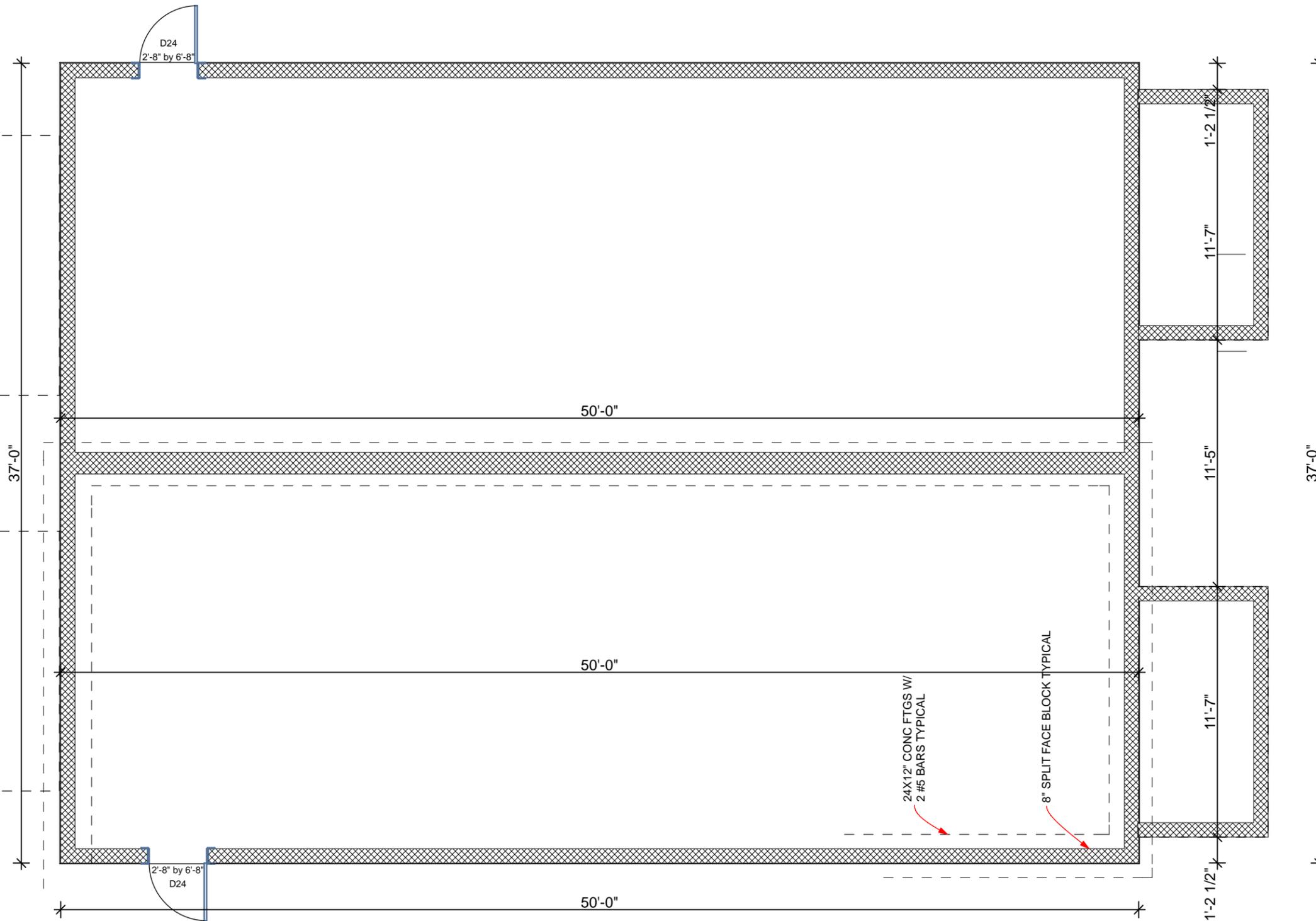
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SHEET 3

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1

# FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



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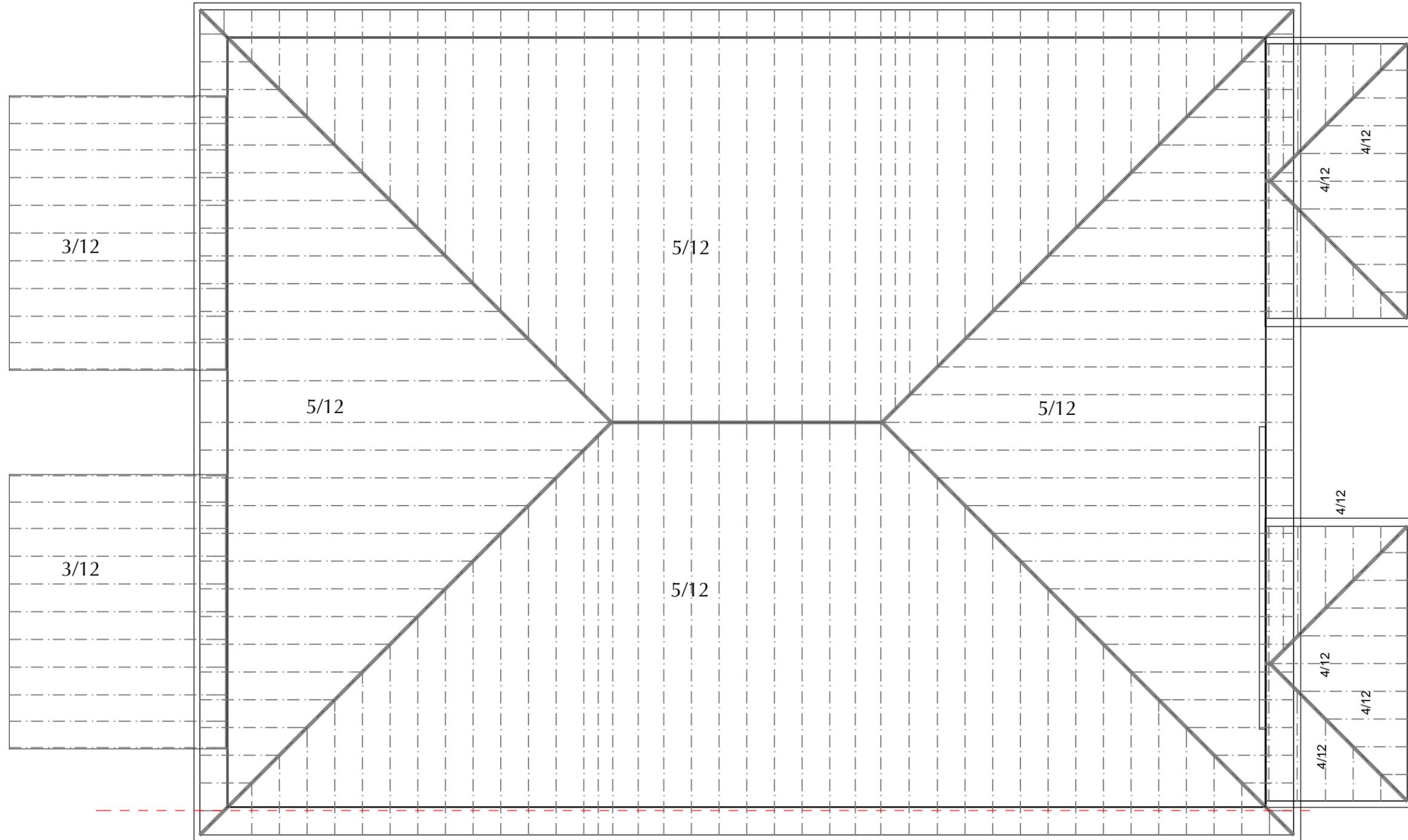
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FOUNDATION PLAN

A3  
SHEET 4

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1

# ROOF PLAN

SCALE: 3/16" = 1'-0"

2818 BERRY HILL DRIVE  
SUITE 200  
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ROOF PLAN

A4

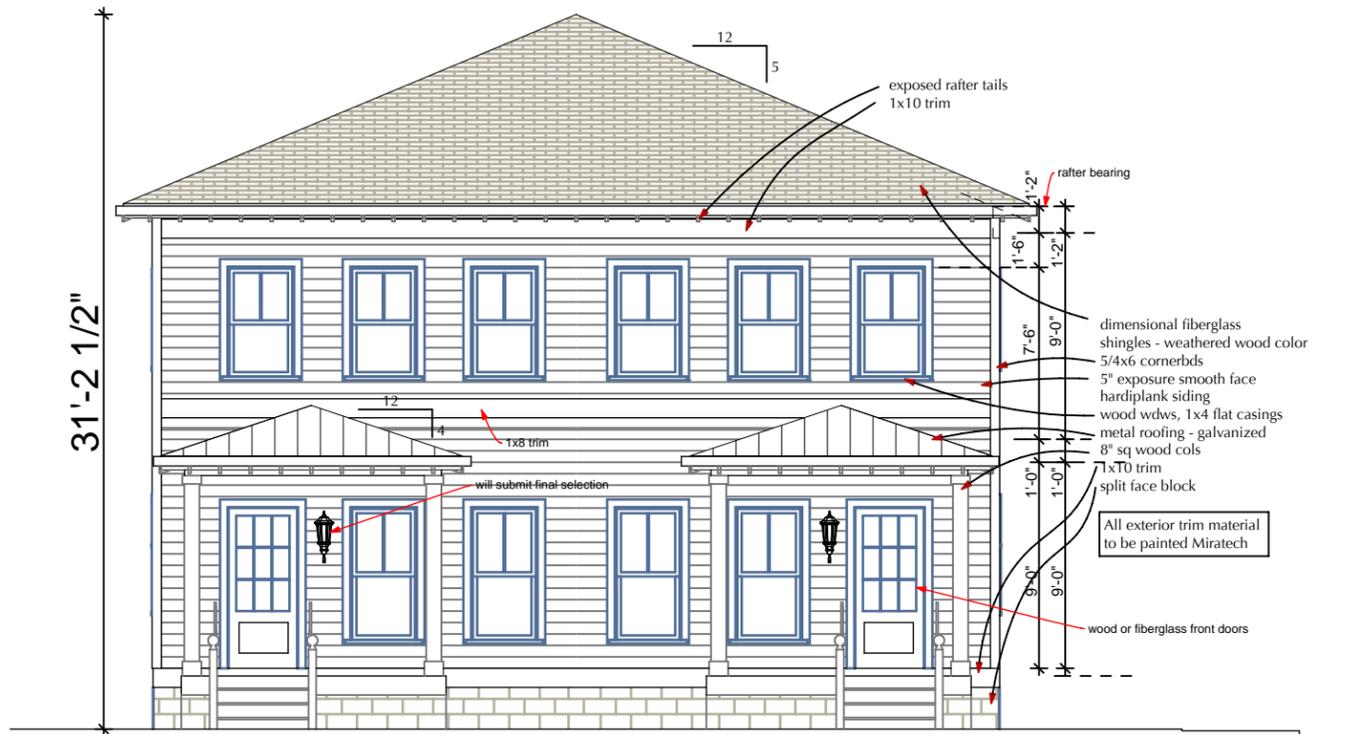
SHEET 5



2

REAR ELEVATION

SCALE: 1/8" = 1'-0"



1

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

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2831 BERRY HILL DRIVE  
SUITE 200  
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FRONT, REAR ELEV

A5

SHEET 6



**1** RIGHT ELEV  
SCALE: 1" = 10'



**2** LEFT ELEV  
SCALE: 1" = 10'

SEE FRONT ELEVATION FOR  
TYPICAL MATERIALS NOTES

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SUITE 200  
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**QUIRK DESIGNS**

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SIDE ELEV

A6  
SHEET 7

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