



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1114 North 14th Street
August 20, 2014

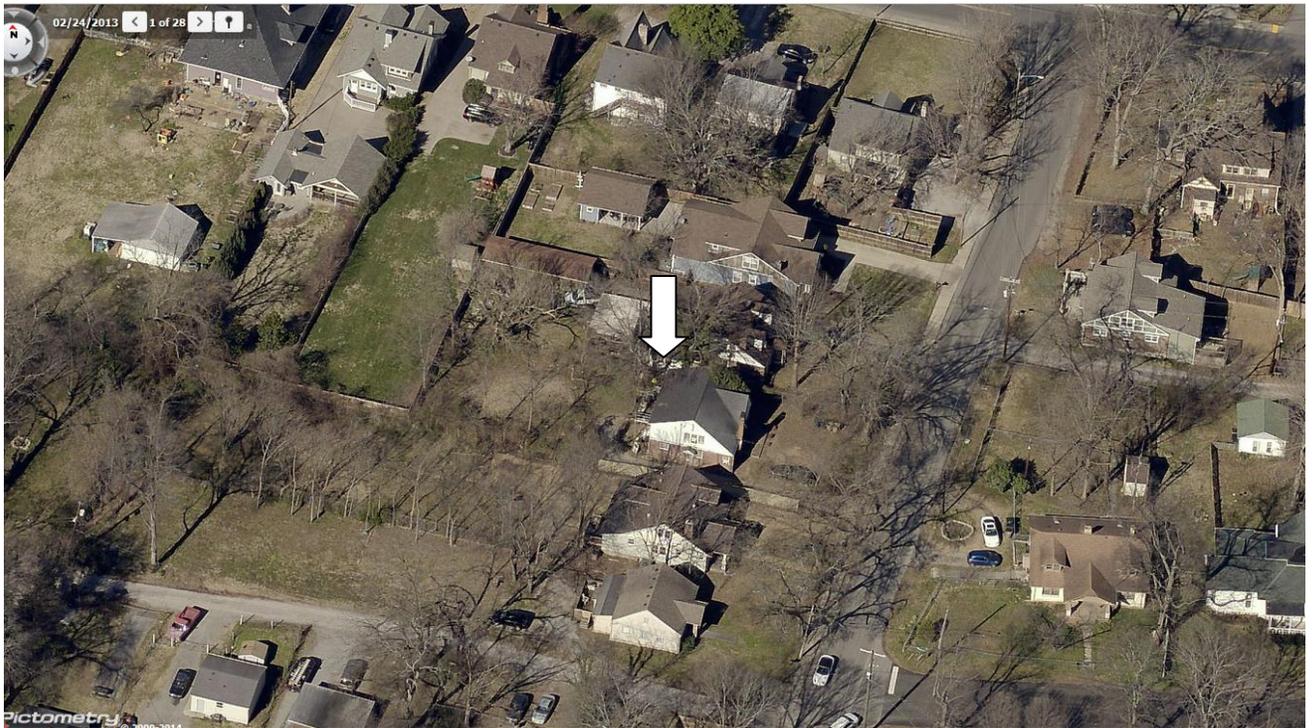
Application: New construction-addition & outbuilding
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08301032100
Applicant: Peggy Newman
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: The applicant proposes construction of a rear addition to the house, and an outbuilding.</p> <p>Recommendation Summary: Staff recommends approval with the conditions that:</p> <ul style="list-style-type: none"> • The proposed one foot (1’) overhang be removed from the plans to maintain the existing eaves of the historic house; • Staff approve the dimensions and details of windows and doors, and the color of the roofing material; • HVAC shall be located at the rear of the house, or on a side façade beyond the midpoint of the house, if a new location is needed; and • The driveway be two concrete strips. <p>With these conditions, Staff finds that the project meets section II.B of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Generally, curb cuts should not be added.

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utilities connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

h. Outbuildings

1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board - and -batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim). Generally, the minimum roof pitch appropriate for outbuildings is 12:4. Decorative raised panels on publicly visible garage doors are generally not appropriate. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels. Publicly visible windows should be appropriate to the style of the house.

Roof

- *Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.*
- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.*
- *The front face of any dormer must be set back at least 2' from the wall of the floor below.*

Windows and Doors

- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*

Siding and Trim

- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4") (nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4") (nominal) casings are required around doors, windows, and vents within clapboard walls. (Brick molding is not appropriate on non-masonry clad buildings.)*
- *Brick molding is required around doors, windows, and vents within masonry walls.*

- 2) *Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.*

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

1. *where they are a typical feature of the neighborhood*
2. *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

i Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

II.B. 2. Additions

- a. *Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.*

Additions normally not recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic buildings that increase habitable space or change exterior height should be compatible, by not contrasting greatly, with the adjacent historic buildings.

Placement

- *Additions should be located at the rear of the existing structure.*
- *Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*
- *Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*
- *In rare and special circumstances an addition may rise above or extend wider than the existing building, however, no part of any addition may simultaneously rise higher and extend wider than the existing building.*

Foundation

- *Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding) since the change in materials will allow for a minimum of a four inch (4") inset.*
- *Foundation height should match or be lower than the existing structure.*
- *Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in materials or a change in masonry coursing, etc.*

Roof

- *The height of the addition's roof and eaves must be less than or equal to the existing structure.*
- *Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*
- *Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building.)*

- b. The creation of an addition through enclosure of a front porch is not appropriate.
- c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- e. Additions should follow the guidelines for new construction.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or

- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

Background: The brick Tudor revival-style home at 1114 North 14th Street dates to 1930 and is a contributing building to the Eastwood Neighborhood Conservation Zoning Overlay.



Analysis and Findings: The applicant proposes a rear story-and-a-half addition and an outbuilding.

Partial-Demolition: The project calls for demolition of most of the rear wall of the existing house. This partial demolition is not detrimental to the historical integrity of the house or the district.

The project meets section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

Height & Scale: The addition will set in two feet (2') on each side for a total width of twenty-eight feet and one inch (28'1"). The existing house is brick to grade. The addition will go to grade and will have a one foot (1') trim board at the foundation height. The eave height will match that of the house. The addition will add twenty-three feet and three inches (23'3") of depth to the house's existing thirty-two feet and eleven inches (32'11"). It will add a footprint of approximately six hundred and fifty-four square feet (654 sq. ft.) A screened porch and deck will add another ten feet (10') to the rear. The project meets section II.B.1.a.and b for height and scale, and II.B.2 for additions.

Location & Removability: The location of the addition at the rear of the house will not disturb the front or side facades. It will be separated from the house with a two-foot (2') inset, leaving the rear corners of the house exposed. If the addition were to be removed in the future, the house's original form would remain intact. The project meets sections II.B.2.a and d.

Design: The design of the addition is distinguished from the design of the historic building with a change of material from brick to siding and with the two-foot (2') inset. The design is compatible with the size, scale, and character of the context. The project meets section II.B.2.

Setback: The addition will be thirteen feet, ten inches (13'10") from the left side property line, and fifteen feet, eight inches (15'8") from the right side. It will be sixty-nine feet and four inches (69'4") from the rear property line. It meets zoning requirements of five feet (5') on the sides and twenty feet (20') from the rear. The project's setbacks meet section II.B.1.c.

Materials: The addition will be clad in smooth face cement fiber board with a five inch (5") reveal. The trim will be wood or fiber cement board. Deteriorated stucco in the gable fields of the existing house will also be replaced with fiber cement siding. The roof will be architectural fiberglass shingles; staff requests to approve the color of the roofing material. The windows on the addition and the house will be double-hung wood windows. Staff asks to approve the final window and door selections. The rear porch will have trim and board and batten of wood or cement fiber board, and a wood deck and railing. The foundation line is differentiated visually from the primary wall material with a trim board.

A concrete driveway is proposed over the existing dirt drive. . A concrete driveway is proposed to replace the existing one. Staff recommends that the new driveway be two concrete strips with a central grassy median. With the staff's final approval of the roofing color, windows and doors, and design of driveway staff finds that the known materials meet section II.B.1.d.

Roof form: The addition's gabled roof form is common in historic districts. The 4/12 roof pitch is the same as the rear roof of the house.

The project proposes the alteration of the historic design of the roof by adding a one foot overhang. Overhanging roof eaves are not common of this type of historic building and this era of historic construction. Staff recommends that the original roof design remain as it is. The project meets section II.B.1.e.

Proportion and Rhythm of Openings: The applicant is proposing to add two windows to the left side of the existing house, toward the rear. In this minimally visible location, the proposed windows will not significantly impact the historical character of the house. The windows on the addition are generally twice as tall as they are wide, thereby meeting the historic proportions of openings. The door opening on the left side of the house will remain as a doorway, but will not be used. The awning over that side door is falling off the house currently, and is proposed to be removed. The longest expanse of wall space without a window or door opening is nine feet (9') on the right side. Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities: There is an existing gravel driveway at the left side of the house. No other changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be

located on the rear façade, or on a side façade beyond the midpoint of the house, if a new location is needed. With this condition, staff finds that the project meets section II.B.1. i.

Outbuildings: The proposed outbuilding will be a one-story garage. It will be twenty-three feet nine inches (23'9") by twenty-two feet nine inches (22'9") for a footprint of five hundred and forty-two square feet (542 sq. ft.). It will be fifteen feet, six inches (15'6") tall. Its eave height will be nine feet (9'), compared to the ten foot (10') eave height of the house. Its ridge height will be fifteen feet, six inches (15'6") compared to the twenty-five foot (25') ridge of the house. Its location at the rear of the lot is appropriate for an outbuilding. The outbuilding will be accessed via a driveway from the street. Its gabled roof and 6/12 pitch are common in historic districts.

The materials include fiber cement siding with a five inch (5") reveal, wood or fiber cement trim boards, and architectural shingles. The drawings submitted indicate the outbuilding will be siding to grade.

The outbuilding will be located five feet (5') from the left side, twenty-two feet (22') from the right side, and twelve feet, two inches (12'2") from the rear property line, meeting setback requirements. With the condition that the outbuilding have two separate garage doors rather than one large one, the project will meet section II.B.1.h of the design guidelines.

Recommendation:

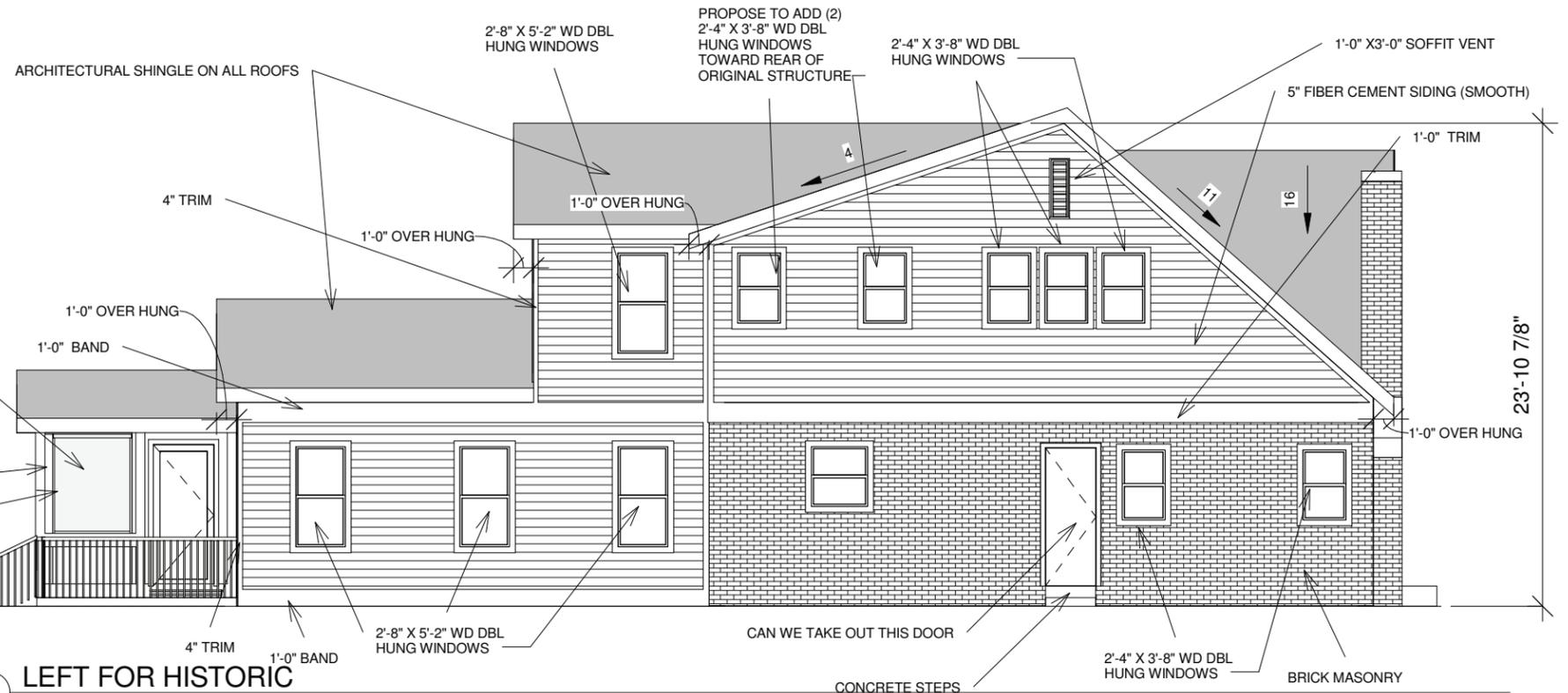
Staff recommends approval with the conditions that:

- The proposed one foot (1') overhang be removed from the plans to maintain the existing eaves of the historic house;
- Staff approve the dimensions and details of windows and doors, and the color of the roofing material;
- HVAC shall be located at the rear of the house, or on a side façade beyond the midpoint of the house, if a new location is needed; and
- The driveway be two concrete strips.

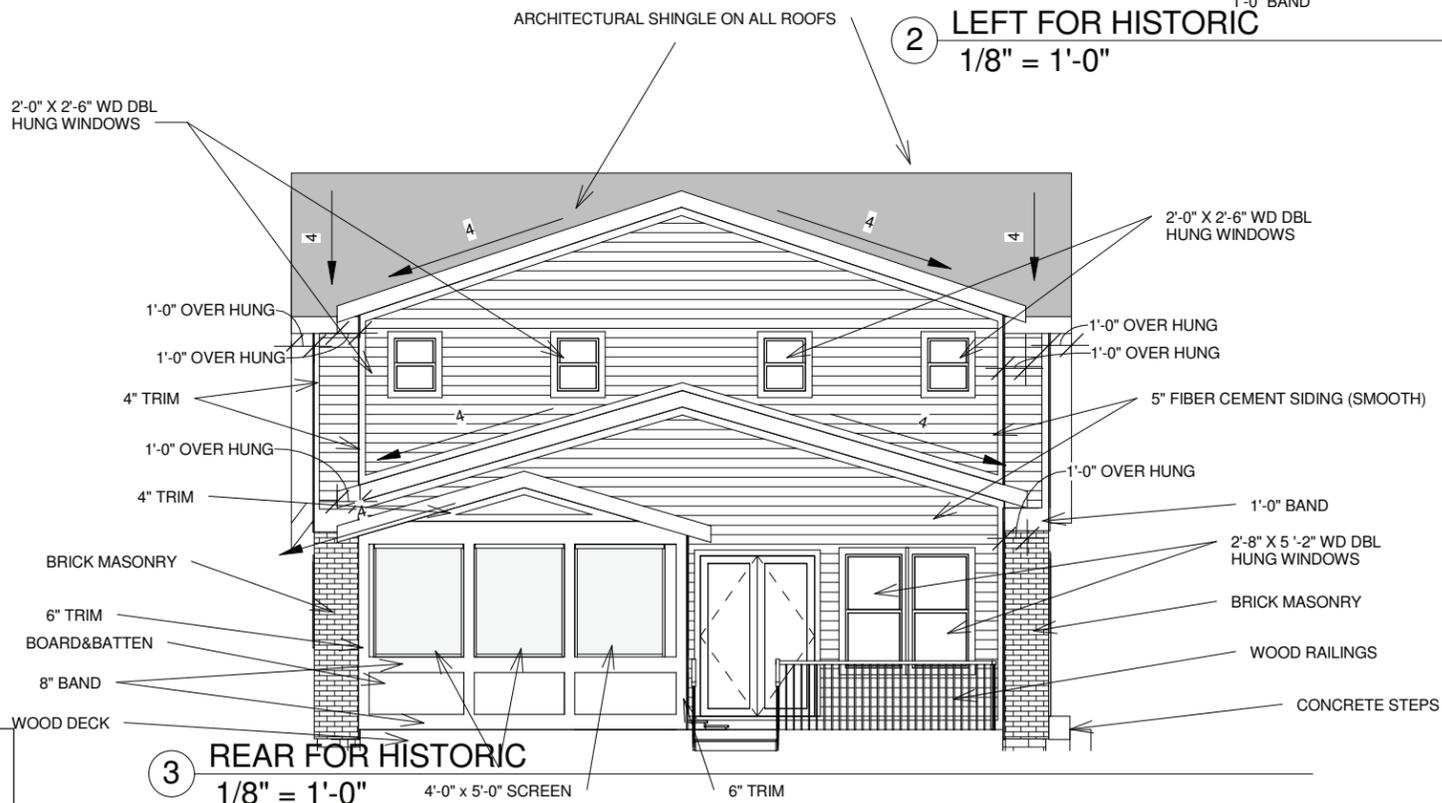
With these conditions, Staff finds that the project meets section II.B of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.



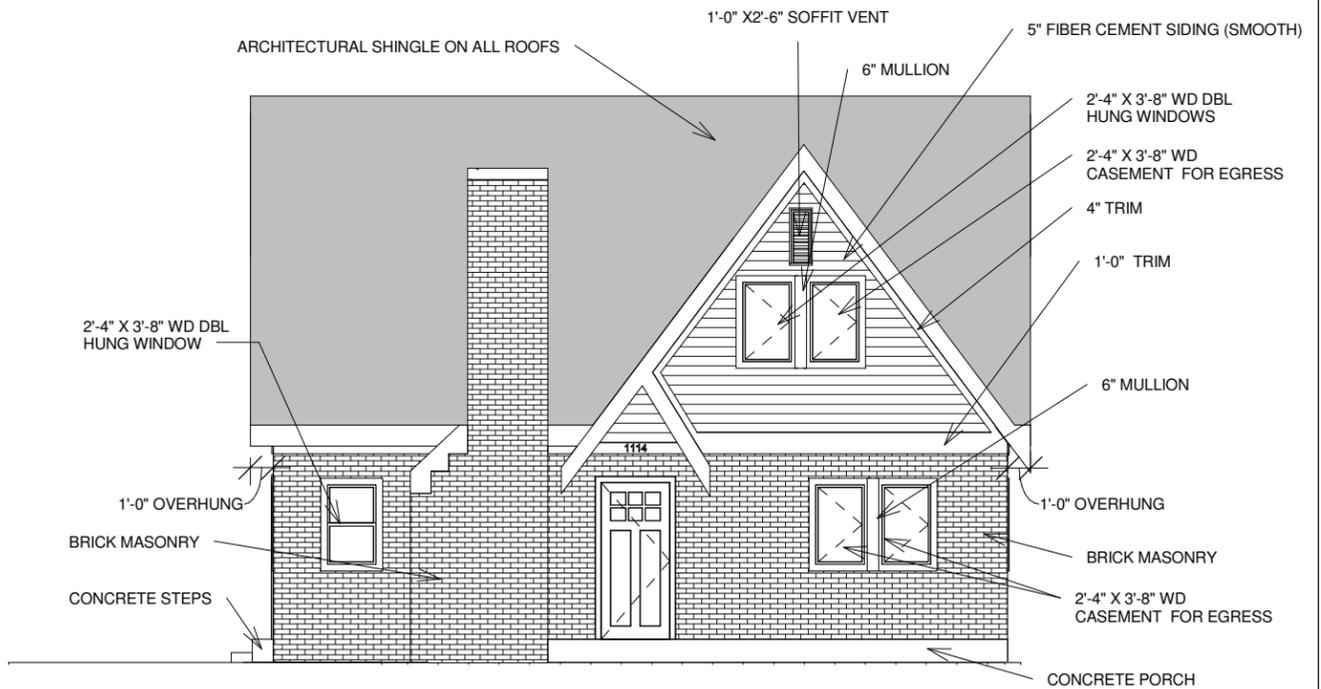
4 3D Right side for Historic



2 LEFT FOR HISTORIC
1/8" = 1'-0"



3 REAR FOR HISTORIC
1/8" = 1'-0"



1 Front FOR HISTORIC
1/8" = 1'-0"

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CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS NOT REPORTED.

1114 N 14TH
Nashville, TN

No.	Description	Date

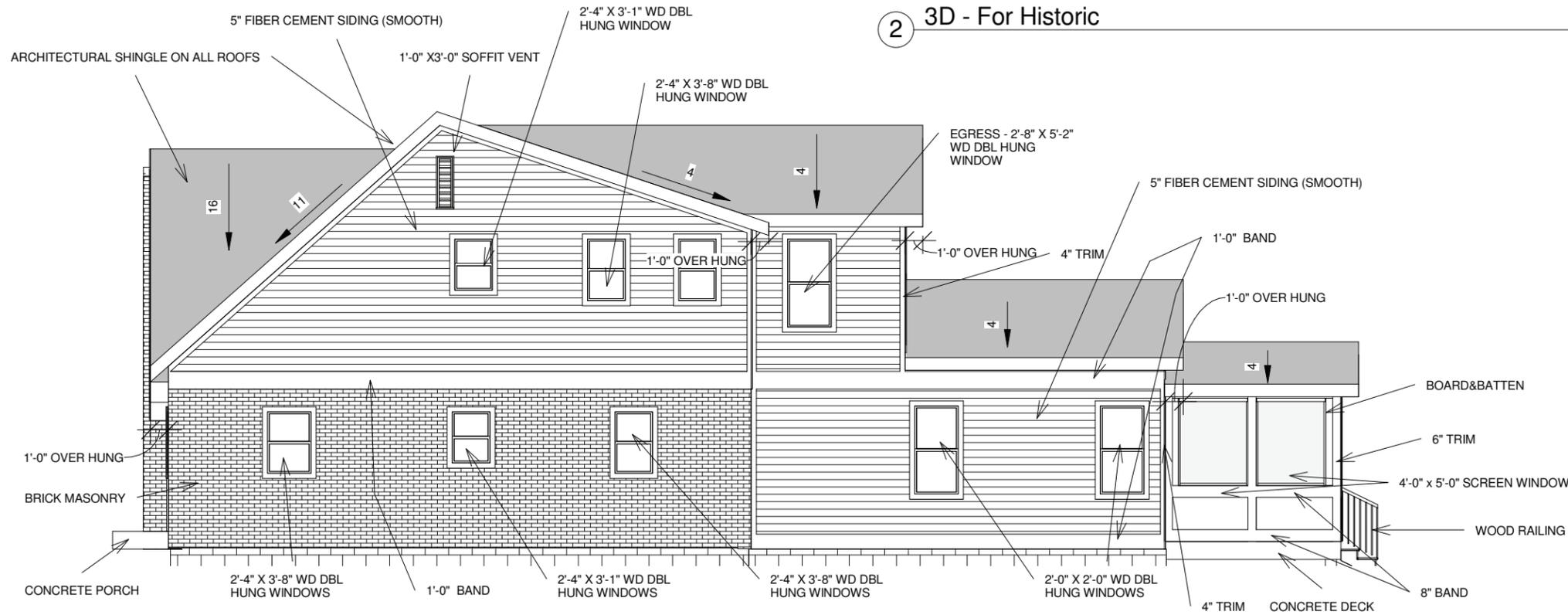
Elevations

Project number	Project Number	H2
Date	8/7/2014	
Drawn by	YOHANA	
Checked by	Checker	
Scale		1/8" = 1'-0"





2 3D - For Historic



3 3D View of Interior

1 RIGHT FOR HISTORIC
1/8" = 1'-0"



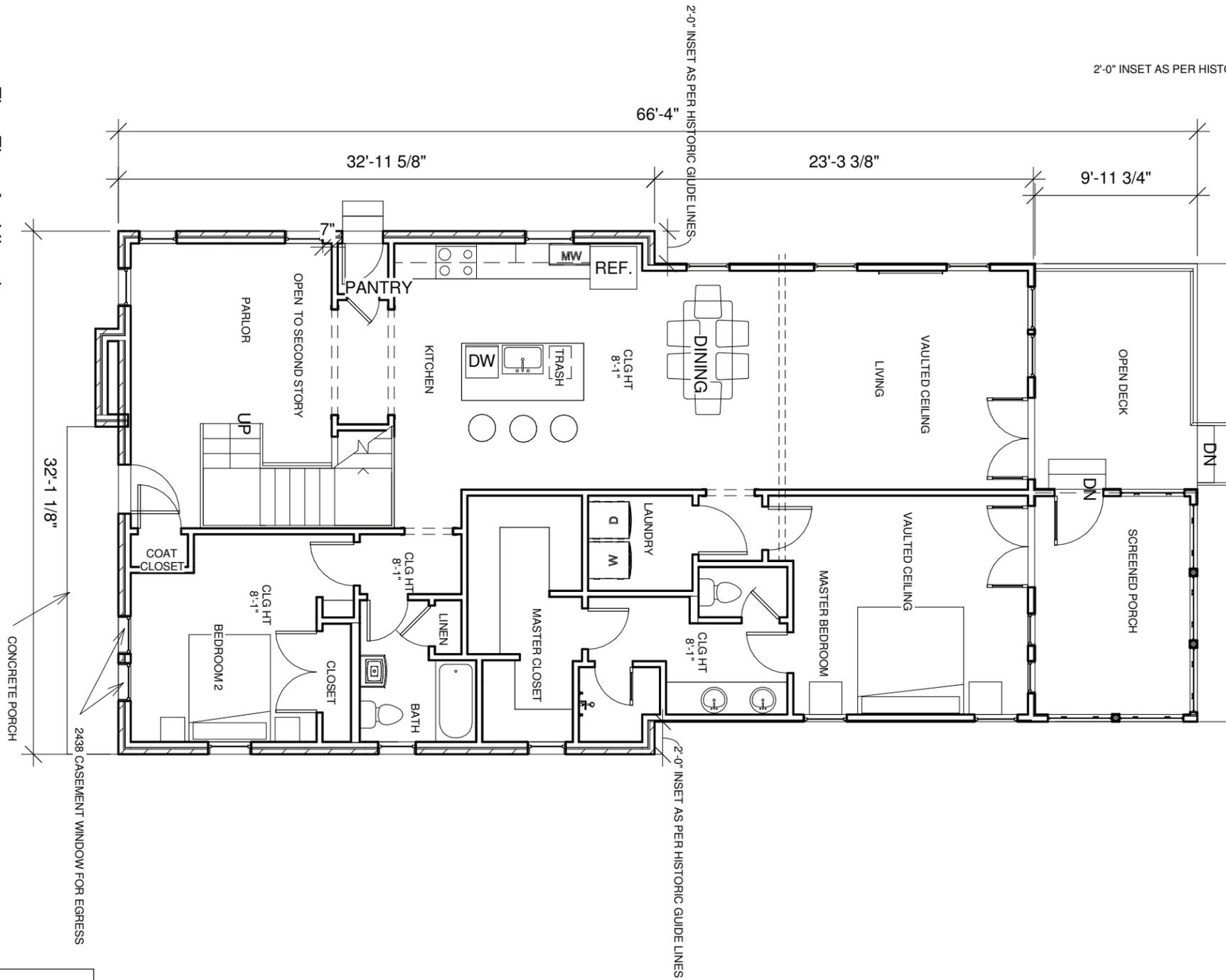
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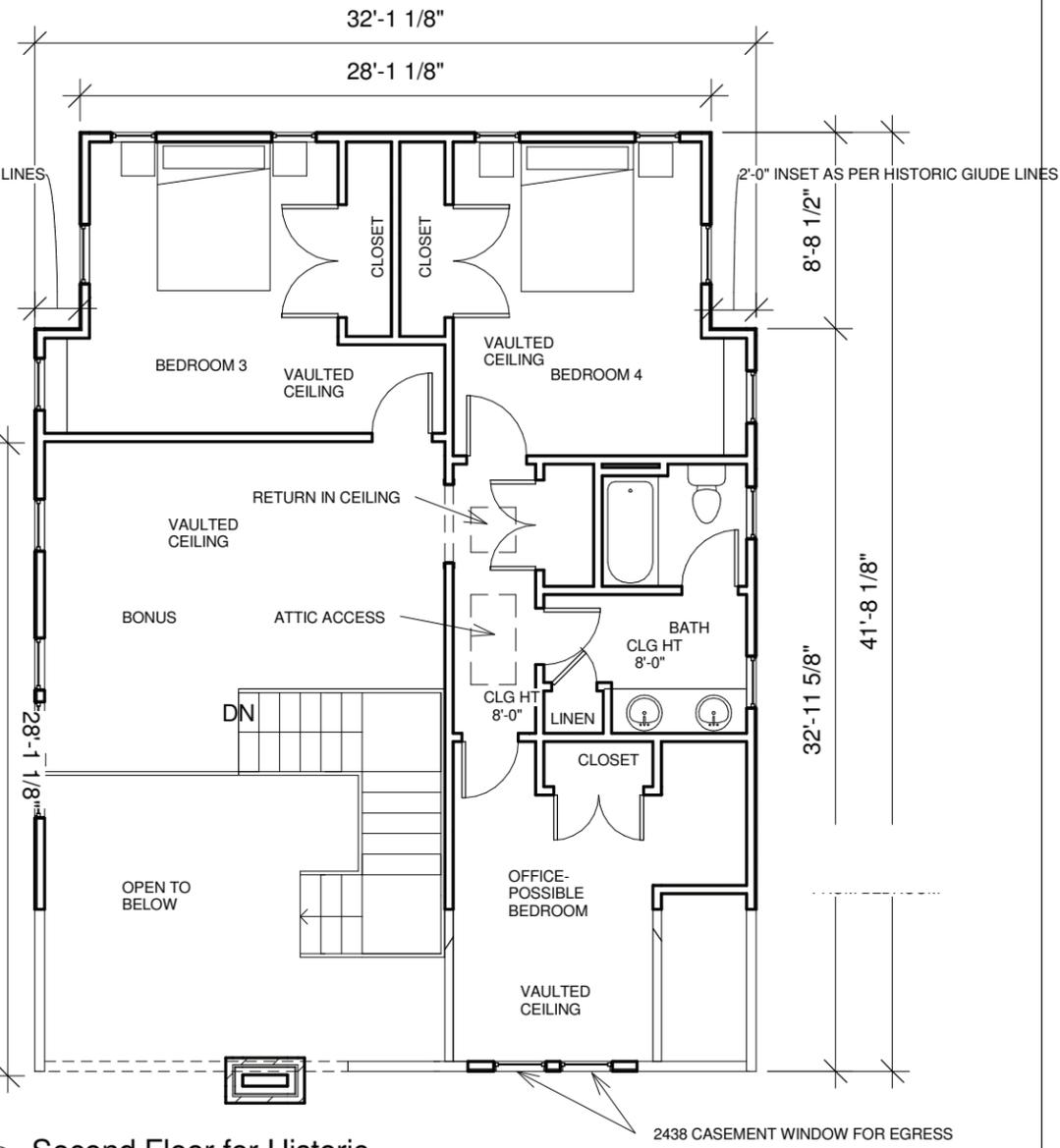
No.	Description	Date

Elevation and 3D		H3
Project number	Project Number	
Date	8/7/2014	
Drawn by	Author	
Checked by	Checker	Scale 1/8" = 1'-0"

1 First Floor for Historic
1/8" = 1'-0"



2 Second Floor for Historic
1/8" = 1'-0"



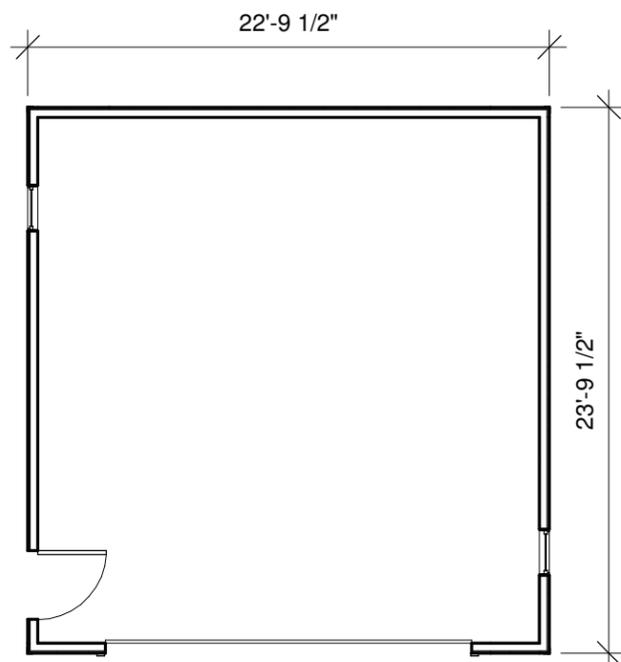
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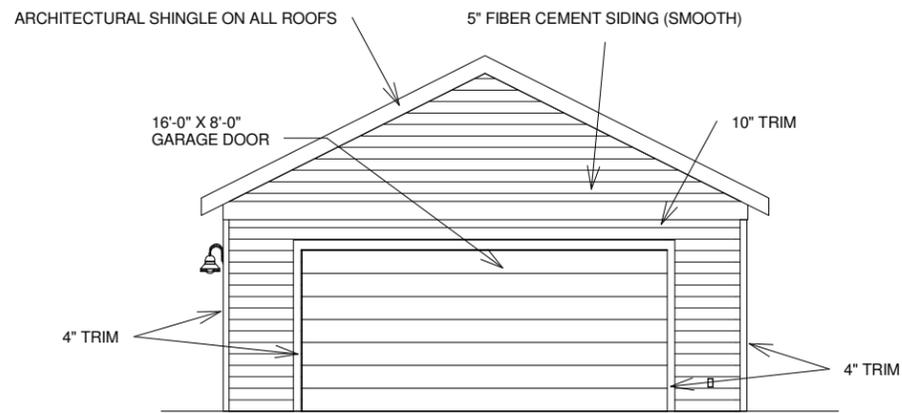
No.	Description	Date

Floor Plans		H4
Project number	Project Number	
Date	8/7/2014	
Drawn by	Yohana A.	
Checked by	Checker	Scale 1/8" = 1'-0"

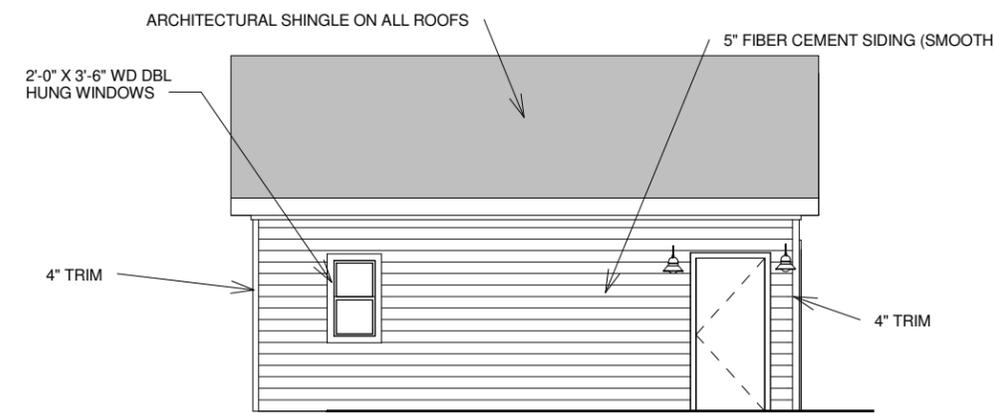




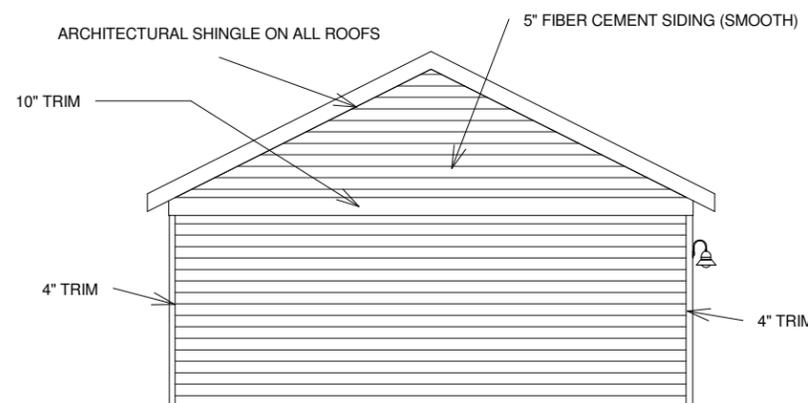
1 Garage for Historic
1/8" = 1'-0"



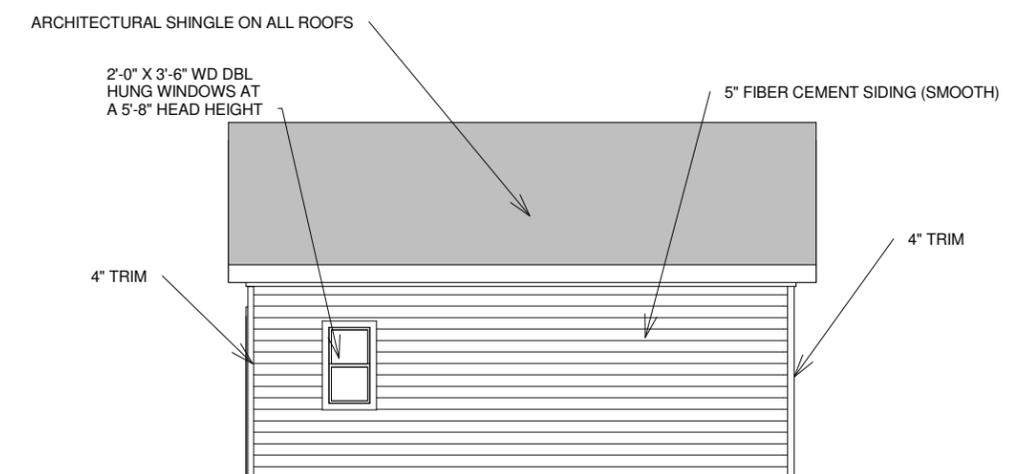
2 Front Garage
1/8" = 1'-0"



3 Left Garage
1/8" = 1'-0"



4 Rear Garage
1/8" = 1'-0"



5 Right Garage
1/8" = 1'-0"



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1114 N 14TH
Nashville, TN

No.	Description	Date

Garage for Historic		H5
Project number	Project Number	
Date	8/7/2014	
Drawn by	Yohana A.	
Checked by	Checker	
Scale 1/8" = 1'-0"		