



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
210 Mockingbird Road
August 20, 2014

Application: New construction-outbuilding
District: Cherokee Park Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10312030000
Applicant: Michael Ward, architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to construct a one and one-half story two-car garage with a “bonus area” above. The building will have a footprint area of five hundred, seventy-six square foot (576 s.f.). The height of the building will be twenty-five feet, eight inches (25’-8”) from ridge to the finished floor level, which will be at grade, with an eave height of fourteen feet, two inches (14’-2”) above the floor level.

Recommendation Summary: Staff recommends approval of the proposed outbuilding with conditions that:

1. The scale of the building be reduced by lowering the eaves to be compatible with the primary structure;
2. The garage not be constructed prior to the construction of the principle building;
3. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation; and,

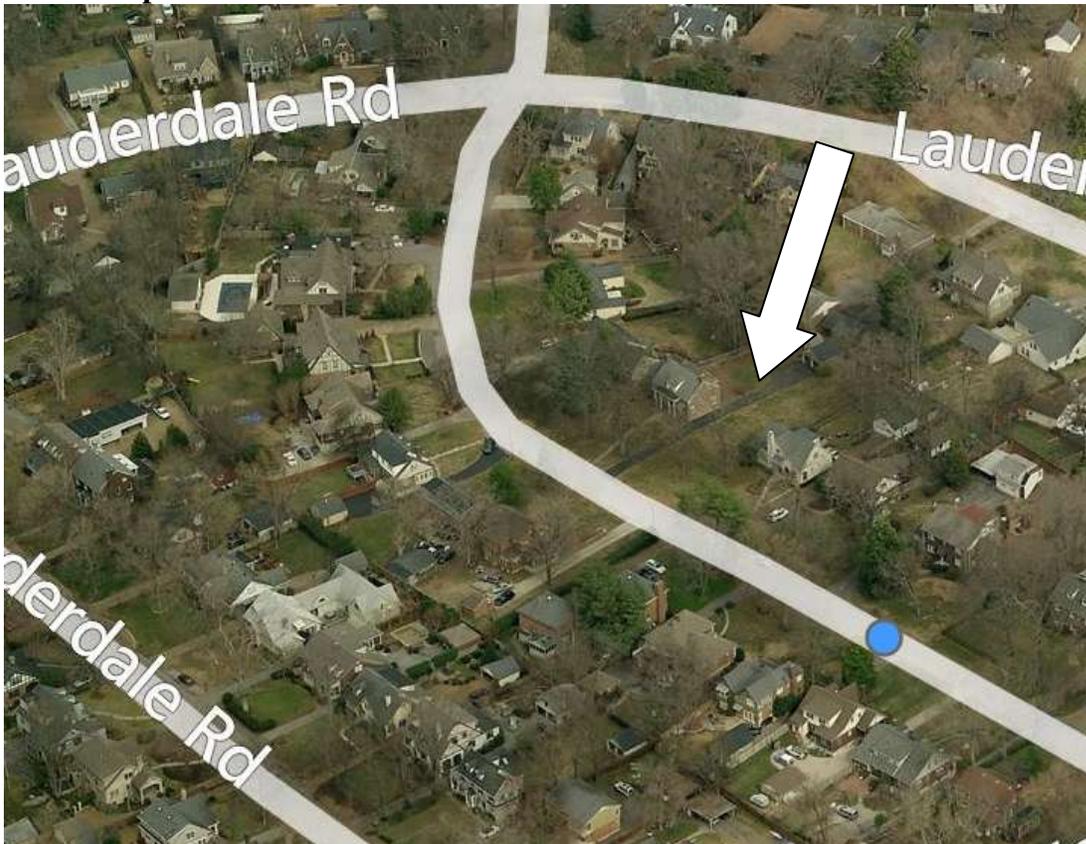
Meeting those conditions, Staff finds that the proposal will meet the design guidelines for the Cherokee Park Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

h. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related.

Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Background: 210 Mockingbird Road is a vacant interior lot in the Cherokee Park Neighborhood Conservation Zoning Overlay. A new house and outbuilding was approved for the site in May of 2014, but construction has not begun. The outbuilding initially approved had a seven hundred square foot (700 s.f. footprint), with a roof height of twenty-two feet, four inches (22'-4") and an eave height of nine feet, six inches (9'-6"). The applicant now proposes a different outbuilding.

Analysis and Findings:

Height & Scale:

The new proposal for an outbuilding is a one and one-half story two-car garage with a "bonus area" above. The new outbuilding will be square, twenty-four feet (24') to each side. This gives the building a footprint area of five hundred, seventy six square feet (576 s.f.), which is compatible with the sizes of surrounding outbuildings and smaller in area than the one that was previously approved.

The height of the building will be twenty-five feet, eight inches (25'-8") from ridge to the finished floor level, which will be at grade, with an eave height of fourteen feet, two inches (14'-2") above the floor level. Although the maximum height of the outbuilding will be six feet (6') shorter than the house, the eave height from grade will be two feet (2') taller than the eaves of the house. With an exposed foundation on the house, the height of the garage wall from floor to eave will be four feet (4') taller than that proportion on the house.

Staff finds that with these dimensions, the scale and wall height of the proposed outbuilding is not subordinate and recommends a reduction in the height in order to meet guidelines II.B.1.a. and b.

Setback & Rhythm of Spacing:

The outbuilding will be located at the rear of the lot, as is typical of historic outbuildings and meeting the three foot (3') rear and side setback requirements. The project meets section II.B.1.c.

Materials: The outbuilding will primarily be clad in smooth-faced cement-fiberboard with a reveal of four inches (4"). The trim will be wood. The foundation will be concrete slab on grade, and the roof will be architectural fiberglass shingles in a color to

match the roof on the house. The windows and doors will be fiberglass and wood, and staff asks to approve the final window and door selections prior to purchase and installation. With the Staff's final approval of the windows and doors, staff finds that the known materials meet section II.B.1.d.

Roof form:

The roof of the outbuilding will be a side-oriented gable with a pitch of 12:12. This roof form is appropriate for outbuildings. The project meets section II.B.1.e.

Orientation, Proportion and Rhythm of Openings:

The outbuilding will have a single garage door facing the side, accessed from a shared driveway along the left side of the property. The pedestrian door and windows on the building will be compatible with the proportions of windows on historic structures. Staff finds that the project would meet guidelines II.B.1.f. Section II.B.1.g.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the building. The project meets section II.B.1.i.

Outbuildings:

Finding the scale of the building to be greater than existing outbuildings in the surrounding area, and specifically that the height is approximately ten feet (10) taller than the average outbuilding nearby, staff recommends a reduction in the eave and overall height in order to meet sections II.B.1.a.-b and section II.B.1.h of the design guidelines.

Recommendation:

Staff recommends approval of the proposed outbuilding with conditions that:

1. The scale of the building be reduced by lowering the eaves to be compatible with the primary structure;
2. The garage not be constructed prior to the construction of the principle building;
3. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation; and,

Meeting those conditions, Staff finds that the proposal will meet the design guidelines for the Cherokee Park Neighborhood Conservation Zoning Overlay.



212, 210, 208 Mockingbird Road



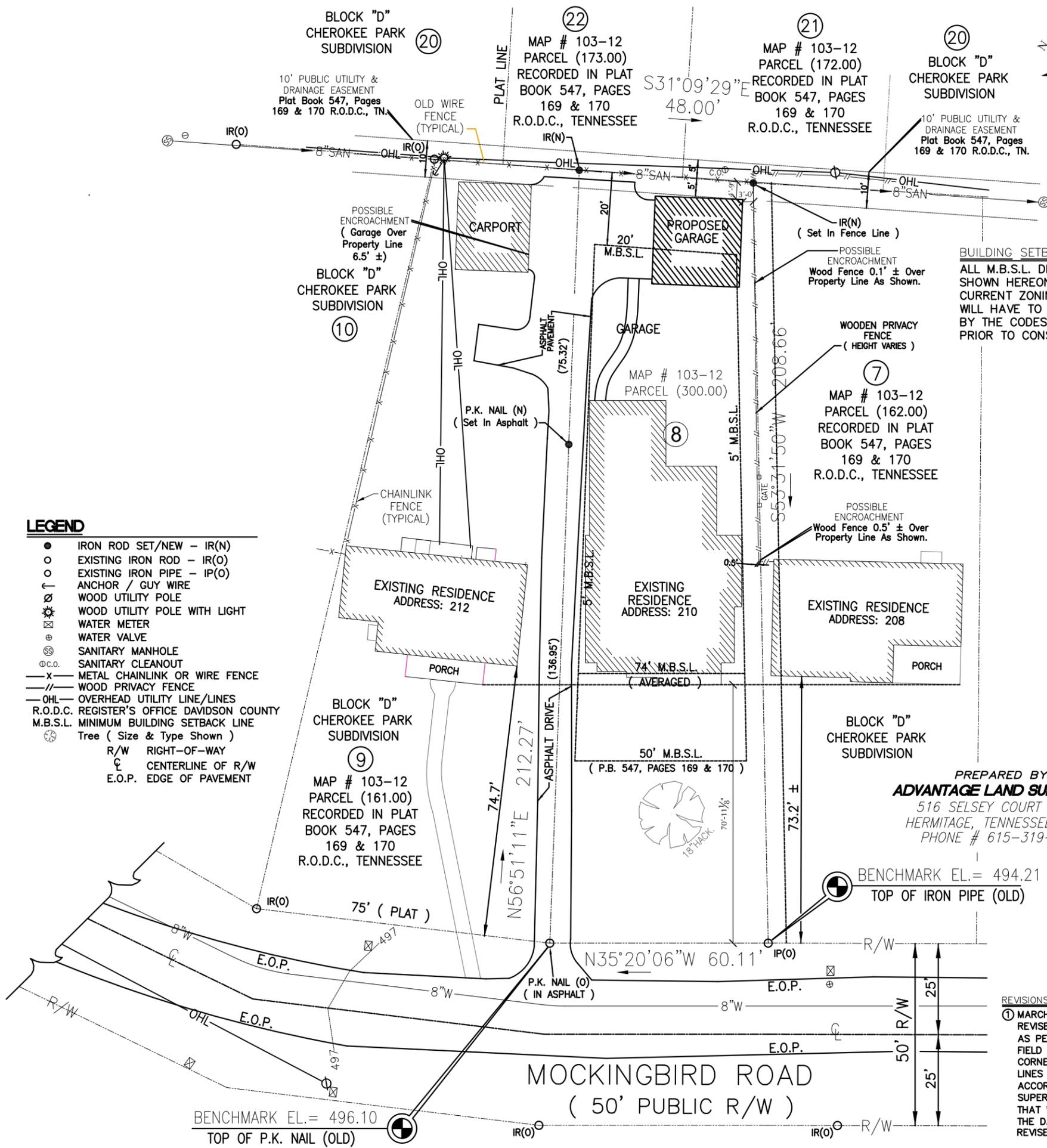
211-B, 213, 215 Mockingbird Road



Looking South at 208, 206, 204 Mockingbird Road



Looking South at 207, 209, 211-A&B Mockingbird Road



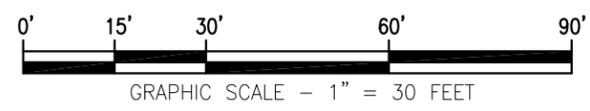
- LEGEND**
- IRON ROD SET/NEW - IR(N)
 - EXISTING IRON ROD - IR(O)
 - IP(O) EXISTING IRON PIPE
 - ↑ ANCHOR / GUY WIRE
 - ☼ WOOD UTILITY POLE
 - ☼ WOOD UTILITY POLE WITH LIGHT
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - ⊕ SANITARY MANHOLE
 - ⊕ SANITARY CLEANOUT
 - METAL CHAINLINK OR WIRE FENCE
 - WOOD PRIVACY FENCE
 - OHL OVERHEAD UTILITY LINE/LINES
 - ⊕ R.O.D.C. REGISTER'S OFFICE DAVIDSON COUNTY
 - ⊕ M.B.S.L. MINIMUM BUILDING SETBACK LINE
 - ⊕ Tree (Size & Type Shown)
 - R/W RIGHT-OF-WAY
 - ⊕ CENTERLINE OF R/W
 - ⊕ E.O.P. EDGE OF PAVEMENT

- GENERAL NOTES:**
- BEARINGS ARE BASED ON MAGNETIC NORTH.
 - THE TOTAL AREA WITHIN THE SURVEYED PREMISES (LOT # 8) IS 11,361 S.F. OR 0.26 OF AN ACRE MORE OR LESS.
 - ALL LOT CORNERS ARE MARKED AS SHOWN ON THIS SURVEY.
 - MINIMUM BUILDING SETBACK LINES AS SHOWN HEREON PROVIDED BY PHONE CONVERSATION WITH THE METRO PLANNING DEPT. & FINAL PLAT.
 - PARCEL NUMBERS SHOWN THUS (300) PERTAIN TO DAVIDSON COUNTY PROPERTY MAP # 103-12. ACCORDING TO METRO GIS WEB SITE THIS PROPERTY IS PRESENTLY ZONED: R8 - ONE & TWO FAMILY 8000 SQUARE FOOT LOT.
 - BY GRAPHIC PLOTTING AND MAP SCALING LOCATION ONLY, THIS PROPERTY IS NOT WITHIN AN AREA OF FLOOD INUNDATION AS DESIGNATED BY CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS (FEMA) WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT AS SHOWN ON COMMUNITY # 470040 - PANEL NO. 0214 - SUFFIX "F"; EFFECTIVE DATE: APRIL 20, 2001, WHICH IS THE MOST CURRENT (VIA THE FEMA WEB-SITE) FOR WHICH THE SURVEYED PREMISES IS SITUATED IN. THE SURVEYED PREMISES LIES ENTIRELY WITHIN ZONE "X". MAP ORDER # 47037C0214F.
 - THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. COORDINATE WITH TENNESSEE ONE-CALL SYSTEM, INC. - PHONE: 811.
 - ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL. (MINIMUM DRIVEWAY CULVERT SIZE IN METRO R.O.W. IS 15" CMP).
 - THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 094-1104 (METRO CODE CHAPTER 17.24. ARTICLE II, TREE PROTECTION AND REPLACEMENT; CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES).
 - THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH / REPORT MAY DISCLOSE.; THEREFORE, THIS SURVEY IS SUBJECT TO ALL MATTERS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY REVEAL.
 - VERTICAL CONTROL DERIVED FROM METRO GIS MAPS. 1-FOOT INTERVAL CONTOURS AS SHOWN HEREON WERE CREATED USING SURFACE MODELING SOFTWARE USING THE DATA OBTAINED FROM A FIELD RUN SURVEY.
 - THE SURVEYED PREMISES IS SUBJECT TO ALL GOVERNMENTAL AGENCIES REQUIREMENTS FOR ANY TYPE OF EXCAVATION, IMPROVEMENTS, DEMOLITION OR NEW CONSTRUCTION.

BUILDING SETBACK NOTE:
 ALL M.B.S.L. DISTANCES SHOWN HEREON ARE PER THE CURRENT ZONING CODE AND WILL HAVE TO BE APPROVED BY THE CODES DEPARTMENT, PRIOR TO CONSTRUCTION.

PREPARED BY:
ADVANTAGE LAND SURVEYING
 516 SELSEY COURT SOUTH
 HERMITAGE, TENNESSEE 37076
 PHONE # 615-319-4701

REVISED LOT SURVEY
 LOT 8 - BLOCK "D"
 PLAN OF CHEROKEE PARK SUBDIVISION
 RECORDED IN PLAT BOOK 547, PAGES 169 & 170 R.O.D.C., TN.
 24th COUNCIL DISTRICT - METROPOLITAN NASHVILLE,
 DAVIDSON COUNTY, TENNESSEE



- REVISIONS:**
- MARCH 22, 2014 By: T.M.F. REVISED BOUNDARY LINES AS PER NEW EVIDENCE OF FIELD LOCATED PROPERTY CORNERS, AND PROPERTY LINES WERE ADJUSTED ACCORDINGLY. THIS DRAWING SUPERCEDES ANY DRAWINGS THAT WERE DONE PRIOR TO THE DATE SHOWN ON THIS REVISED DRAWING.

DRAWN BY: T. M. FULLER
 CHECKED BY: BILLY PERKINS
 DATE: MARCH 22, 2014
 JOB NO. 21-2014

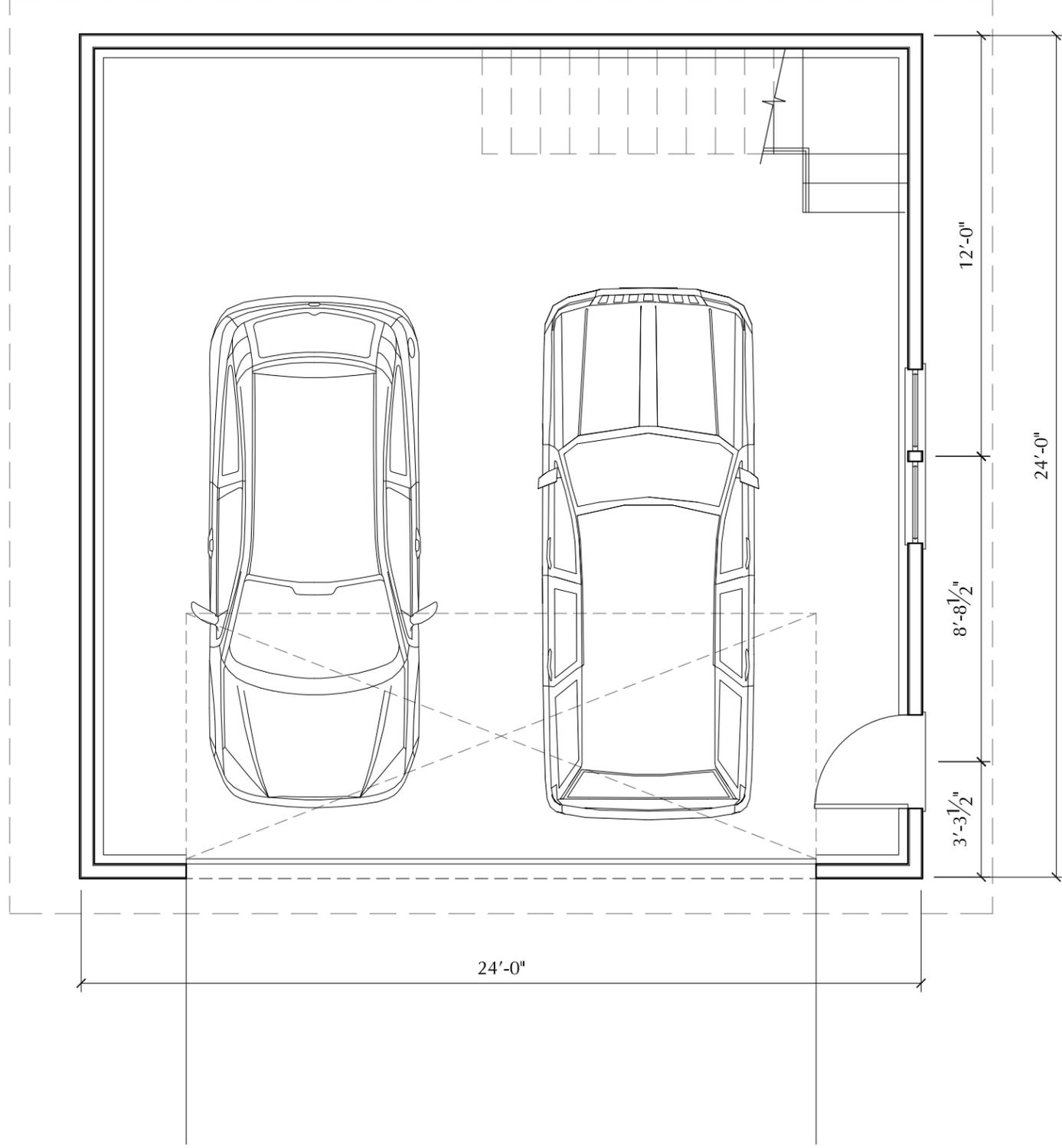
PRELIMINARY - NOT FOR CONSTRUCTION
 A New Garage for:
210 Mockingbird Rd.
 Nashville, Tennessee 37205

 1618 Shiloh Avenue #2710
 Nashville, Tennessee 37217
 Tel: 615.345.1010
 Fax: 615.345.1011
 Drawings:
 Site Layout Plan
 Date:
 07.24.14
A0.1

1

Garage First Floor Plan

Scale: 1/4"=1'-0"



A1.1

Drawings:
Garage First Floor Plan
Date:
07.24.14

AW
ALLARD WARD
ARCHITECTS
1618 Shiloh Road
Nashville, Tennessee 37217
Tel: 615.345.1010
Fax: 615.345.1011
allardward.com

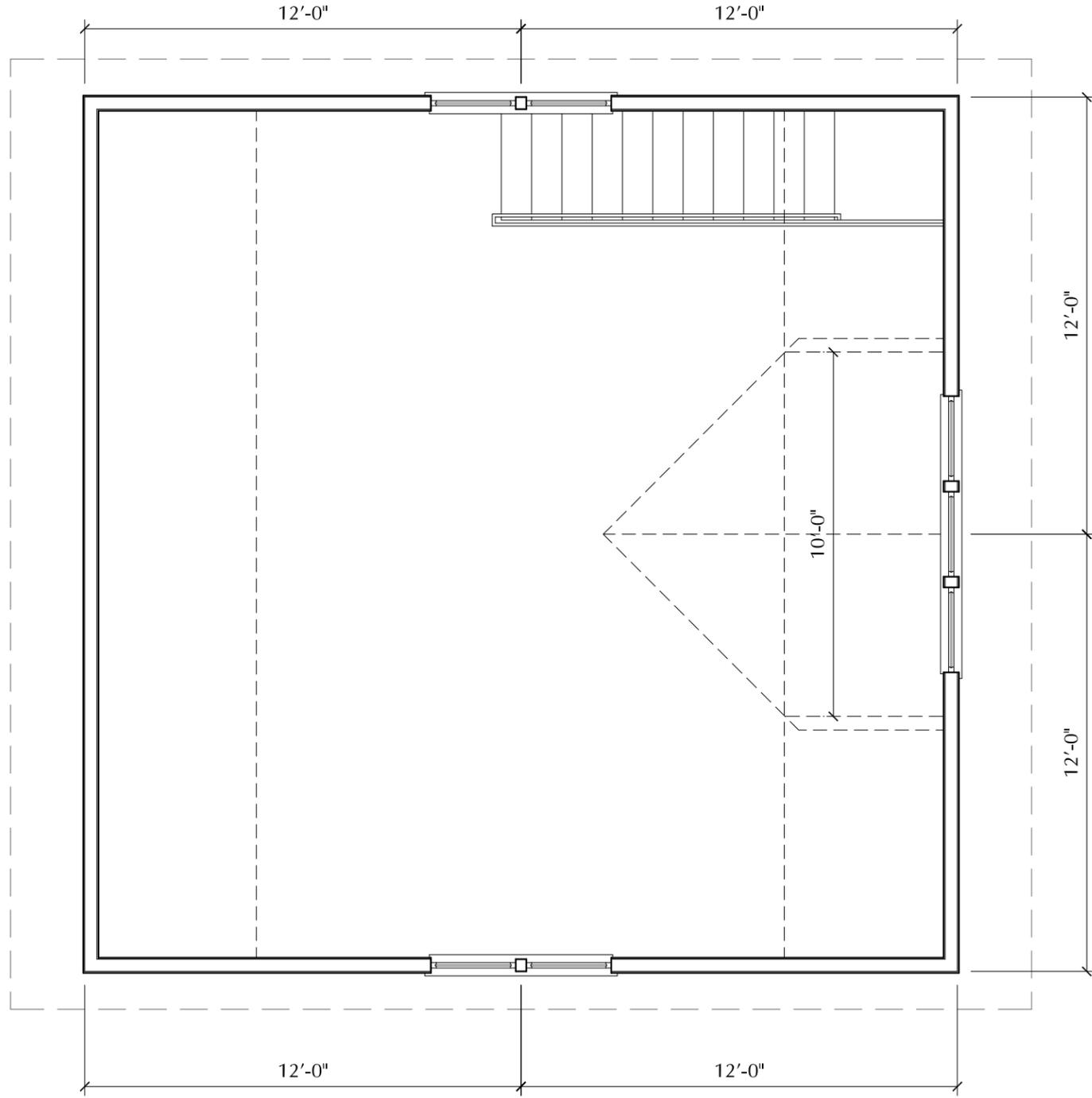
A New Garage for:
210 Mockingbird Rd.
Nashville, Tennessee 37205

PRELIMINARY - NOT FOR CONSTRUCTION

1

Garage Second Floor Plan

Scale: 1/4"=1'-0"



A1.2

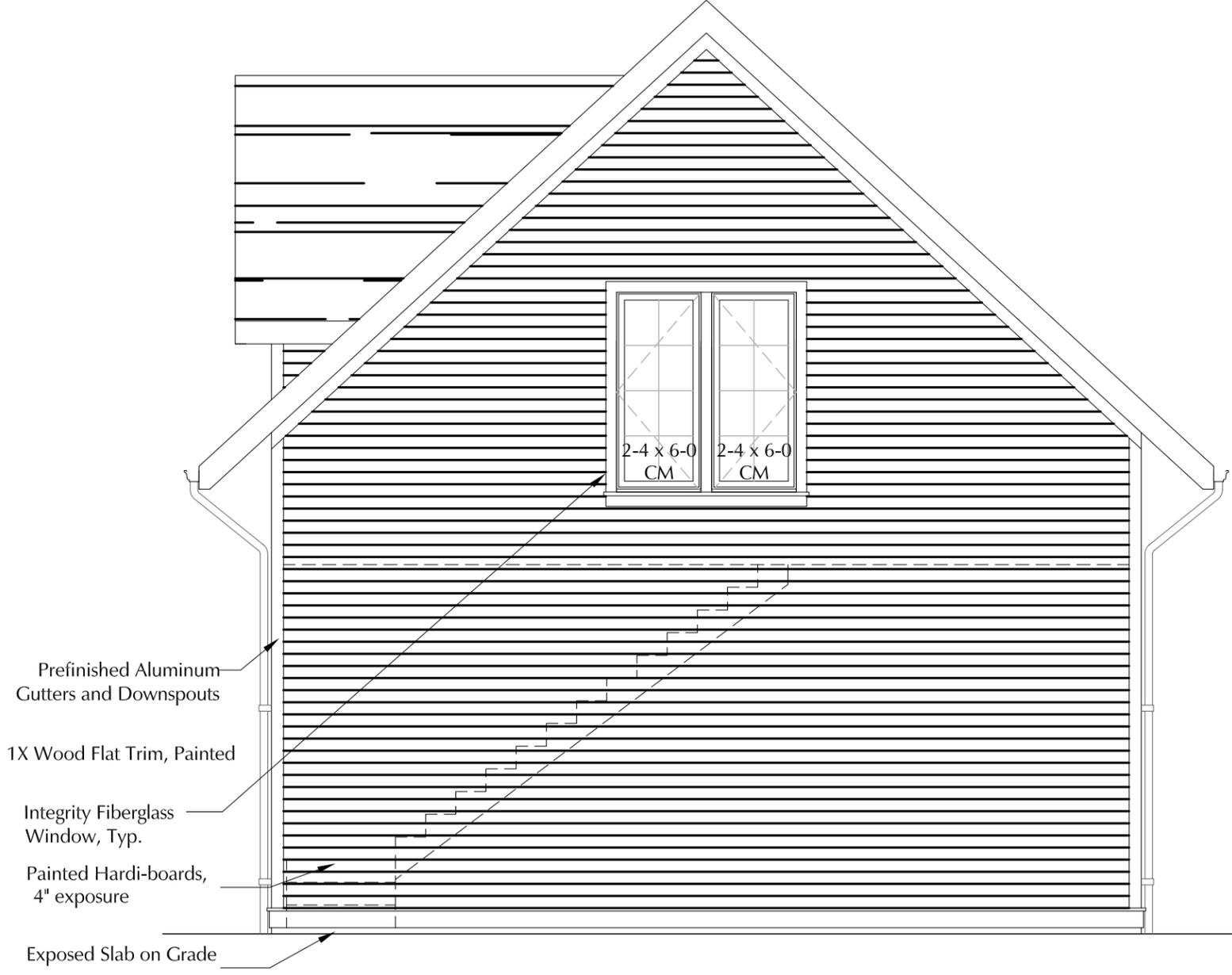
Drawings:
Garage Second Floor Plan

Date:
07.24.14

AW
ALLARD WARD
ARCHITECTS
1618 Shiloh Road
Nashville, Tennessee 37217
Tel: 615.345.1010
Fax: 615.345.1011

A New Garage for:
210 Mockingbird Rd.
Nashville, Tennessee 37205

PRELIMINARY - NOT FOR CONSTRUCTION



1 East Elevation
 Scale: 1/4"=1'-0"

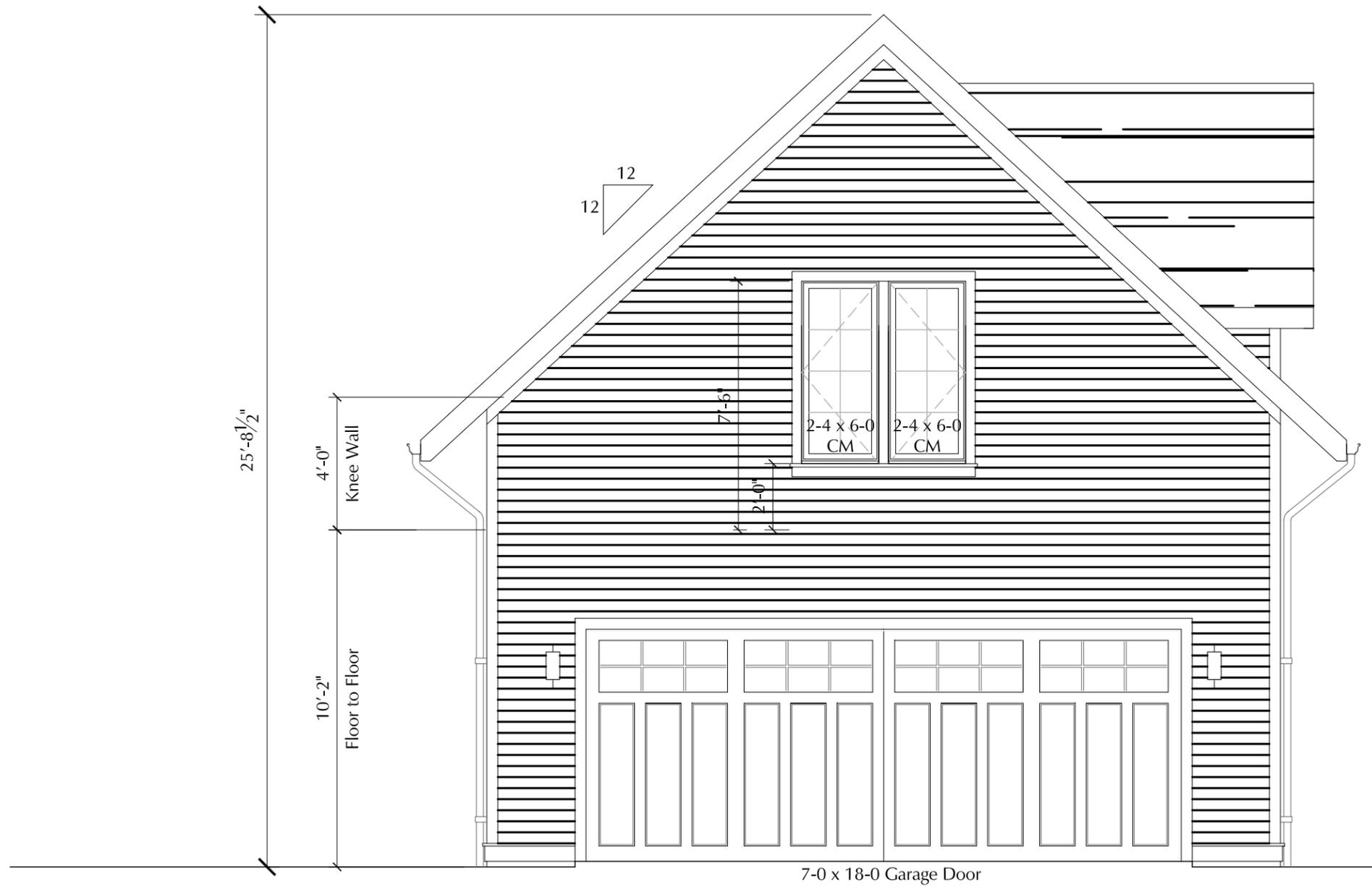
AW
 ALLARD WARD
 ARCHITECTS, P.C.
 1618 Shiloh Road, Suite 200
 Nashville, Tennessee 37217
 Tel: 615.345.1010
 Fax: 615.345.1011
 allardward.com

Drawings:
 Elevations
 Date:
 07.24.14

A2.1

A New Garage for:
210 Mockingbird Rd.
 Nashville, Tennessee 37205

PRELIMINARY - NOT FOR CONSTRUCTION



1 West Elevation
 Scale: 1/4"=1'-0"

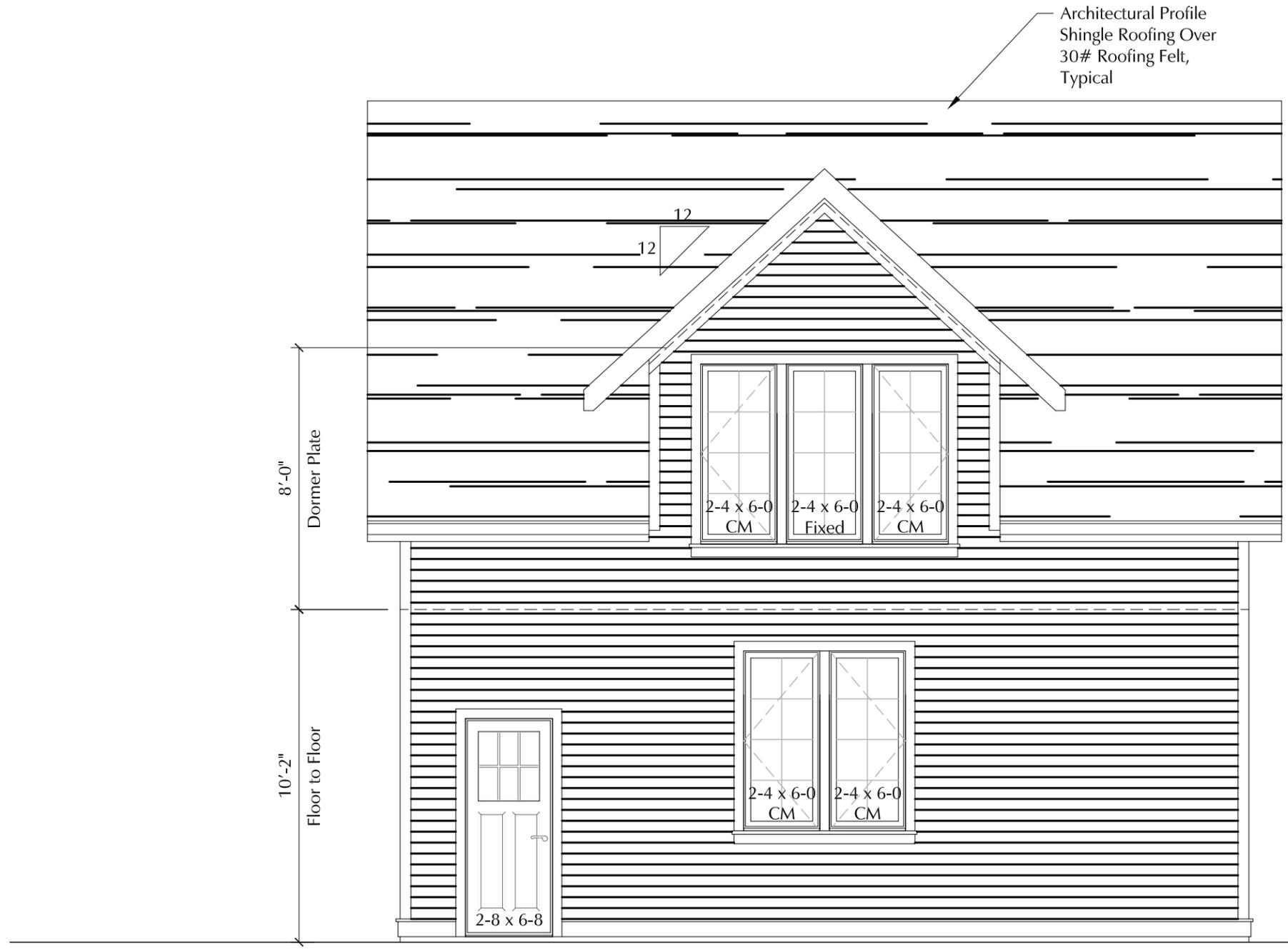
A2.2

Drawings:
 Elevations
 Date:
 07.24.14

AWA
 ALLARD WARD ARCHITECTS, P.C.
 1618 Shiloh Road, Suite 200
 Nashville, Tennessee 37217
 Tel: 615.345.1010
 Fax: 615.345.1011
 allardward.com

A New Garage for:
210 Mockingbird Rd.
 Nashville, Tennessee 37205

PRELIMINARY - NOT FOR CONSTRUCTION



1 South Elevation
 Scale: 1/4"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

A New Garage for:
210 Mockingbird Rd.
 Nashville, Tennessee 37205

AW
 ALLARD WARD ARCHITECTS
 1618 Shiloh Road, Suite 200
 Nashville, Tennessee 37217
 Tel: 615.345.1010
 Fax: 615.345.1011

Drawings: _____
 Elevations _____
 Date: 07.24.14

A2.3