



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
505 North 16th Street
August 20, 2014

Application: New construction- outbuilding
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08306031900
Applicant: Oswaldo Carpio
Project Lead: Allison Asbrock

Description of Project: The applicant proposes to construct a new two-car garage with a half-level above.

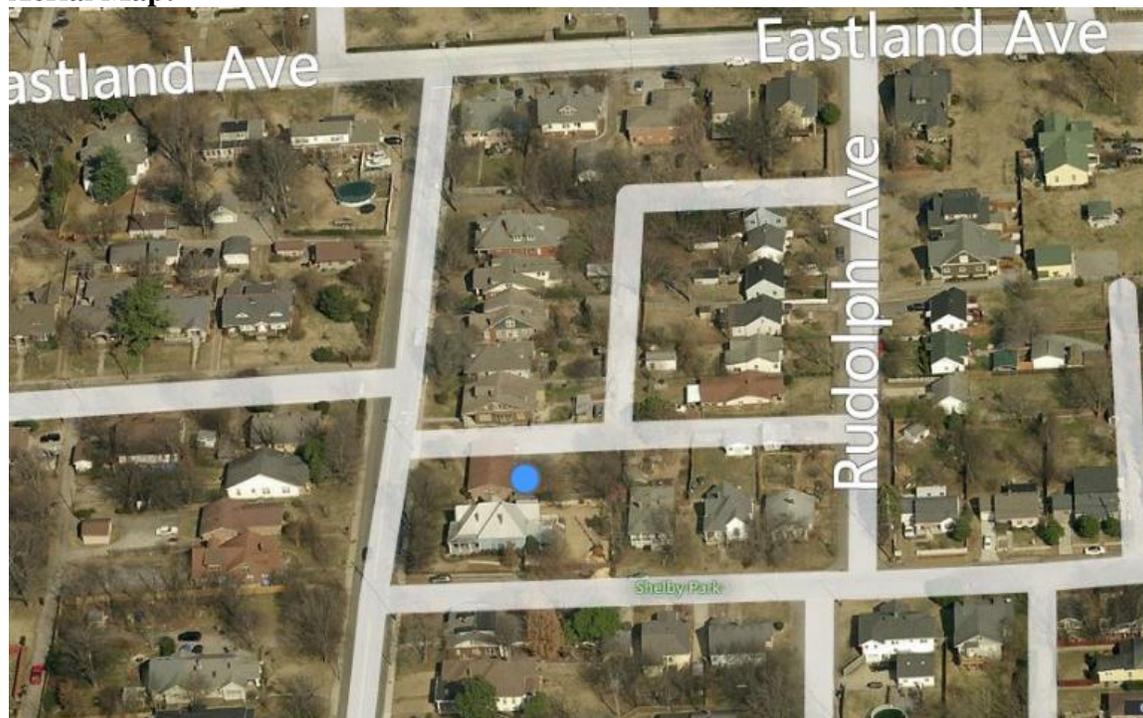
Recommendation Summary: Staff recommends approval of the proposed garage as an outbuilding, not a Detached Accessory Dwelling Unit, with the condition that staff approves the windows, doors, foundation, roof color, and roof materials. With these conditions, staff finds the project to meet the design guidelines for outbuildings in the Lockeland Springs-East End Neighborhood Conservation District.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

8. Outbuildings

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings.

Outbuildings: Roof

Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing house.

Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.

The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.

Outbuildings: Windows and Doors

Publicly visible windows should be appropriate to the style of the house.

Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.

Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.

Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.

For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Decorative raised panels on publicly visible garage doors are generally not appropriate.

Outbuildings: Siding and Trim

Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).

Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Background: The house at 505 North 16th Street is a one-story side gable minimal traditional, non-contributing, duplex constructed circa 1977. To the left side of the house is a paved alley with a parking area. A second half-level addition was administratively approved in May of this year.



Analysis and Findings: The applicant is proposing to construct a new outbuilding with a two-car garage on the lower level with additional space above. Currently the plans indicate a potential full bathroom on the upper floor of the outbuilding, making the outbuilding a Detached Accessory Dwelling Unit (DADU). As the property is already a duplex, the building cannot serve as a DADU at this time. It is the applicant's intent to eventually turn the primary home into a single-family home and, at that time, install the full bath shown on the plans; however, the dimensions of the outbuilding do not meet the requirements of a DADU. Staff reviewed the project as an "outbuilding" since the full-bath is not currently planned and the dimensions do not meet the requirements of a DADU.

Height & Scale:

The proposed garage will be twenty-three feet (23') tall, approximately four feet nine and five eighths inches (4' 9 5/8") shorter than the height of the house after the half-story has been added. The first-story wall height is thirteen feet (13'), with an eave height of approximately eleven feet (11') above grade, which is one foot taller than the existing house, again after the half-story has been added. Staff finds the proposed eave and ridge heights to be appropriate for an outbuilding.

The footprint of the outbuilding is approximately six-hundred and twenty-four square feet (624 s.f.). This footprint is approximately one quarter of the footprint of the home.

The project meets section II.B.8.a.

Location & Setback:

The new building will be located behind the primary building with the double garage door facing the alley to the side of the property and a single garage door on the opposite facade. The outbuilding will be thirteen feet (13') from the north side-alley and three feet (3') from the rear. This location is compatible with the location of historic outbuildings, being to the rear of the lot, and meets the bulk zoning requirements. Staff finds the project meets section II.B.8.b.

Materials:

The garage will be clad in smooth faced cement-fiberboard with a maximum reveal of five inches (5"). There will be four inch (4") nominal wood trim around all doors and windows with a six inch (6") mullion between paired windows. Four inch (4") wood corner boards are also proposed. Materials for the roof, doors, and foundation were not indicated on plans. Plans also indicate either wood or aluminum clad windows.

With the staff's final approval of the windows, doors, foundation, roof color, and roof materials staff finds that the known materials meet Sections II.B.8.a.

Roof form:

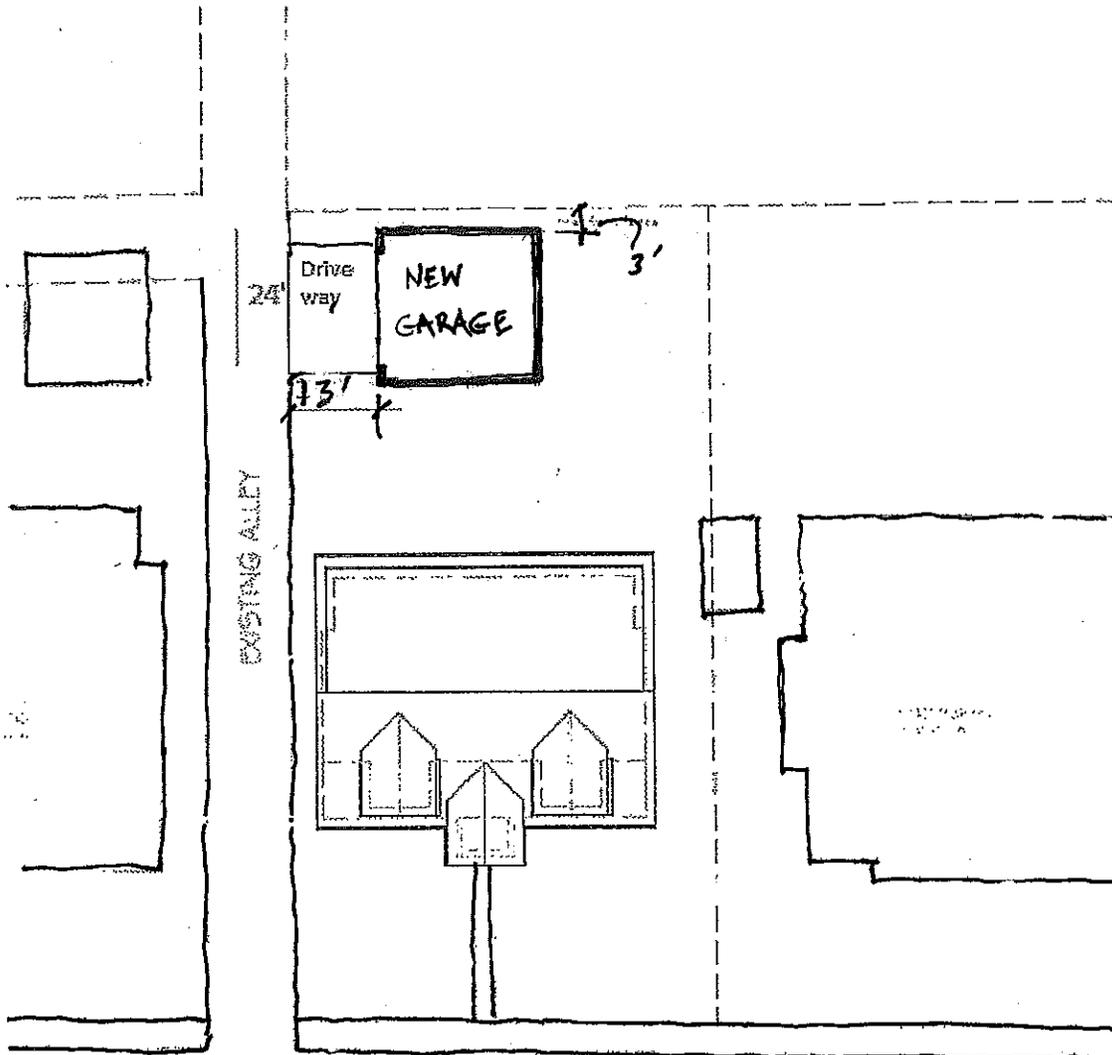
The primary roof of the outbuilding is a side-gable with a pitch of 9:12. Two shed dormers with a roof pitch of 4:12 will be located on with one on each the east and west elevations. The two dormers sit off the wall by the necessary two feet (2') and are appropriate. These roof forms are compatible with the main house and the surrounding context and staff finds them to meet sections II.B.8.a.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings.

Recommendation:

Staff recommends approval of the proposed garage as an outbuilding, not a Detached Accessory Dwelling Unit, with the condition that staff approves the windows, doors, foundation, roof color, and roof materials. With these conditions, staff finds the project to meet the design guidelines for outbuildings in the Lockeland Springs-East End Neighborhood Conservation District.

505 N. 16th Street
• Garage Plan



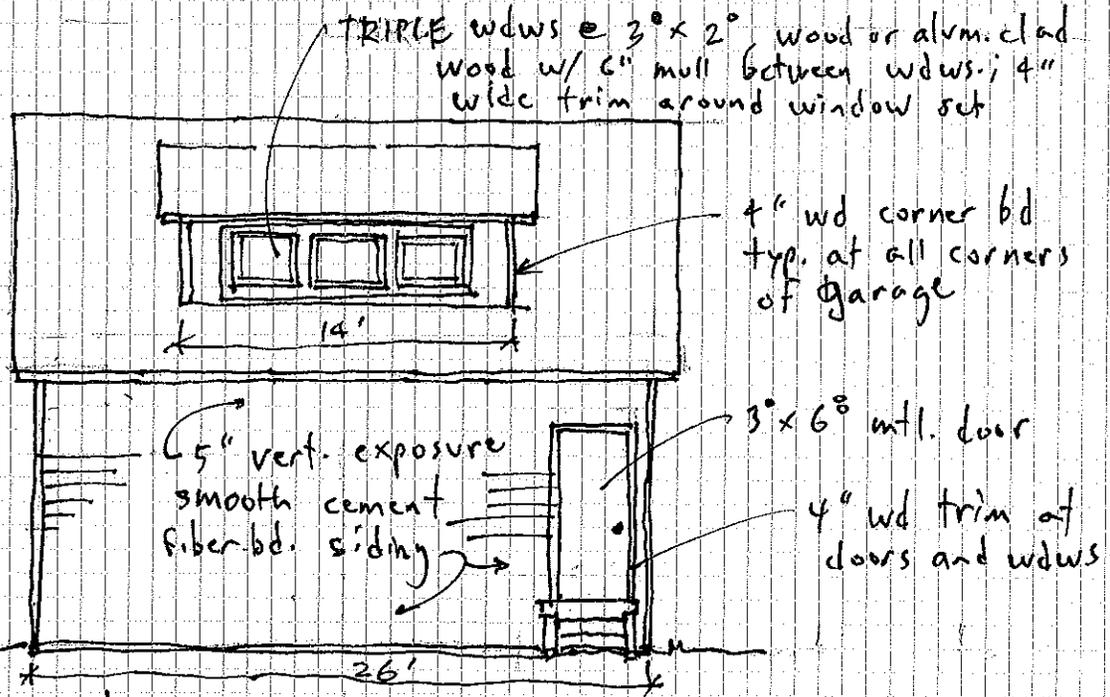
N. 16TH STREET

PROPOSED SITE PLAN

1" = 30'

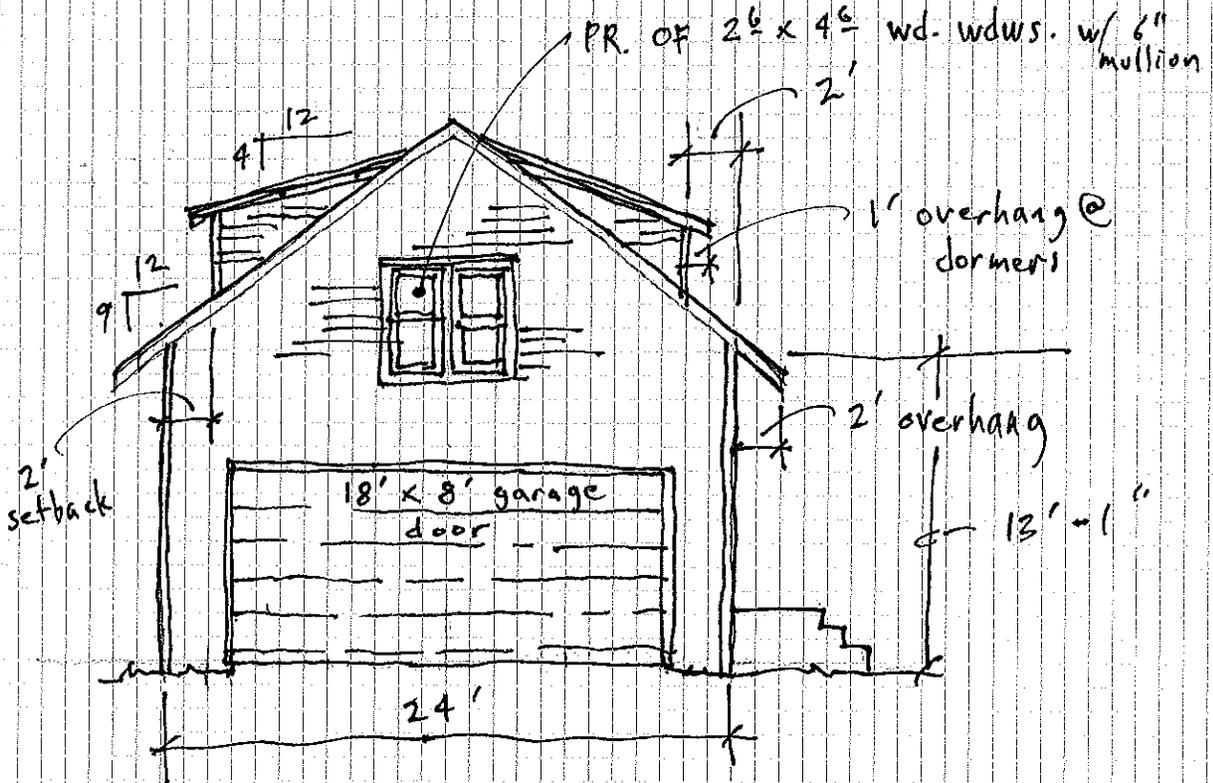
MH2C NOTES

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MH2C staff prior to continuing with the project.
3. Staff must approve the construction progress at the three following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been construction
 - c. After the rough framing has been completed
4. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
5. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.



WEST ELEVATION

1/8" = 1'-0"



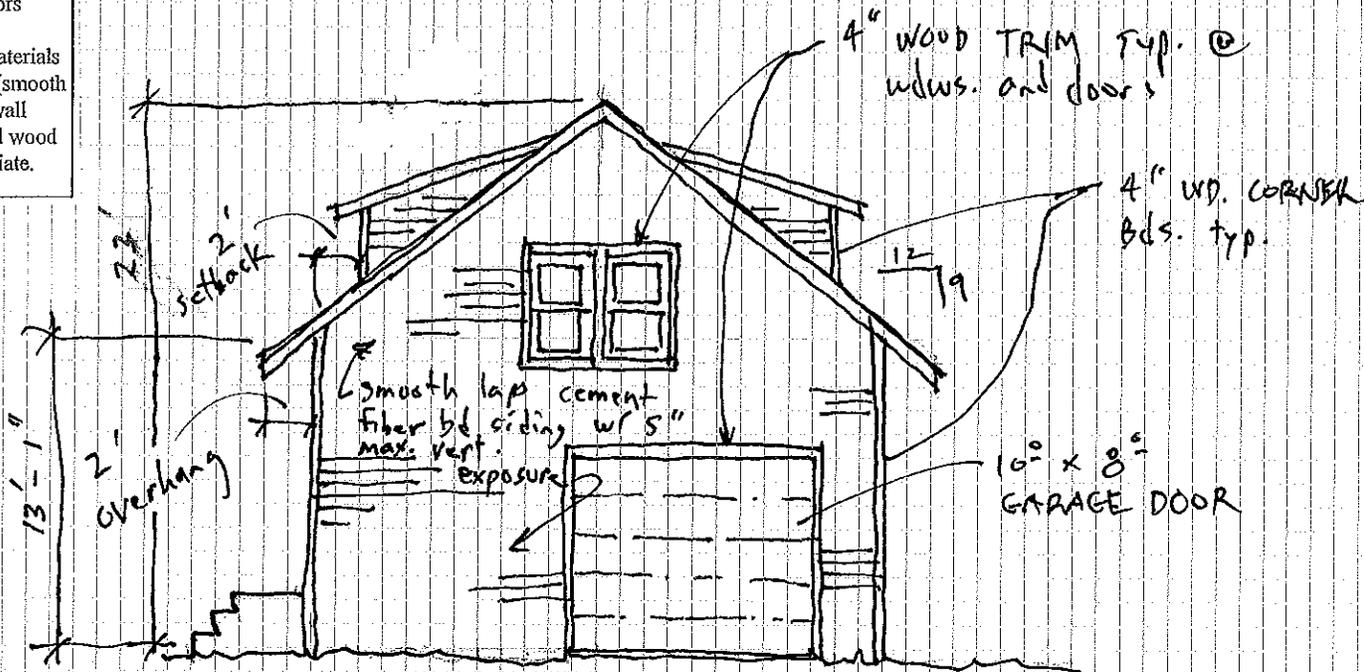
NORTH/ALLEY ELEVATION

1/8" = 1'-0"

MHFC NOTES

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NOTE: EAST ELEVATION MIRRORS THE WEST ELEVATION; ONLY CHANGE IS REMOVAL OF STOOP AND PEDESTRIAN DOOR.

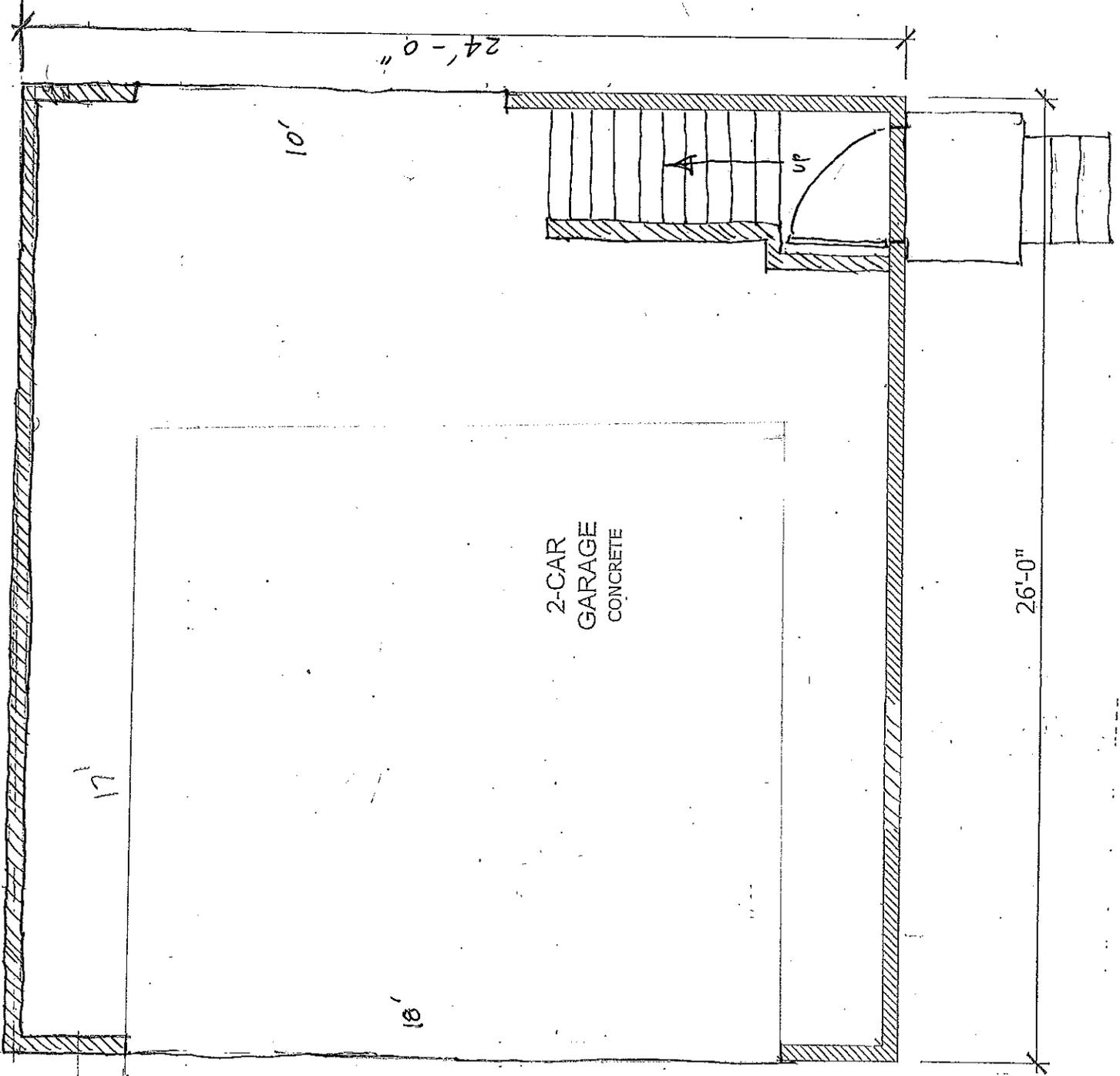


SOUTH ELEVATION
1/8" = 1'-0"

footprint = 624 ft²
 interior = 575 ft²
 upper = 440.16 ft²

10/15/21
 10/15/21

reduce ~~to~~ ALLEY
 24x27
 lower = 528
 upper = 328
 8106



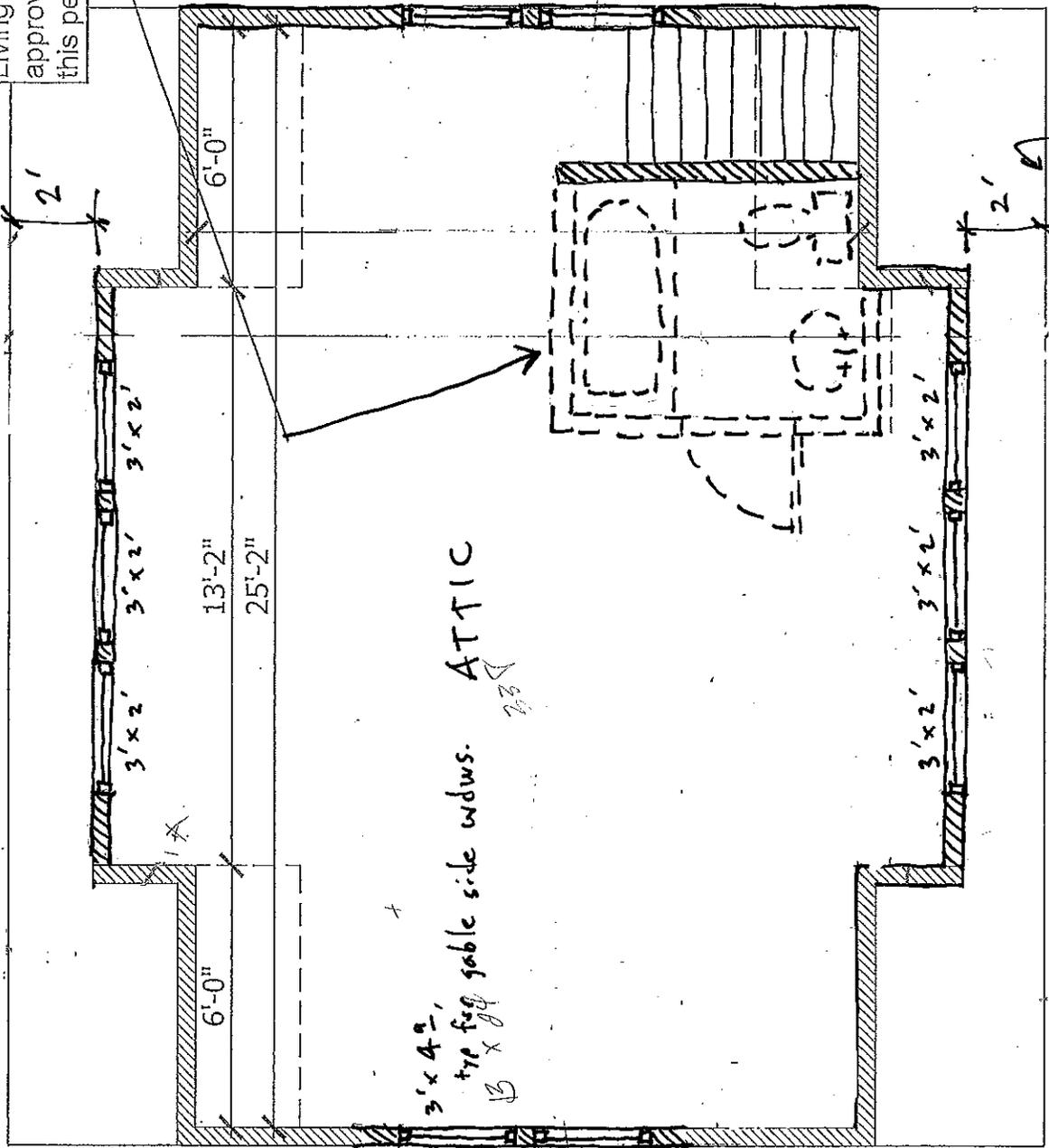
FIRST FLOOR PLAN

1/4" = 1'-0"

* SEE NOTES ON 2ND FLOOR PLAN SHEET

A restrictive covenant may be required by codes for a full bath. Living space is not approved as part of this permit.

FIRST FUR WALL



wall face at first floor

- MEZC NOTES**
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