



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

751 Benton Avenue

August 20, 2014

Application: New construction-addition

District: Woodland-in-Waverly Historic Preservation Zoning Overlay

Council District: 17

Map and Parcel Number: 10510031000

Applicant: Kaitlyn Smous, Allard Ward Architects

Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: The applicant proposes an addition to the rear and side of the existing house.

Recommendation Summary: Staff recommends approval with the condition that staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation.

With this condition, staff finds that the project meets III.B.1, III.B.2 and V.B.2 of the design guidelines for the Woodland-in-Waverly Historic Preservation Zoning Overlay.

Attachments

A: Photographs

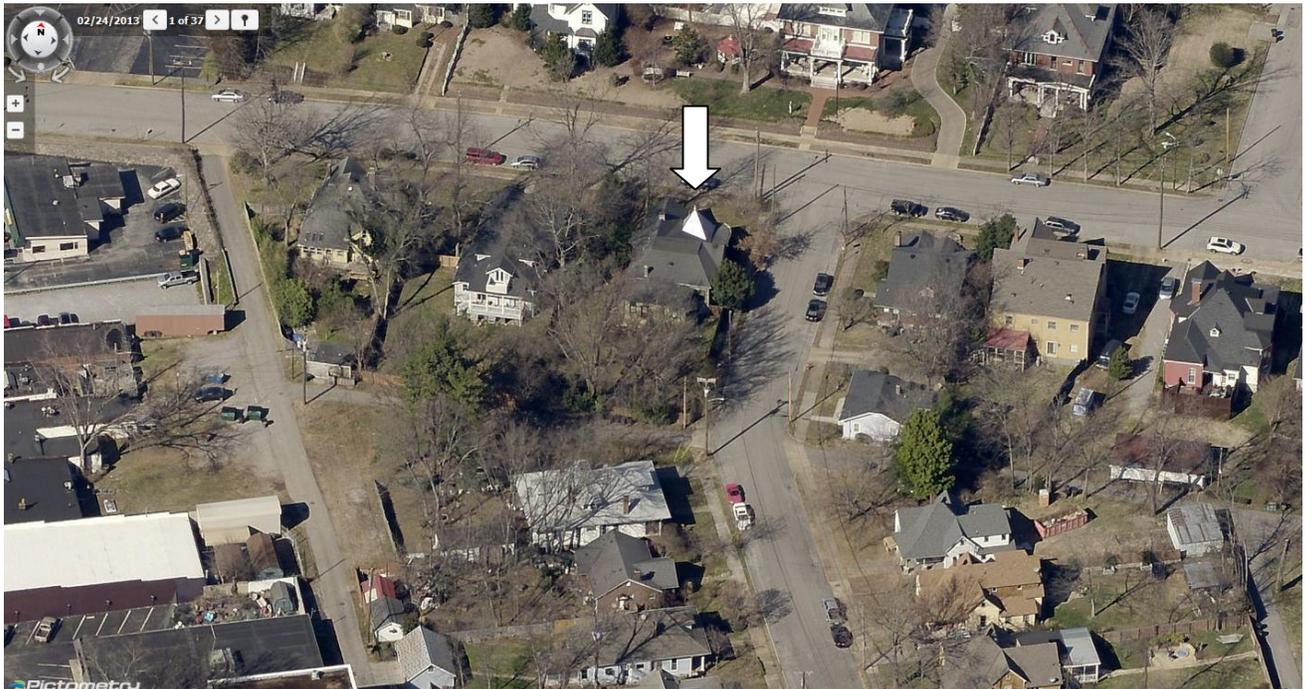
B: Site Plan

C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.
- b. The creation of an addition through enclosure of a front porch is not appropriate.
- c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, material color, material, and character of the property, neighborhood, or environment.
- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.
- e. Additions should follow the guidelines for new construction.

III.B.2 New Construction

- a. Height: The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.
- b. Scale: The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- c. Setback and Rhythm of Spacing: The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
- d. Materials, Texture, and Details and Material Color: The materials, texture, and details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl, aluminum, and T-1-11 panel siding are not appropriate.
- e. Roof Shape: The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.
- f. Orientation: The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
- g. Proportion and Rhythm of Openings: The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
- h. Outbuildings:
 - 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details. *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board - and -batten are typical siding materials. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim). Generally, the minimum roof pitch appropriate for outbuildings is 12:4. Decorative raised panels on publicly visible garage doors are generally not appropriate. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels. Publicly visible windows should be appropriate to the style of the house.*
 - 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings. *Historic garages are usually located as near to a rear corner of a parcel as possible.*
- i. Appurtenances: Appurtenances related to new buildings, including driveways, sidewalks, lighting, fencing, and walls, shall be compatible, by not contrasting greatly, with the characteristics of the surrounding historic buildings.

V.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or

b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

V.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

Background: 751 Benton Avenue is a contributing Queen Anne-style home that dates to 1910. It is a contributing building in the Woodland-in-Waverly Historic Preservation Zoning Overlay.



Figure 1. 751 Benton Avenue

Analysis and Findings: This application is for an addition to the rear and side of the house.

Demolition: This project calls for demolition of a rear deck, and a portion of the rear and right side of the house. A section of the right side wall at the rear is likely original to the building, but staff’s analysis is that the portions proposed to be removed do not contribute to the historical integrity of the house. A chimney at the rear will be removed, but this is not a character-defining feature of the historic house. This partial demolition meets section V.B.2 for appropriate demolition, and does not meet section V.B.1 for inappropriate demolition.



Figure 2. Non-historic addition and deck to be removed for the proposed addition

Design, Height and Scale: The rear addition will be twenty-nine feet and seven inches (29’7”) from the rear wall of the house, and will inset two feet (2’) on the left side and

one foot four inches (1'4") from the right. The foundation height will match that of the house. The rear addition's eave height will also match that of the house.

The side addition will add twenty-two feet (22') to the side of the house but only be nineteen feet and eight inches (19'8") deep. The side addition's eave height is one foot (1') lower than the house's eave height. Staff finds the addition to be appropriately subordinate to the historic house, and meets sections III.B.1, III.B.2.a and III.B.2.b of the design guidelines.

Location and Removability: The rear addition will be inset on each side, permitting the rear corners of the house to remain.

The design guidelines state that a side addition may be appropriate when the building is shifted to one side of the lot, the addition is shorter than the house, and it sits back at least to the midpoint of the house, which is the case here.

If the additions were to be removed in the future, the essential form and integrity of the original structure would be unimpaired. The addition meets sections III.b.1.a and III.B.1.d of the design guidelines.

Setback & Rhythm of Spacing: The rear addition will be more than fifty-one feet (51') from the rear property line, and six feet two inches (6'2") and twenty-five feet ten inches (25'10") from the side property lines.

The side addition will be six feet and five inches (6'5") from the side property line and more than thirty-five feet (35') from the front of the house. It will not significantly impact the rhythm of spacing of the house along the street.

The proposed additions meet base zoning setback requirements of five feet (5') on the sides and twenty feet (20') from the rear, meeting sections III.B.1 and III.B.2.c. of the design guidelines.

Proportion and Rhythm of Openings: The plans submitted indicate no changes to the window and door openings on the existing house. The windows on the proposed addition are generally twice as tall as they are wide, meeting the historic proportions of openings. The square windows are acceptable in the proposed location toward the rear of the addition. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings meet Section III.B.1 and III.B.2.g.

Materials, Texture, and Details and Material Color: Materials for the additions will be wood siding with a five inch (5") reveal and vertical siding. Trim will also be wood. The foundation will be concrete block with a parge-coat finish, and the roof will be architectural fiberglass shingles in a color to match the existing roof. The framing and steps for the rear porch will be wood. The windows and doors will be wood; Staff requests to approve the final window and door selections prior to purchase and

installation. With the staff's final approval of the windows and doors, staff finds that the known materials meet Sections III.B.1 and III.B.2.d of the design guidelines.

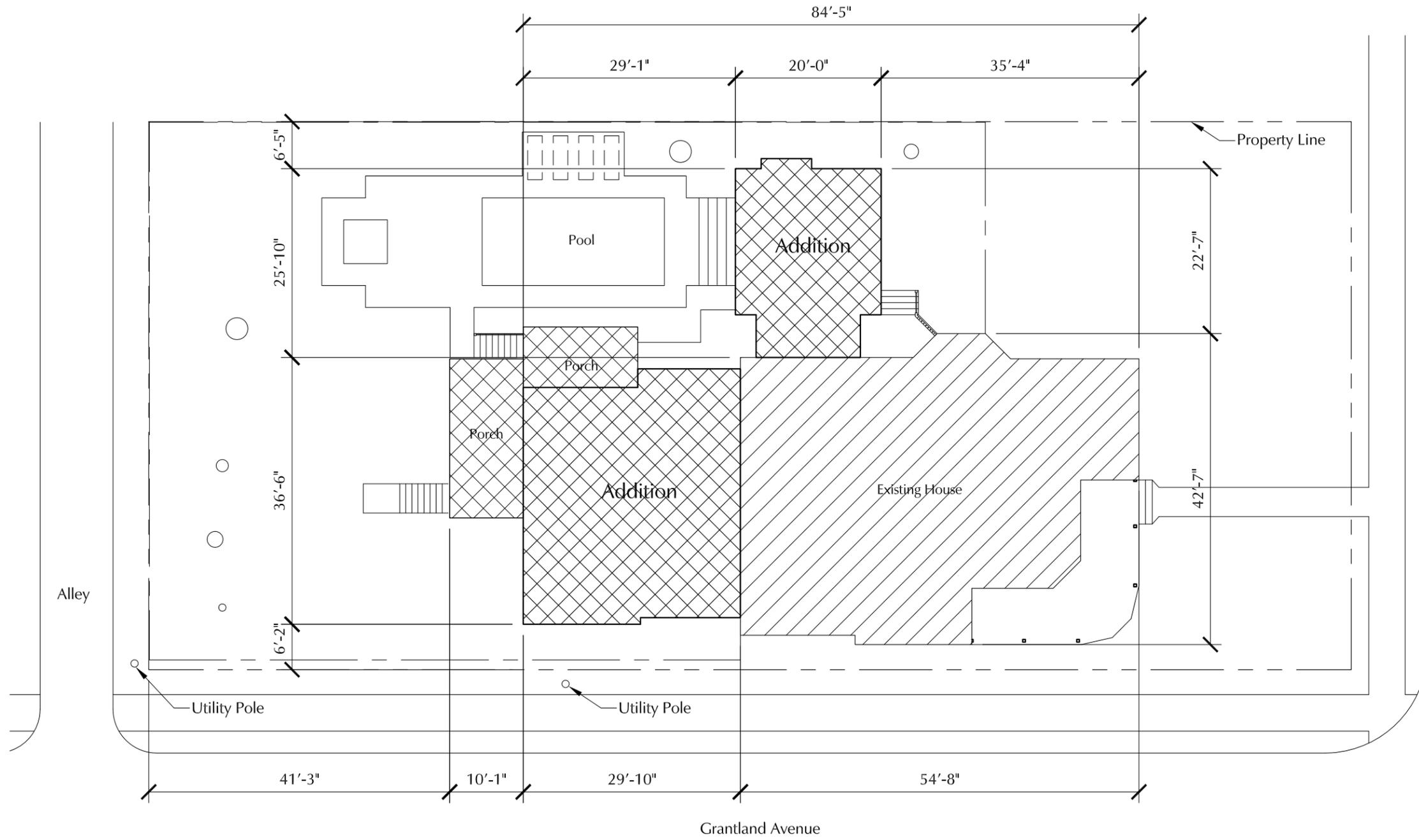
Roof Form:

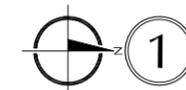
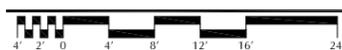
The rear addition has a side-facing gable also with 9/12 pitch, matching the existing gable on the house's left side. The side addition will have a hipped roof with 9/12 pitch. these roof forms are appropriate historically and meet sections III.B.1 and III.B.2.e of the design guidelines.

Recommendation:

Staff recommends approval of the proposed addition with the condition of final approval of the details, dimensions and materials of windows and doors prior to purchase and installation.

With this condition, staff finds that the project meets III.B.1, III.B.2 and V.B.2 of the design guidelines for the Woodland-in-Waverly Historic Preservation Zoning Overlay.



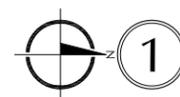
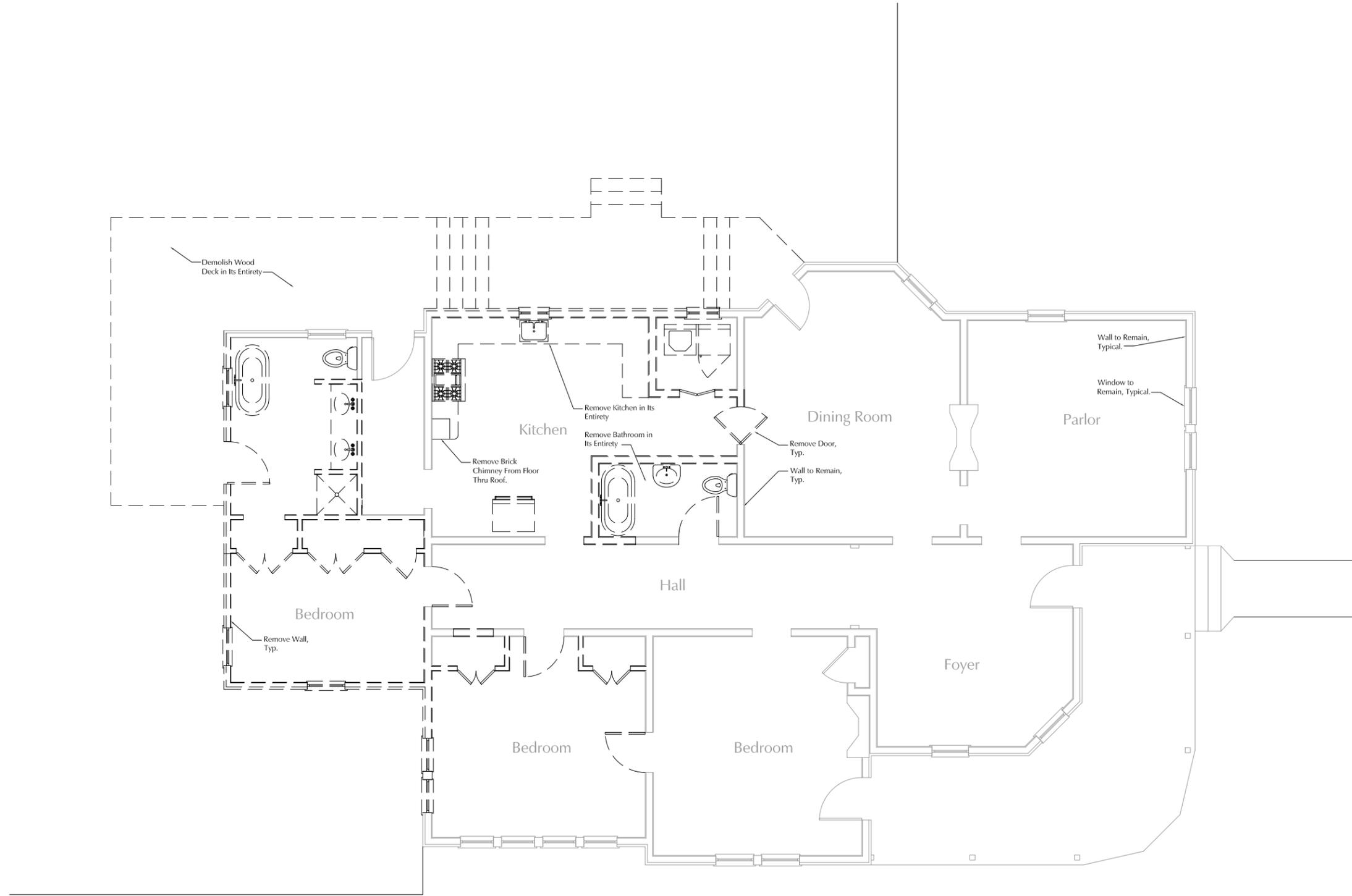

Site Plan
 Scale: 1/16"=1'-0"



ALLARD WARD
 ARCHITECTS
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Drawings:
 Site Plan
 Date:
 08.04.14



Addition and Renovations for:
The Ruark Residence
 751 Benton Avenue
 Nashville, TN 37204



First Floor Demo Plan



Scale: 1/8"=1'-0"

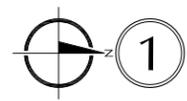
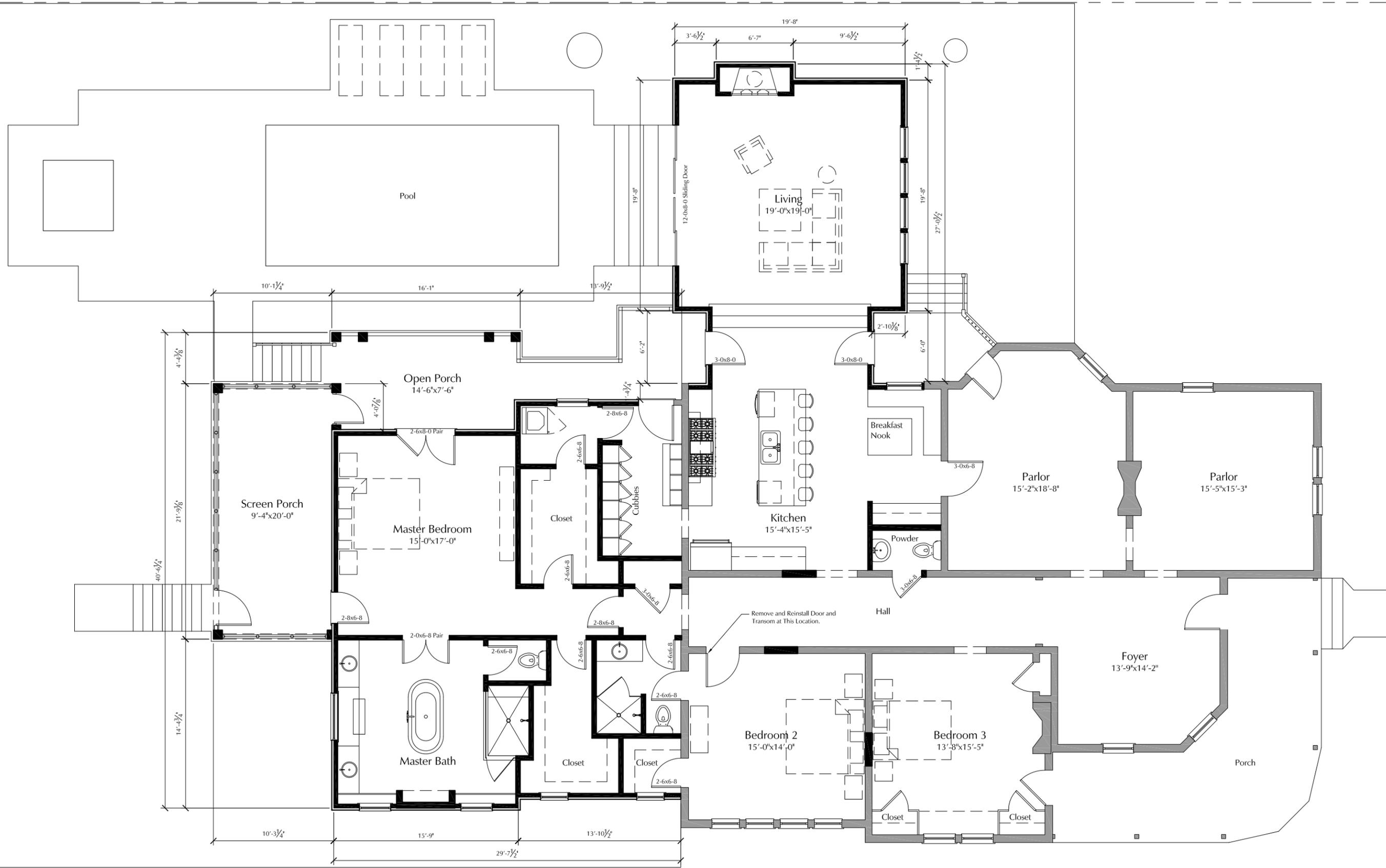
Drawings:
First Floor Demolition Plan

Date:
08.04.14

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Addition and Renovations for:
The Ruark Residence
 751 Benton Avenue
 Nashville, TN 37204

A1.1



First Floor Plan



Drawings:
First Floor Plan
Date:
08.04.14

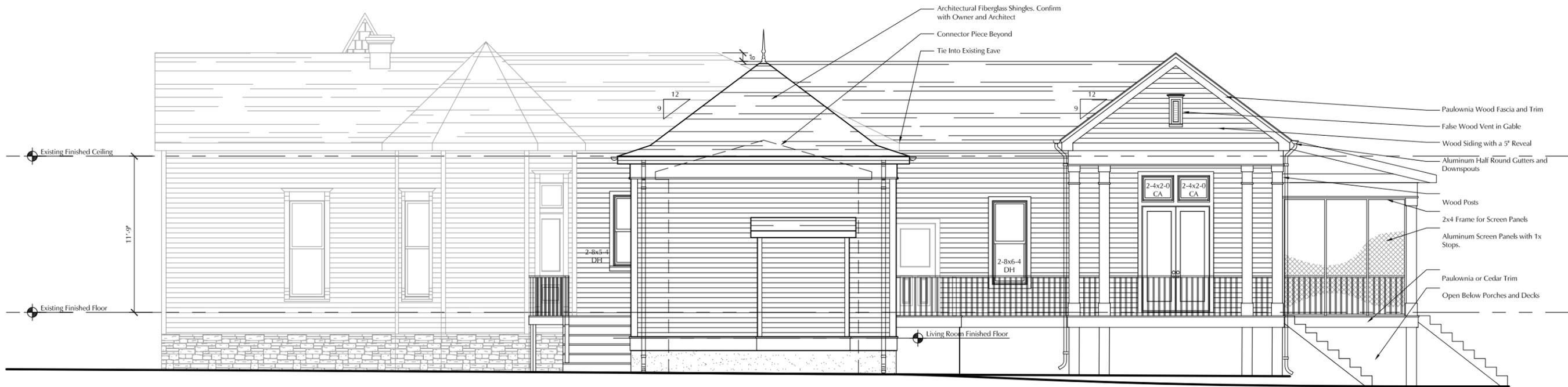
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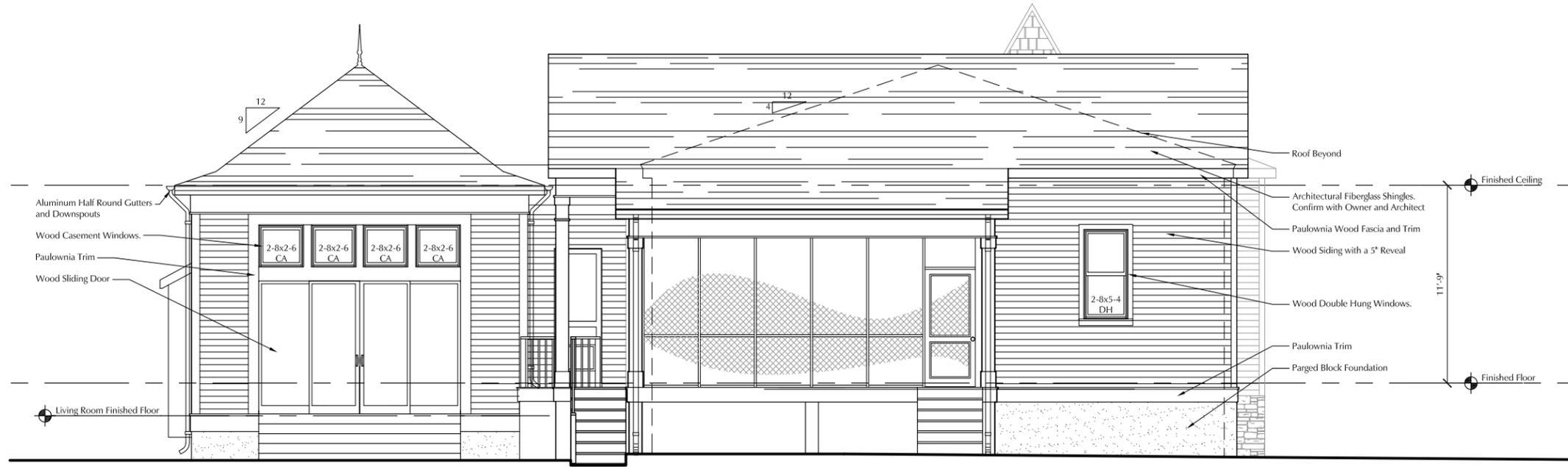
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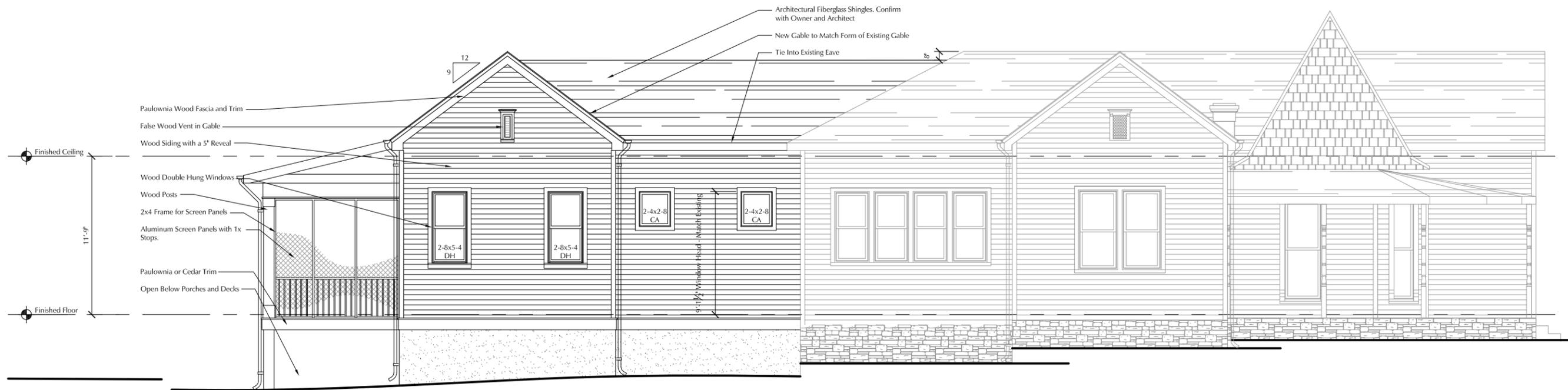
1 North Elevation
 Scale: 1/8"=1'-0"



2 West Elevation
 Scale: 1/8"=1'-0"



1 South Elevation
 Scale: 1/8"=1'-0"



2 East Elevation
 Scale: 1/8"=1'-0"

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The Ruark Residence
 751 Benton Avenue
 Nashville, TN 37204

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Drawings:
 South Elevation
 East Elevation
 Date:
 08.04.14

A2.1