



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

2619 A Ashwood Avenue

October 15, 2014

Application: New construction – infill and outbuilding

District: Hillsboro-West End Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 10415049600

Applicant: Robert Thompson, Pfeffer Torode Architecture

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant has revised plans for an infill project that was approved by the Commission in September, 2014. The revisions would increase the width of a left-side box-bay by ten inches (10”) and the overall height of the building by nine inches (9”). No other changes from the approved proposal have been made.

Recommendation Summary: Staff recommends approval of the proposed alterations with all other previously approved conditions and provisions, finding that the proposal meets the applicable design guidelines for infill in Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.

Attachments

A: Site Plan

B: Elevations

Applicable Design Guidelines:
II.B. GUIDELINES

1. New Construction
a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

Background: The lot at 2619 A Ashwood Avenue is vacant. The parcel is between 2515 and 2519 Ashwood Avenue, but is currently listed as 2619-A Ashwood Avenue in Metro Records.

An application to construct a two-story house with a form similar to that of an historic Foursquare style house was approved by the MHZC in September, 2014. The applicant now requests alterations to the original submission that could not be approved by Staff.

Analysis and Findings:

Height & Scale:

In the revised plans, the first floor ceiling height will be increased from nine feet, three inches (9'-3") to ten feet (10'). This increases the overall height of the building to thirty-six feet (36') tall from grade to the roof peak, and increases the width of a box-bay from twelve inches (12") to twenty-two inches (22").

Staff finds the increased height is still compatible with historic houses nearby, including the adjacent house which is thirty-seven feet (37') tall.

No other changes from the approved infill or the approved outbuilding are proposed.

Recommendation:

Staff recommends approval of the proposed alterations with all other previously approved conditions and provisions, finding that the proposal meets the applicable design guidelines for infill in Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



2619 A Ashwood Avenue, between 2515 and 2519 Ashwood Avenue.

2517 (2619-A) Ashwood Avenue

NASHVILLE, TENNESSEE

INDEX OF DRAWINGS

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A2.1	FRONT AND REAR ELEVATIONS
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PROJECT TEAM

ARCHITECT
 PFEFFER TORODE ARCHITECTURE
 521 8th AVENUE SOUTH, SUITE 103
 NASHVILLE, TN 37203
 615-618-3565
 jamie@pfeffertorode.com

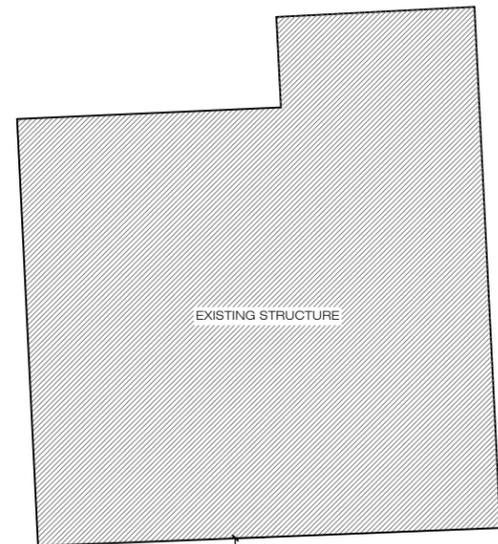
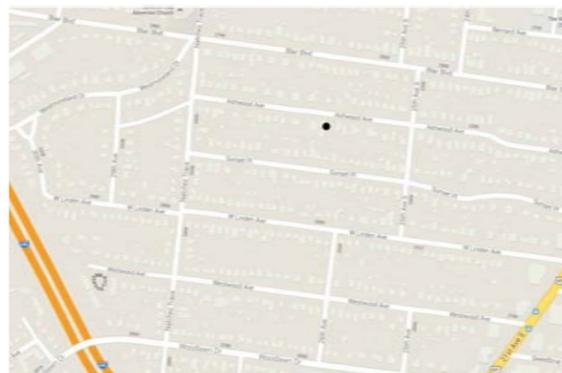
BUILDING DATA

ADDRESS: 2519 ASHWOOD AVENUE
 NASHVILLE, TENNESSEE 37212
 PARCEL ID: 10415006700
 DESCRIPTION: Addition
 LOT AREA: 0.36 ACRES
 DIMENSIONS: 100' x 160'

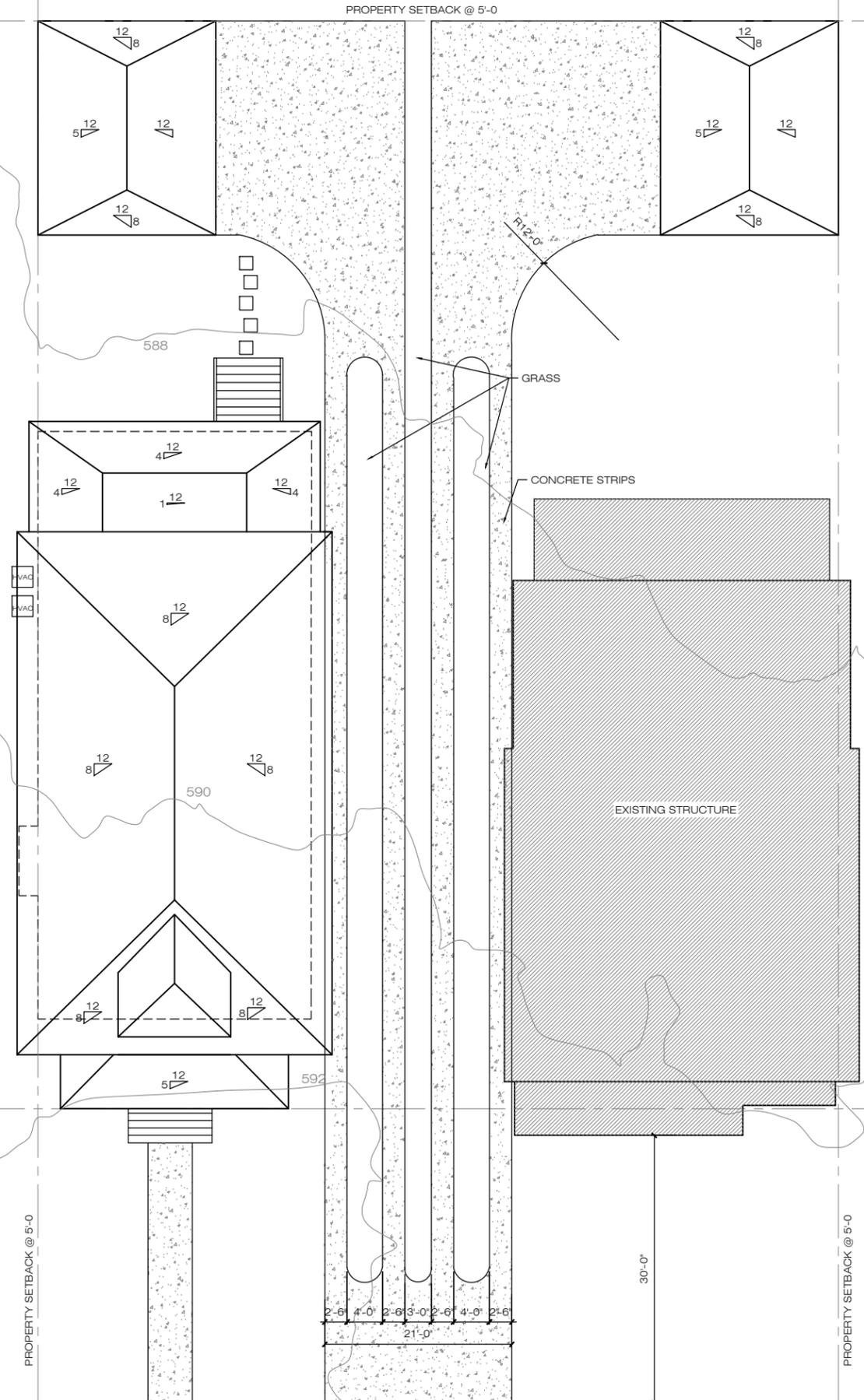
TOTAL PROPOSED LIVING AREA: 3,435 SF

ML CONDITIONED : 1,816 SF
 UL CONDITIONED : 1,619 SF
 UNCONDITIONED : 431 SF

VICINITY MAP



EXISTING STRUCTURE



1 SITE PLAN
 SCALE 1/16" = 1'-0"

ARCHITECT:

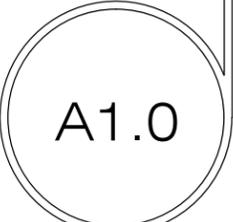


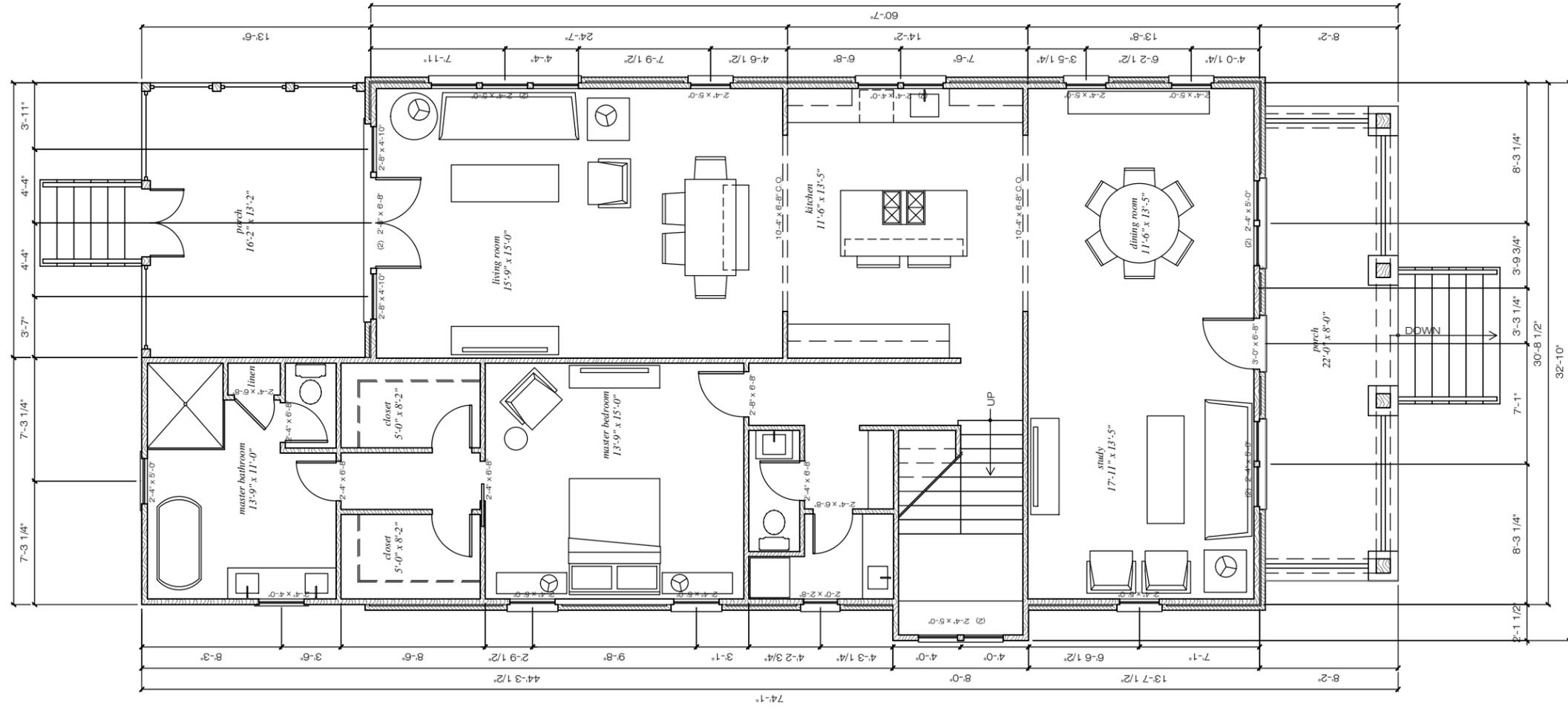
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 Nashville, Tennessee 37212

TITLE & SITE PLAN

26 SEPTEMBER 2014





1 LOWER LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

FLOOR PLAN

PROJECT:

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Nashville, Tennessee 37212

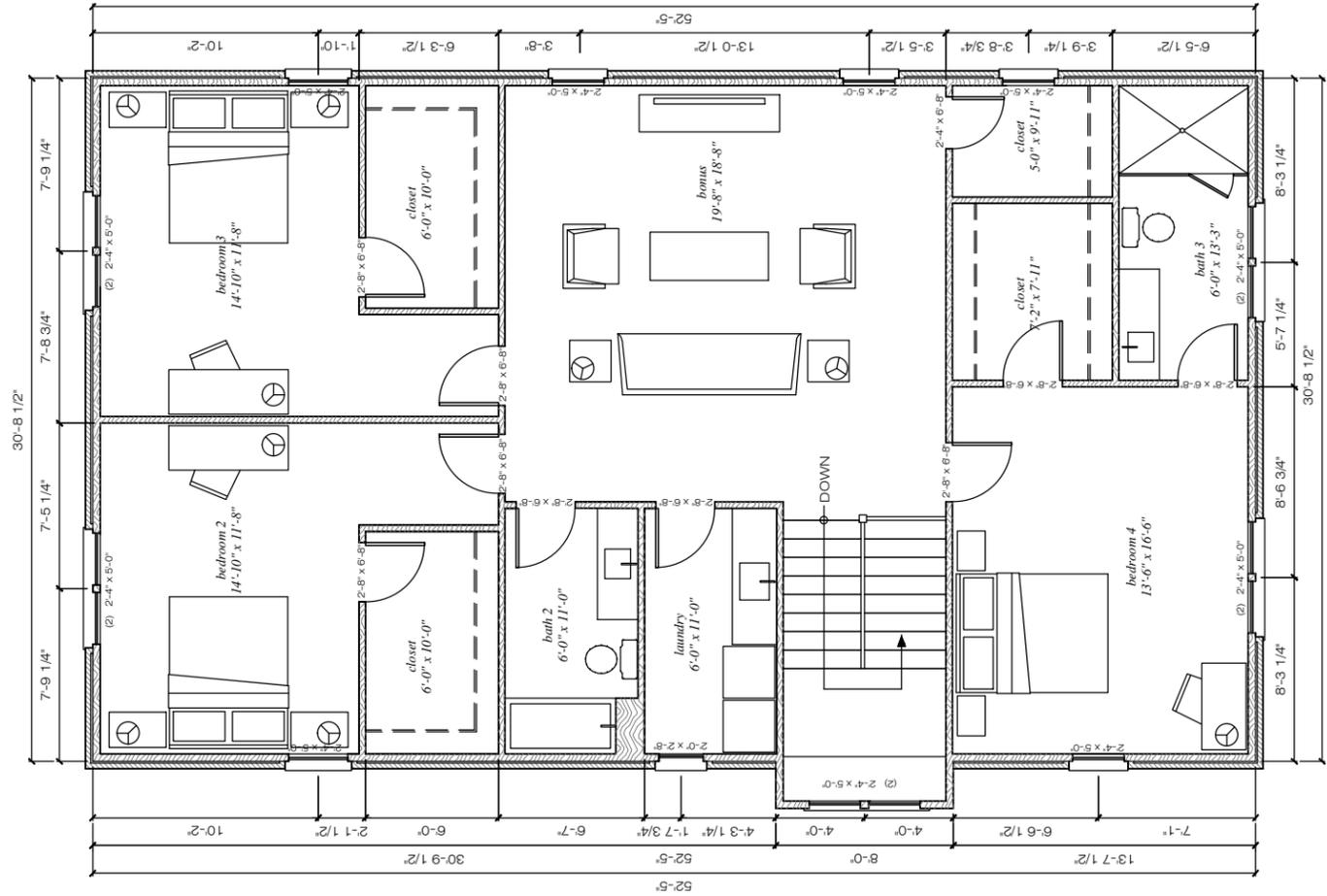
ARCHITECT:



Pfeiffer Torode Architecture
521 8th Avenue South, Nashville, Tennessee 37203
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615-667-0808

26 SEPTEMBER 2014

A1.1



lower level 1,692 sf
 upper level 1,619 sf
 total area 3,311 sf

1 UPPER LEVEL FLOOR PLAN
 SCALE 1/8" = 1'-0"

FLOOR PLAN

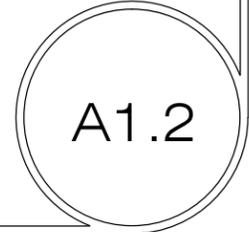
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ARCHITECT:



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1 FRONT ELEVATION
SCALE 1/8" = 1'-0"



2 REAR ELEVATION
SCALE 1/8" = 1'-0"

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ELEVATIONS

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A2.1



1 RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"

ASPHALT SHINGLES - WEATHERWOOD

METAL ROOF

SCREENED PORCH

WOOD WINDOW

BRICK VENEER

WOOD DECK POST

SPLIT FACED BLOCK

ASPHALT SHINGLES - WEATHERWOOD

BRICK VENEER

SMOOTH TEXTURE HARDIPLANK SIDING 5" REVEAL

HARDIPLANK TRIM BOARD

WOOD COLUMN

WOOD CORBELS

BRICK VENEER

BRICK ROWLOCK COURSE

BRICK STEPS

SPLIT FACED BLOCK

ARCHITECT:



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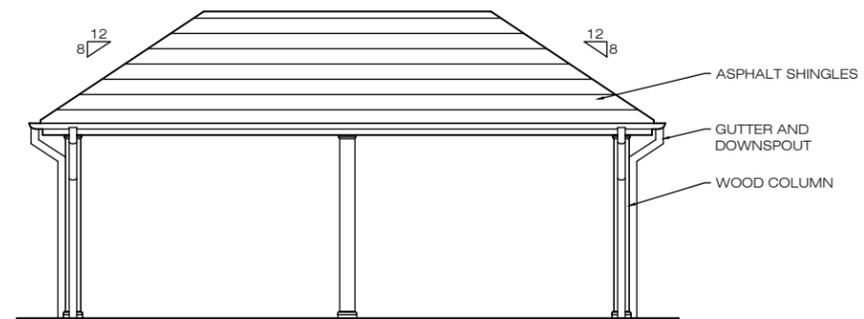
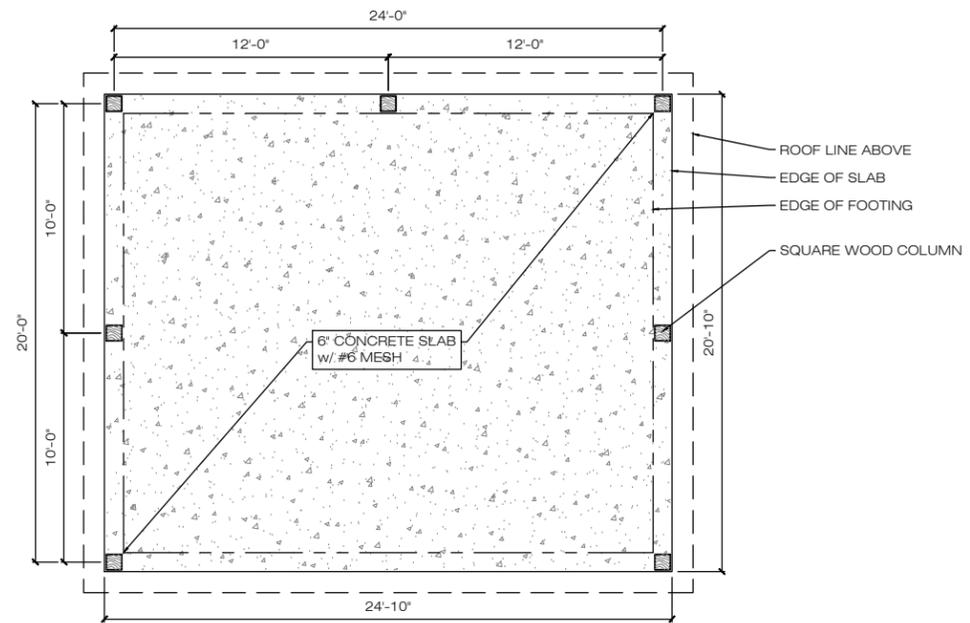
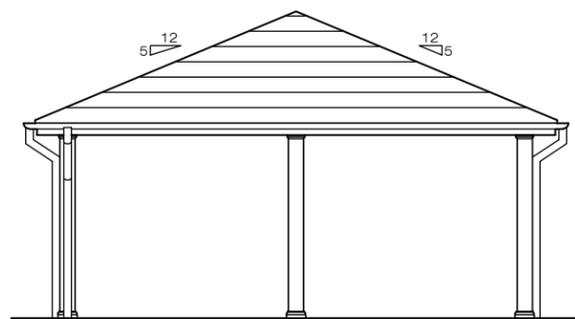
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ELEVATIONS

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A2.2



1 CARPORT
SCALE 1/8" = 1'-0"

ARCHITECT:



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CARPORT

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A2.3