



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
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STAFF RECOMMENDATION
312 Broadway
October 15, 2014

Application: Rehabilitation – storefront and windows; New construction – addition
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306400500
Applicant: Bill Johnson, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to rehabilitate the first-story storefront, to replace windows in the second and third stories, and to construct a rooftop addition. A metal canopy will also be added above the storefront.

Recommendation Summary: Staff recommends approval of the storefront rehabilitation, window replacement, and rooftop addition with the conditions that:

- The new doors be wood and be compatible with the proportions of the storefront.
- The original entrance location be retained.
- Selective demolition be done to determine the condition and appearance of the original bulkheads before reconstruction.
- The original transom bars and transoms be retained and repaired appropriately.
- The original first story columns be retained and repaired appropriately.
- Staff approved the color of the metal canopy, roofing and siding of the addition.
- The new windows in the upperstory be paired double-hung windows to match the rhythm and proportion of the original windows.

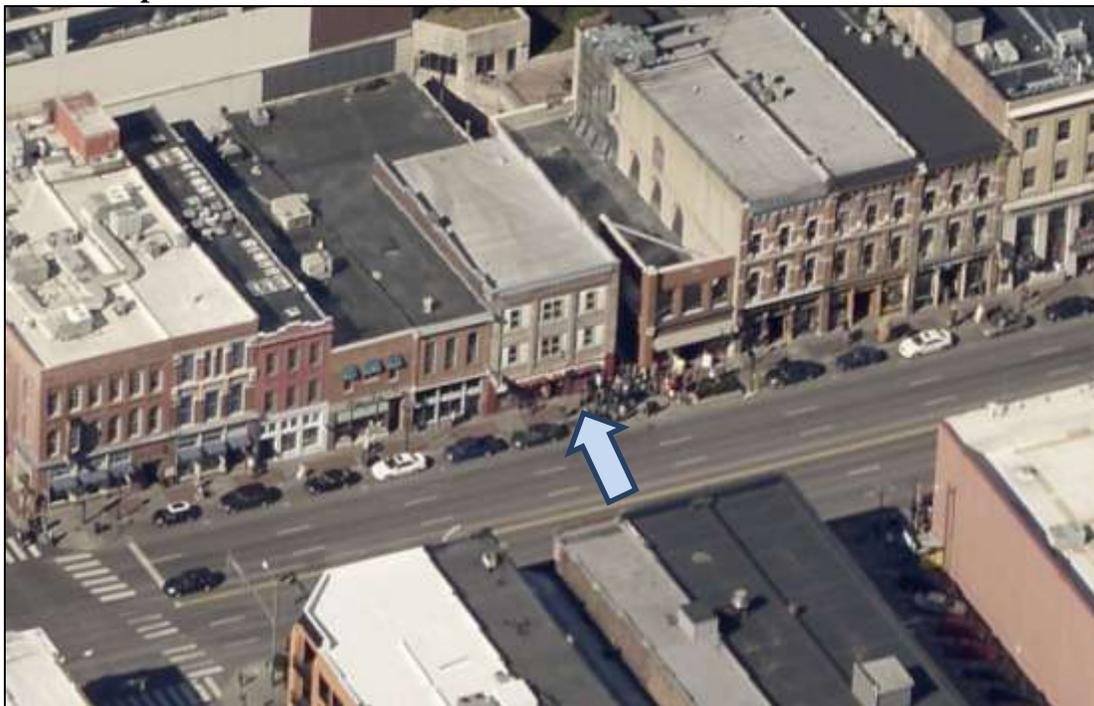
Meeting those conditions, staff finds that the project would meet the design guidelines for the Broadway Historic Preservation Zoning Overlay.

Attachments
A: Sanborn Map
B: Photographs
C: Site Plan
D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. Rehabilitation

A. Storefronts

1. Historic storefronts, their component elements, and other aspects of appearance including the original entrance configuration, plane, and recess should be retained.
2. Deteriorated or damaged storefronts or component elements should be repaired using historically appropriate materials.
3. If replacement storefronts or component elements are necessary, replacements should be compatible with the materials, composition, design, texture, and general appearance of the original. Replacements should use physical or photographic evidence to replicate the original appearance. If evidence is not available, the replacement storefront should use arrangement, features, materials, and proportions typically found on buildings of the same style and period of the building involved.

B. Doors and Entryways

1. Original doors, entryways, and related elements should be retained.
2. Deteriorated or damaged doors or entryways should be repaired using historically appropriate materials.
3. If replacement doors are necessary, replacements should replicate the originals. If original doors do not remain, replacement doors should be of wood and the proportion of glass to door should be comparable to the proportion of display windows to storefront.
4. If doors or entrances do not conform to building or accessibility codes, the originals should be retrofitted to conform. If this is not feasible, replacement doors should be compatible with the original storefront. Variances to building codes may also be sought when the building meets the intent of the code requirements.
5. If wood replacement doors are not feasible, or were not original to the building, dark or bronze anodized metal doors with a wide stile may be appropriate. Raw metal doors and doors without a glass pane are not appropriate. Glass used in replacement doors should be clear.
6. Generally, new entryways should not be introduced to public facades, unless needed for access to an upper floor or a secondary building use. If a new entrance is needed, it should be compatible with the style and period of the building.

C. Display Windows

1. Original display windows and their component elements should be retained.
2. Deteriorated or damaged display windows should be repaired using historically appropriate materials.
3. If replacement display windows are necessary, replacements should replicate the originals. If original display windows do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include individual or grouped single-light clear-glass panes and simple wood, copper, bronze anodized aluminum, or baked-enamel aluminum frames.
5. Glazing should be clear glass. Ornamental, frosted, spandrel, or stained glass display windows are not appropriate.
6. Display windows should remain visible and not be concealed or enclosed.
7. If privacy or shade other than that afforded by awnings is needed, interior shades or blinds are appropriate.

D. Transoms

1. Original transoms and their component elements should be retained.
2. Deteriorated or damaged transoms should be repaired using historically appropriate materials.
3. If replacement transoms are necessary, replacements should replicate the original. If original transoms do not exist, replacements should be appropriate for the building's style and period.

4. Appropriate replacement elements include single or multi-light clear-glass panes and simple wood or metal frames.
5. Historic transoms should remain visible and not be covered or enclosed.

E. Bulkheads

1. Original bulkheads and their component elements should be retained.
2. Deteriorated or damaged bulkheads should be repaired using historically appropriate materials.
3. If replacement bulkheads are necessary, replacements should replicate originals. If original bulkheads do not exist, replacements should be appropriate for the building's style and period of construction.
4. Appropriate replacement elements include paneled and painted wood, brick, and metal.
5. Historic bulkhead materials should remain visible, not concealed beneath added materials.

F. Cast Iron, Wood Pilasters, and Columns

1. Original pilasters and columns should be retained.
2. Applying paint or another surface treatment is an appropriate preservation measure.
3. Deteriorated or damaged columns and pilasters should be repaired using historically appropriate materials.
4. If replacement pilasters or columns are necessary, replacements should replicate originals.
5. Appropriate replacement materials include wood, cast iron, and stone.
6. Owners are encouraged to replace pilasters and columns that were original to the building but have been removed.

H. Windows

1. Historic window openings, windows, and window surrounds should be retained.
2. Deteriorated or damaged window openings, windows, and window surrounds should be repaired using historically appropriate materials. If replacement windows or window surrounds are necessary, replacements should replicate originals.
3. If original windows do not exist, replacements should be appropriate for the building's style and period.
4. If the original windows are missing, replacement windows should use wood, anodized aluminum, or baked-on-enamel aluminum frames and should have single-light or multiple-light clear-glass panes to match the style and period of the building. Steel windows should be replaced with steel or aluminum designs that replicate the appearance of the original window.
5. Window openings, surrounds, or other elements not original to a building should generally not be introduced to the public facades of the building. The installation of such window openings on the rear of the building may be appropriate.
6. Should storm windows be desired, their dimensions should match window dimensions in order to conceal their presence. Frames should be set within the window opening and attach to the exterior sash stop; if aluminum, they should have an anodized or baked-on enamel finish.
7. Self installed snap, clip or glue type muntins on windows are not permitted. Muntins set within the vacuum between glass panes on windows are not approved.
8. Window grilles and balcony rails are not appropriate window treatments. Shutters are only appropriate when they replace original wood shutters and should be operable.

K. Decorative Elements

1. Original decorative elements such as cornices, brick corbelling, arches, brackets, and detailing should be retained without alteration.
2. Deteriorated, damaged, or missing decorative elements should be repaired using historically appropriate materials.
3. Owners should not add decorative elements to a building, unless there is physical or pictorial evidence.
4. Decorative or ornamental detailing should not be added to buildings unless there is physical or photographic evidence that shows the detailing was original to the building. New designs should be appropriate to the style and period of the building.

S. Canopies

1. Canopies should not obscure windows or architectural details.
2. Canopies should be constructed of materials compatible with the storefront of the building, such as metal and wood.
3. Lighting and signage on canopies shall be consistent with guidelines for signage and awnings.

III. New Construction

D. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

Background: 312 Broadway is a three-story brick commercial building with a storefront on the first story and a row of corbelled brick brackets at the cornice. The building is shown on the 1888 Sanborn Map.

The historic storefront appears to be largely intact, but the original bulkheads, columns and other components have been covered with wood panels to give the building a faux “western” look. Additionally, the second and third story windows have been replaced, but the original window openings are still apparent.

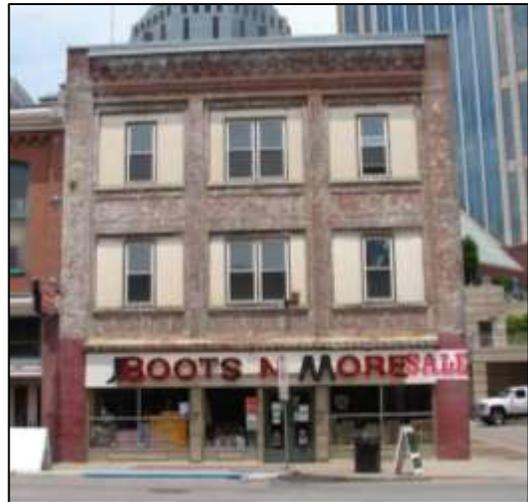


Figure 1: 312 Broadway

Analysis and Findings: The applicant proposes to rehabilitate the first story storefront, to replace windows in the second and third story, and to construct a rooftop addition.

First Story: The applicant proposes to remove the wood paneling and expose the original columns, to reconstruct the bulkheads, replace the storefront windows, and to move the entrance from the center bay to the right bay. A metal canopy is also proposed to be added above the storefront.

Doors and Entryways

The entrance to the building is currently in the right-half of the center bay of the storefront. The proposal would move the entrance from the center bay to the right bay. The current location of the entrance appears to be original, therefore changing the location of the entrance would not meet guideline II.B.1.

The age and condition of the doors appears to support replacement, which would meet guideline II.B.2. As a condition of approval, Staff recommends that the replacement doors are wood and should match the original doors as closely as possible, and that the entrance remain in the same location in the center bay.

Bulkheads, Display Windows, Transoms

The existing display windows and bulkheads are not original and are in poor condition. Replacing these components in-kind to match the original features and materials would meet guidelines II.C and II.E. Staff recommends as a condition of approval that selective demolition of the bulkhead be done to determine if the original bulkhead is intact, and that the reconstructed bulkheads match them as closely as possible.



Figure 2: Example of existing bulkheads

The original transoms on the building are also intact, but have been obscured by signage. The proposal includes removing the signage and replacing the display windows with large display windows without transoms. Exposing the original features and repairing them as needed would meet guideline II.D but eliminating the transoms would not. Staff recommends as a condition of approval that the new storefront windows and transoms match the original proportions.

Columns

Because the wood panels on the columns are not historic, removing them to expose the original columns is appropriate. Staff recommends as a condition of approval that the original fluted columns be retained, or replaced in-kind if necessary to meet guideline II.F. The columns should not be flat or introduce architectural features not original to the building.

Canopy

A new metal canopy will be added above the storefront windows. This material is appropriate for cornices, and the location would not obscure or damage architectural details. The color of the metal is not known, but with staff approval of the color the canopy would meet guideline II.S.

Second and Third Stories:

Historically, the windows in the upperstory of 312 Broadway were double-hung sash windows, with a pair of windows in each bay. The original windows have been replaced and the window openings partially filled-in, but the original openings are still apparent.

The applicant proposes to replace the upperstory windows and re-open the original openings. The new windows would be out-swinging casements with a false check rail, with four windows in each bay. The existing windows are not original and replacement may be appropriate, however Staff finds that the proposed windows are not compatible with the building's style and period, as they do not match the appearance of the original windows. Replacing the existing windows with ones that match the appearance of the historic double-hung sash windows would meet guideline II.H.3



Figure 3: 312 Broadway in 1935 with paired double hung windows.

Rooftop Addition:

The applicant proposes to construct a one-story addition on the roof of the existing building. The addition will sit thirty-seven feet (37') from the front of the building and will not impact the original front façade, which meets the requirements of guidelines II.G.1 and II.G.2. The addition extends the full-width of the building, which is appropriate because the building is not on a corner lot and no side setbacks are required.

The addition will have a low-pitched shed-roof, sloping down toward the front. The front edge of the addition will be two feet (2') higher than the parapet at the front of the building, rising eight feet (8') toward the rear. The low roof pitch and the deep front setback will minimize the visibility of the addition from Broadway. Staff finds that the height of the addition will also meets guideline II.G.2.

The addition will have a standing seam metal roof, which was a common roofing material in the district historically, and vertical metal siding. Although this metal siding is contemporary, it is not visually jarring because of the low degree of visibility from the street. The front wall of the addition will have aluminum storefront windows, which are also appropriate. Staff finds that rooftop addition meets guideline II.G.1.

East Side Elevation:

A new entrance with an aluminum storefront type door is proposed to be added on the right side of the building, with a new metal canopy matching the canopy proposed to be above the storefront. This location is appropriate because the right elevation faces an alley. Additionally, the materials are appropriate and will match those of the storefront.

Signage & Lighting:

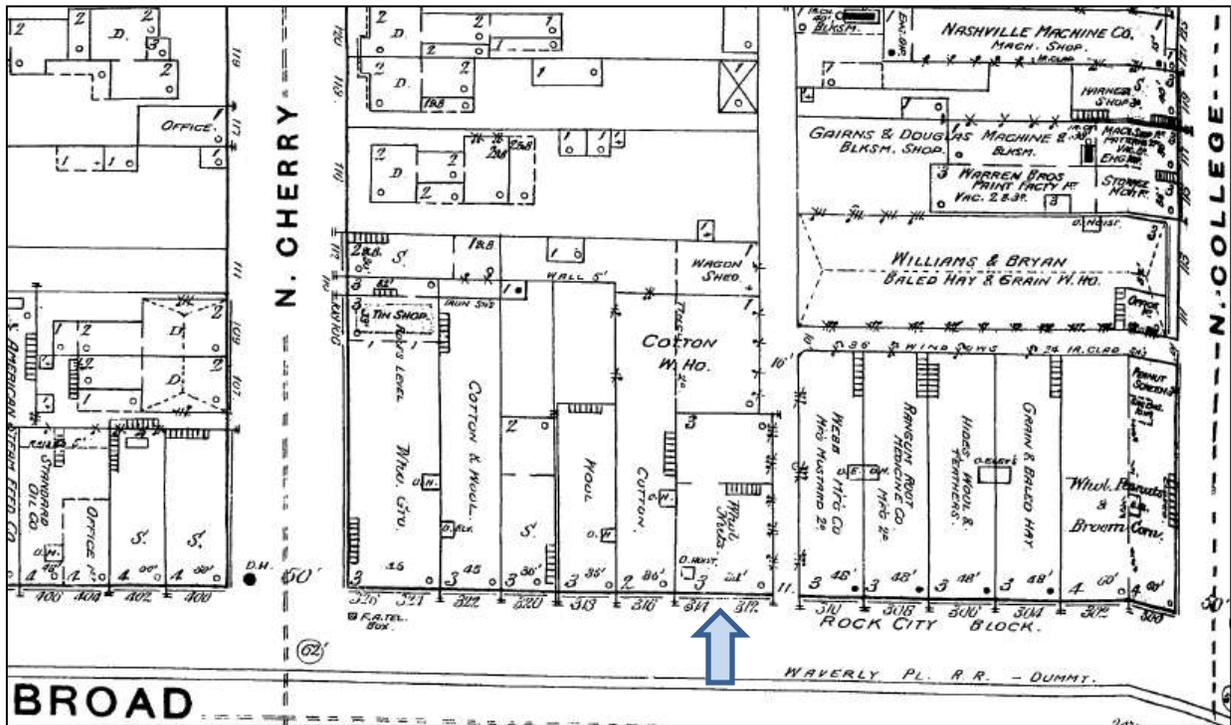
No signage or exterior lighting is proposed at this time.

Recommendation:

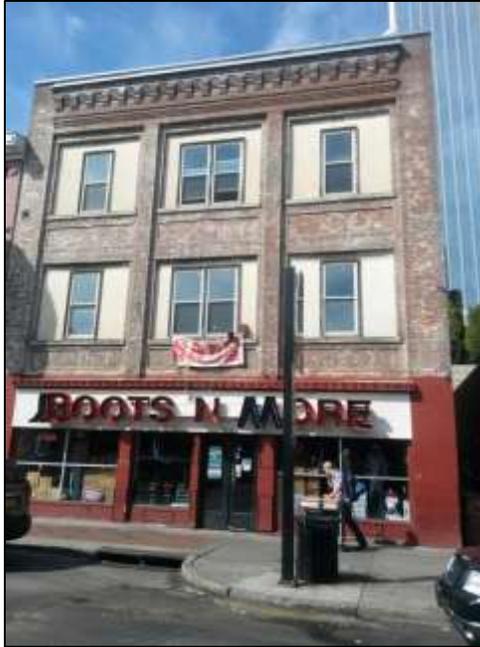
Staff recommends approval of the storefront rehabilitation, window replacement, and rooftop addition with the conditions that:

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- Staff approved the color of the metal canopy, roofing and siding of the addition.
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Meeting those conditions, staff finds that the project would meet the design guidelines for the Broadway Historic Preservation Zoning Overlay.



1888 Sanborn Map detail.



312 Broadway, current photo.



300 Block of Broadway, c. 1935 (source: Metro Archives)



300 Block of Broadway, c. 1975 (source: Metro Archives)

SMITHS 312 BROADWAY NASHVILLE, TN 37201



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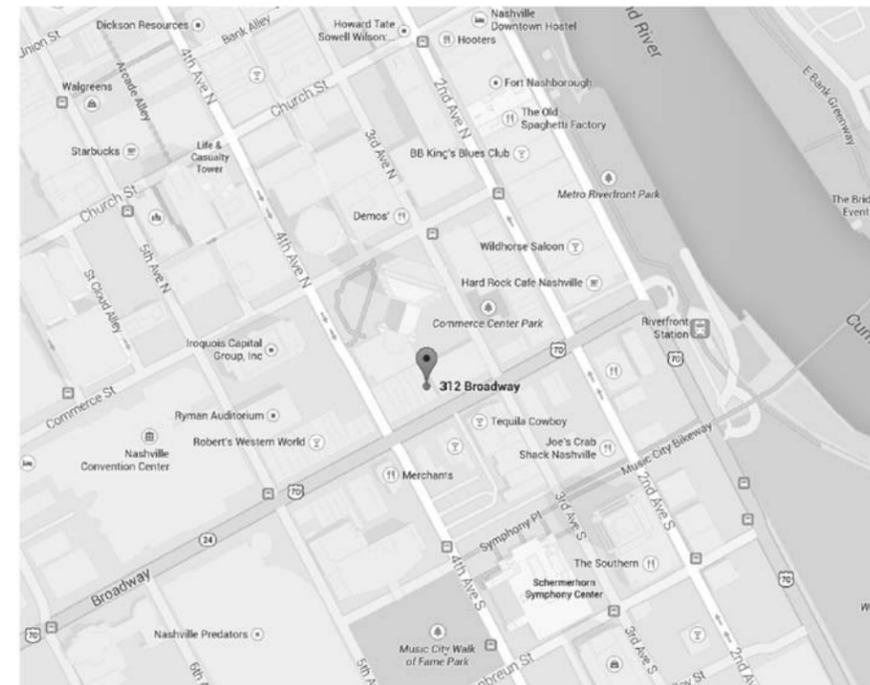
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INDEX OF DRAWINGS

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- A.1 SITE PLAN
- A.2 FLOOR PLANS
- A.3 ELEVATIONS

LOCATION MAP



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312 BROADWAY, NASHVILLE, TN 37201

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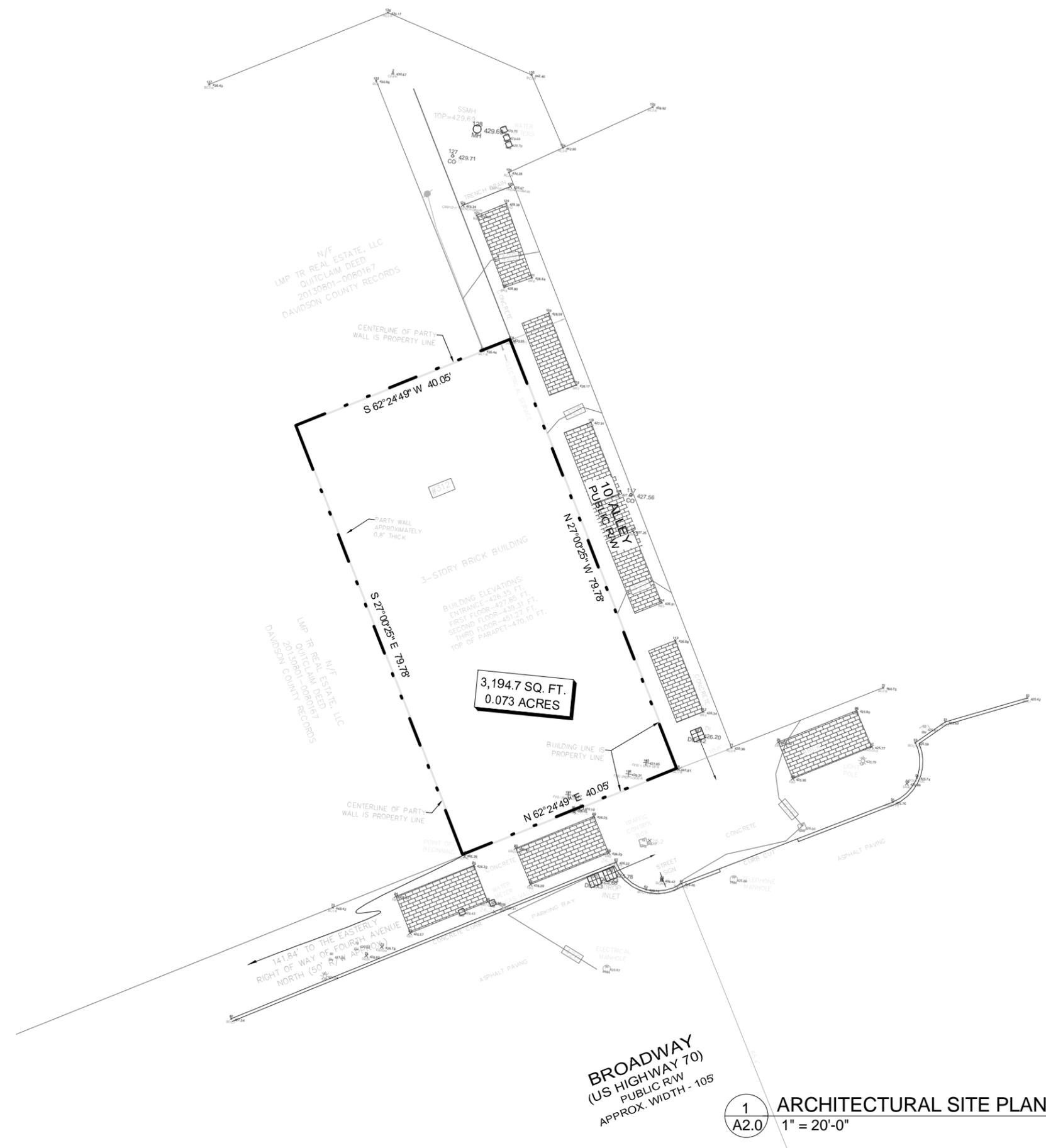
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**3,194.7 SQ. FT.
0.073 ACRES**

BROADWAY
(US HIGHWAY 70)
PUBLIC R/W
APPROX. WIDTH - 105'

1 ARCHITECTURAL SITE PLAN
A2.0 1" = 20'-0"

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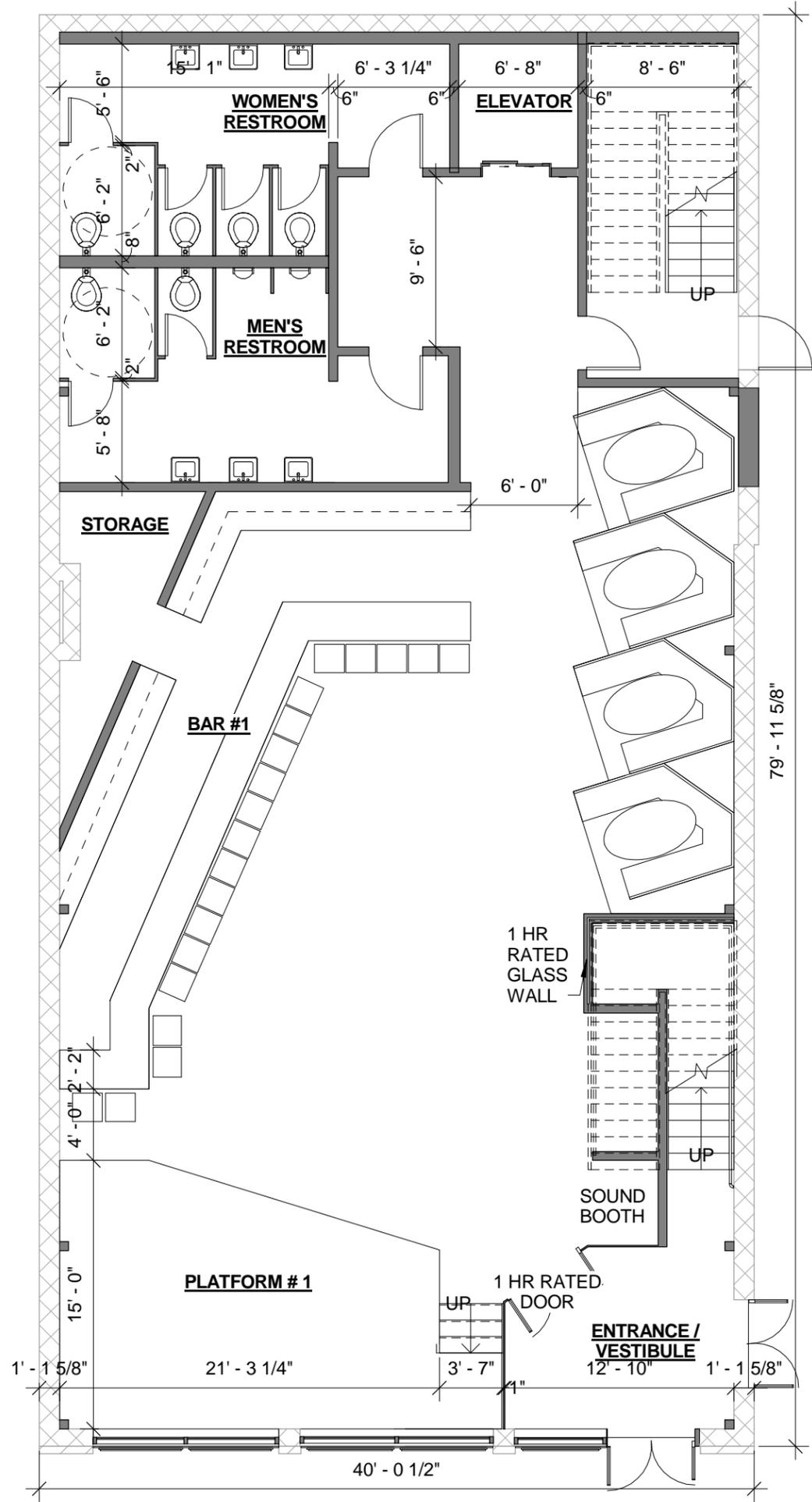
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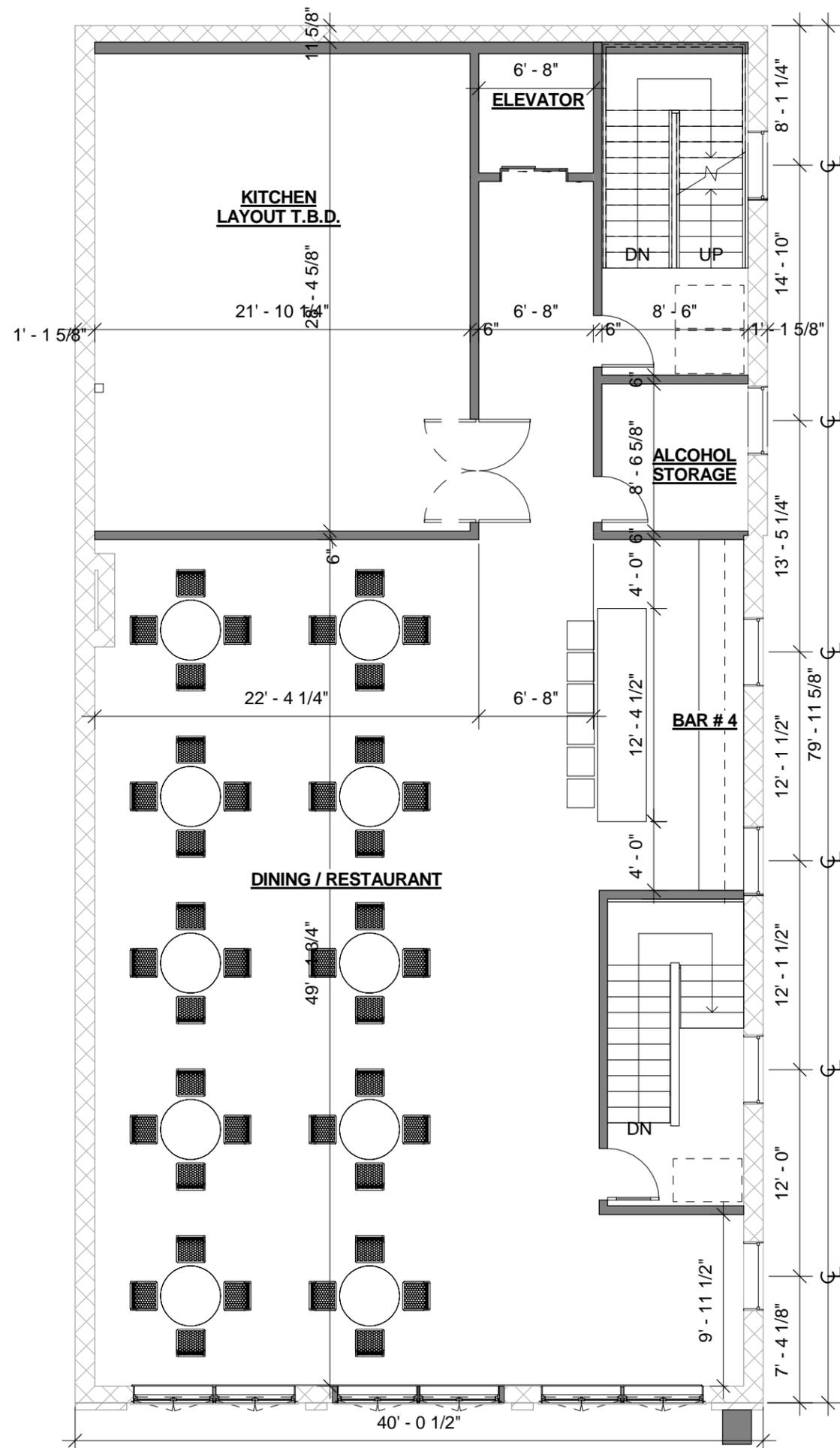
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ALLEY

1 ENTRANCE/STREET LEVEL
A3.0 1/8" = 1'-0"



1 THIRD FLOOR PLAN
 A3.2 1/8" = 1'-0"



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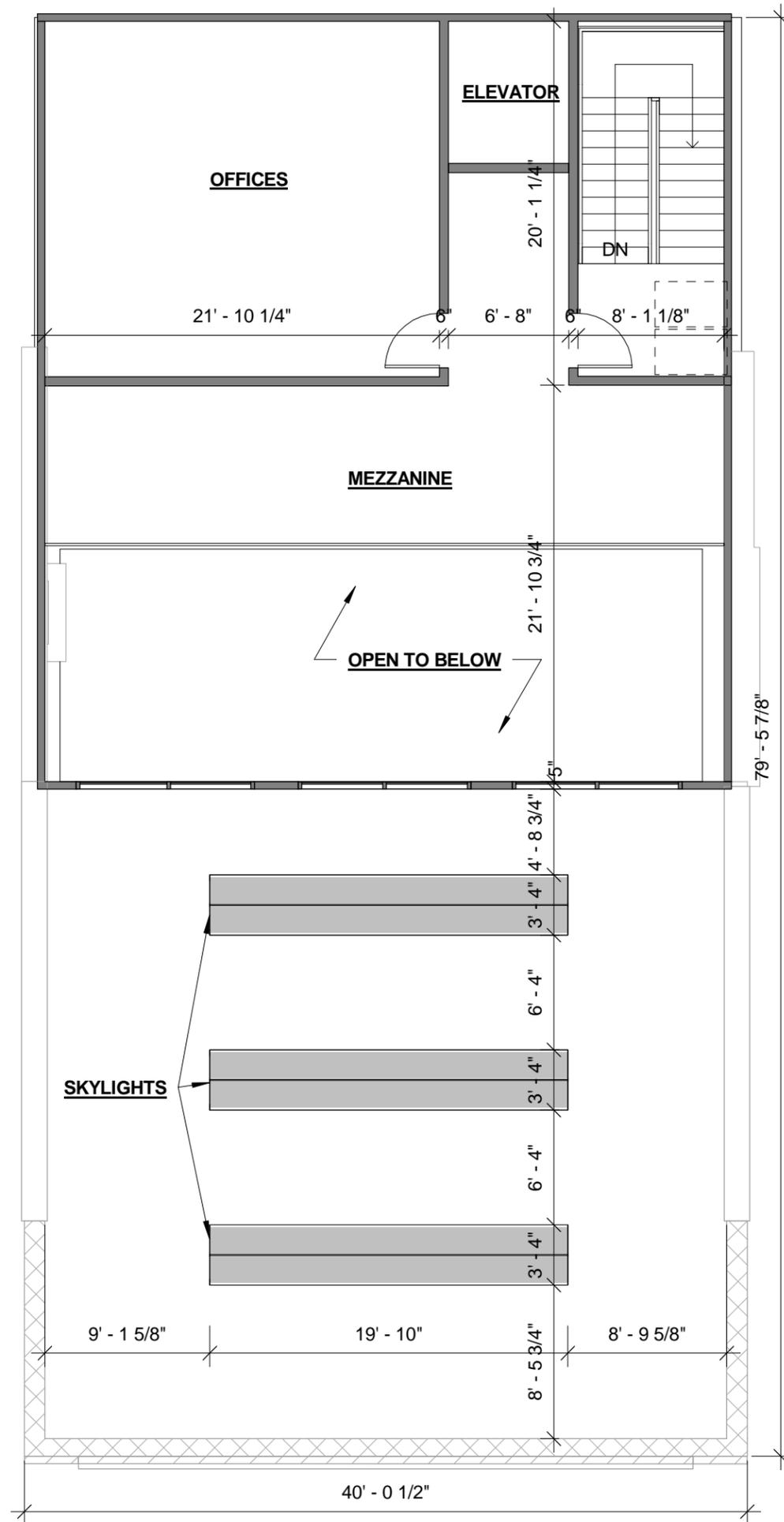
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1 THIRD FLOOR MEZZANINE
 A3.3 1/8" = 1'-0"



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1 FRONT ELEVATION
A4.0 1/8" = 1'-0"

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