



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

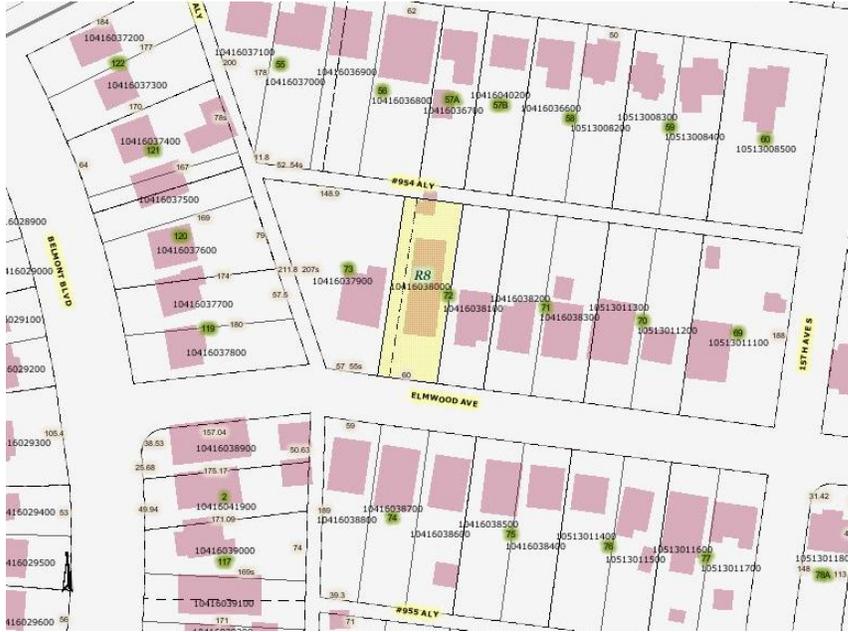
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1514 Elmwood Avenue
November 19, 2014

Application: New construction-outbuilding
District: Hillsboro-West End Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10416038000
Applicant: Allard Ward Architects
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: The project is to construct an outbuilding at the rear of the lot.</p> <p>Recommendation Summary: Staff recommends approval with the conditions that the:</p> <ul style="list-style-type: none">• Eave height not exceed ten feet (10’);• The ridge height not exceed twenty feet (20’); and• Staff provide final review of materials. <p>With these conditions, the project meets the design guidelines for outbuildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

h. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure as measured from the finished floor to the eave, with a maximum eave height of 10' from finished grade for single-story and 17' from finished grade for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building, as measured from the finished floors to the ridges and shall not exceed 25' feet from finished grade in height.

Outbuildings: Character, Materials and Details

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Windows and Doors

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

At least one side setback a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Background: The applicant proposes to construct a 770 square foot outbuilding that is not to be used as a dwelling unit.

Analysis and Findings:

Outbuildings: Height & Scale

The lot is approximately eleven thousand, two-hundred and eighty square feet (11280 sq ft) which would allow up to a one-thousand square foot (1000 sq ft) garage.



The outbuilding is proposed to be just seven-hundred and seventy square feet (770 sq. ft.). It is also well under 50% of the existing home's footprint.

The height of the home, as measured from the foundation to eave is ten feet (10'). The guidelines state that an outbuilding, in order to assure appropriate massing in relationship to the existing house, should not have an eave height greater than the house. The proposed eave height at the tallest point is approximately fifteen feet, six and $\frac{3}{4}$ inches (15' 6 $\frac{3}{4}$ "') from grade. The ridge height also should be less than the principle building which is twenty feet (20') from the foundation to the ridge. The proposed outbuilding is twenty-three feet and two and $\frac{1}{4}$ inches tall, exceeding the maximum allowed. Staff recommends that all eave heights be less than ten feet (10') and that the ridge height be less than twenty feet (20').

Character and Details

The staircase is enclosed, as required by the design guidelines.

Outbuildings: Roof

The primary roof pitch is 8/12, which is in keeping with other buildings in the district and it exceeds the minimum requirement of a 4/12 pitch. There is one dormer on the west side that is less than 50% of the roof slope and sits back from the wall more than the minimum two feet (2') required.

Outbuildings: Windows and Doors

The publicly visible windows are taller than what is found on the principle dwelling, but are the correct proportion. The garage doors will not be publicly visible from the street. The window and door materials will be wood.

Outbuildings: Siding and Trim

The foundation is a concrete block, the siding five-inch (5"), cement-fiber, smooth, lap siding, trim is wood, and the roof is asphalt shingle on an unspecified color. On the west elevation there will be a panel of tile. This will not be a visible façade.

Location:

The outbuilding is located towards the rear of the lot and is not attached to the principle dwelling.

Setbacks & Site Requirements:

The outbuilding is twenty-feet (20') from the rear of the principle house, as required by the design guidelines. The right side setback is three feet (3'), the left setback is approximately six and one-half feet (6 $\frac{1}{2}$) and the rear setback is five feet and three and one-half inches (5' 3 $\frac{1}{2}$ "'). All setbacks meet the setback minimums as stated in the design guidelines.

Driveway Access:

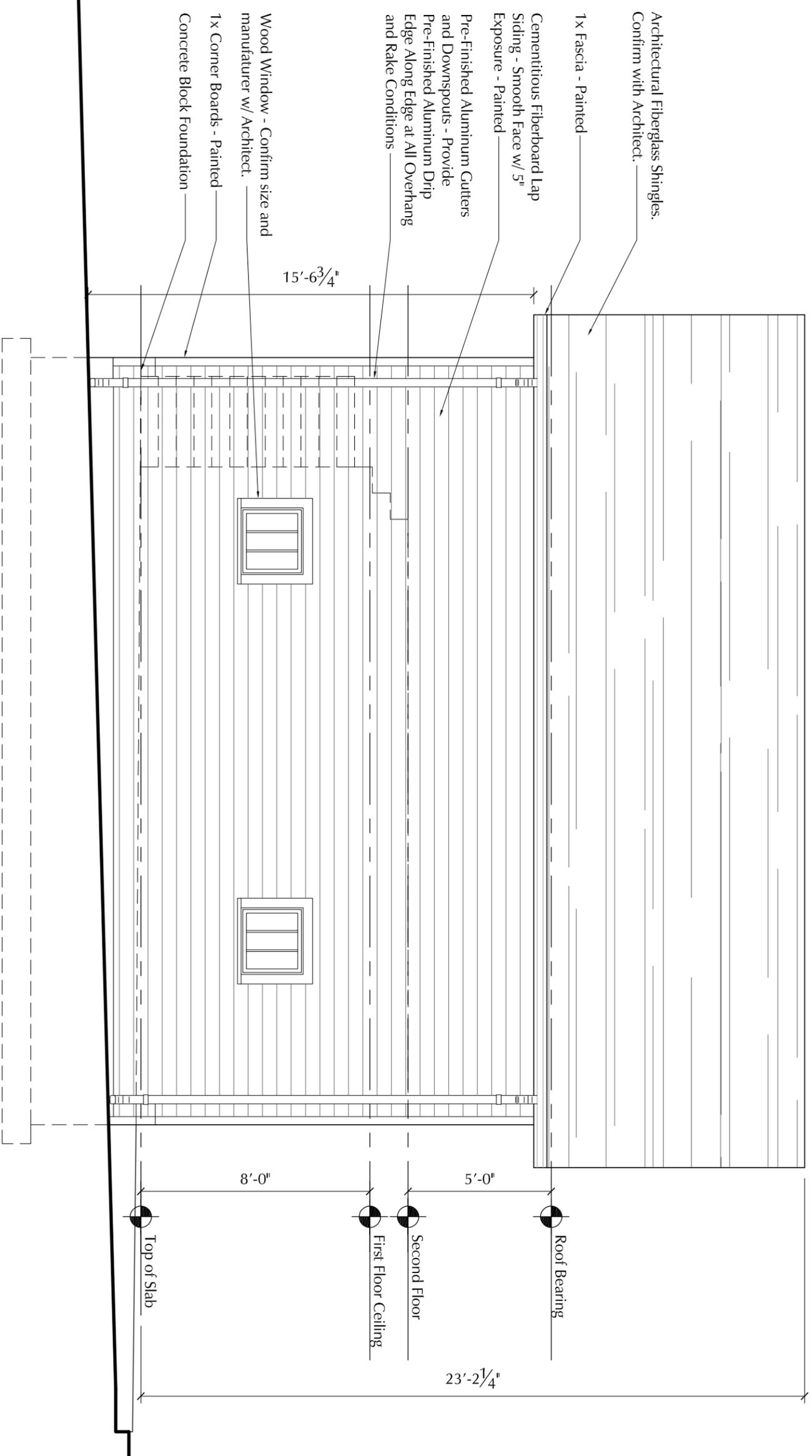
The garage will be accessed from the alley and there are no additional curb cuts planned.

Recommendation:

Staff recommends approval with the conditions that the:

- Eave height not exceed ten feet (10’);
- The ridge height not exceed twenty feet (20’); and
- Staff provide final review of materials.

With these conditions, the project meets the design guidelines for outbuildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



Architectural Fiberglass Shingles.
Confirm with Architect.

1x Fascia - Painted

Cementitious Fiberboard Lap
Siding - Smooth Face w/ 5"
Exposure - Painted

Pre-finished Aluminum Gutters
and Downspouts - Provide
Pre-finished Aluminum Drip
Edge Along Edge at All Overhang
and Rake Conditions

Wood Window - Confirm size and
manufacturer w/ Architect.

1x Corner Boards - Painted
Concrete Block Foundation

15'-6³/₄"

8'-0"

5'-0"

23'-2¹/₄"

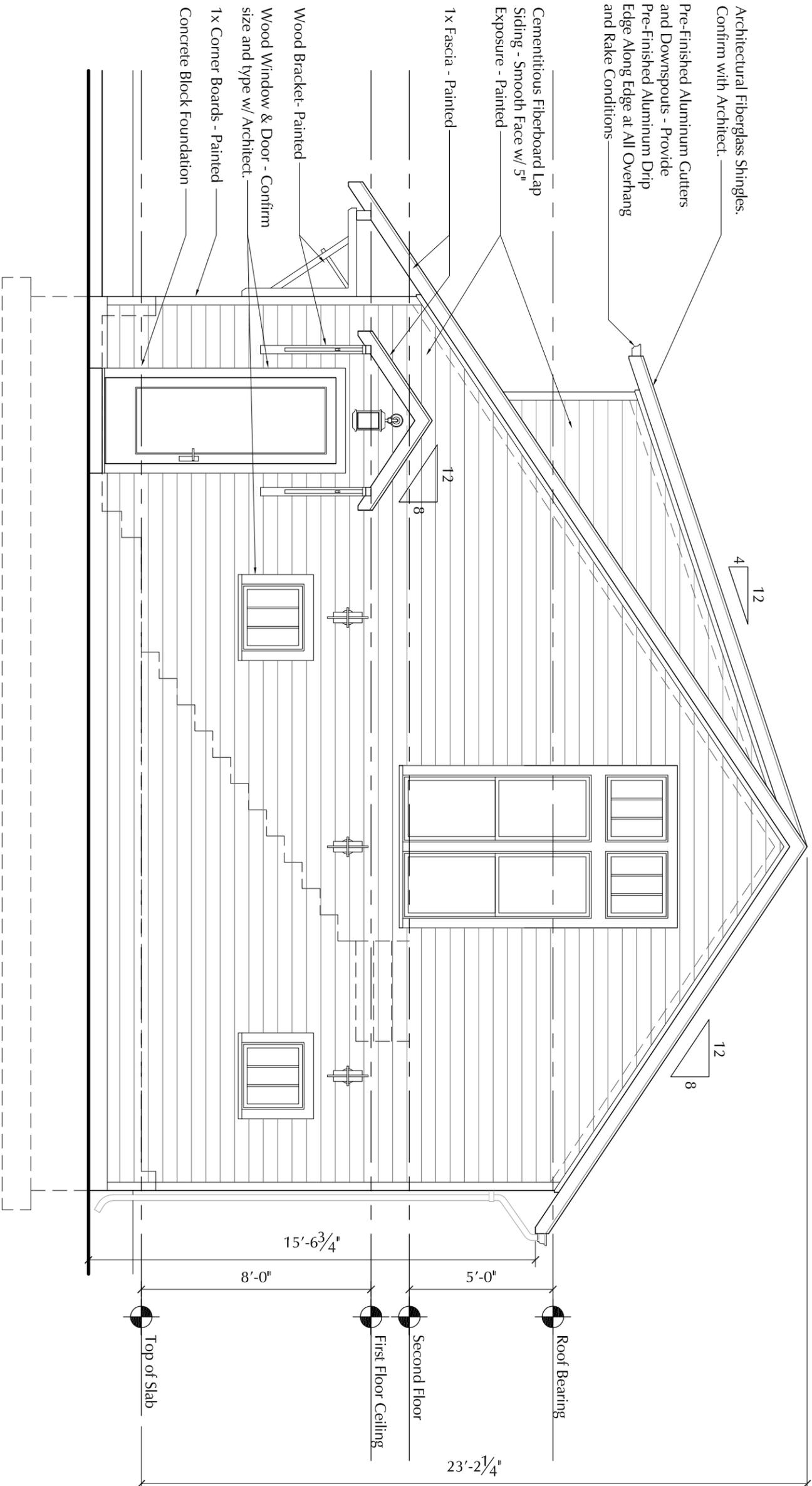
Top of Slab

First Floor Ceiling

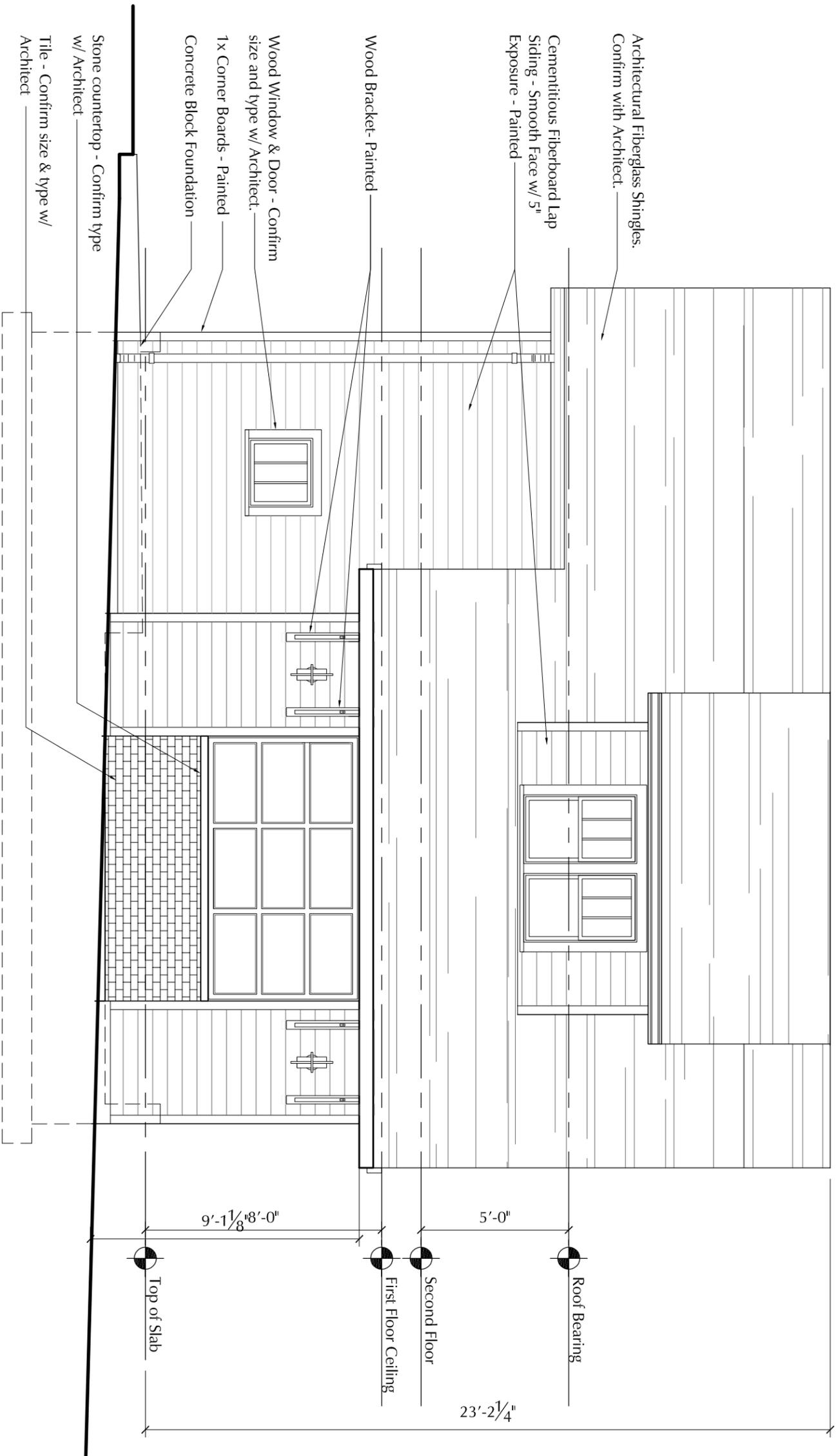
Second Floor

Roof Bearing

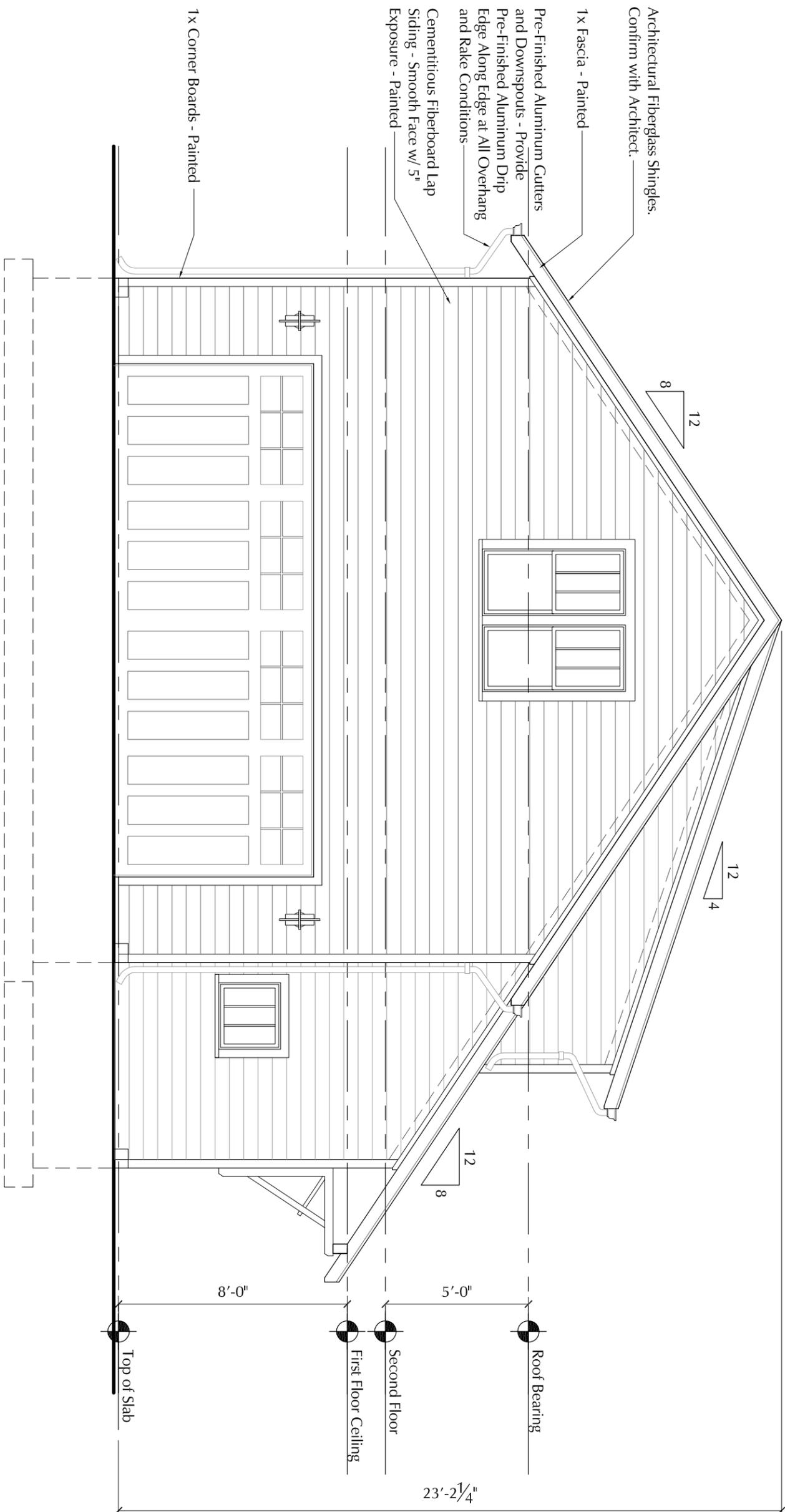
1 East Elevation
Scale: 1/4"=1'-0"



1 South Elevation (House Side)
 Scale: 1/4"=1'-0"



1 West Elevation
Scale: 1/4" = 1'-0"



1 North Elevation (Alley Side)
 Scale: 1/4"=1'-0"

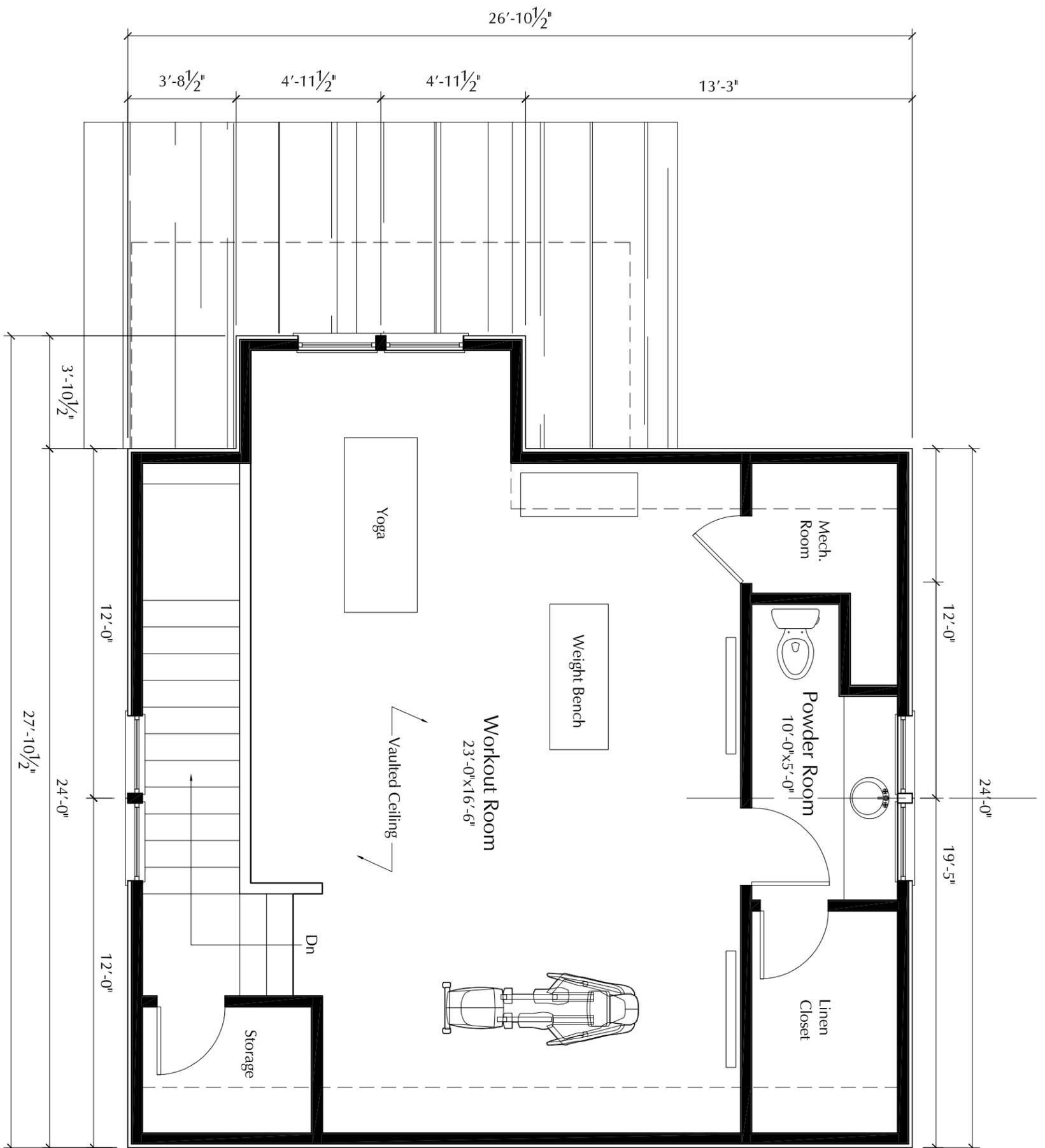
Drawings:
North Elevation
Date:
10.29.14

ALLARD WARD ARCHITECTS
 1618 Sixteenth Avenue South
 Nashville, Tennessee 37212
 allardward.com
 Tel: 615.345.1010
 Fax: 615.345.1011

A New Garage for:
The LaForge Residence
 1514 Elmwood Avenue,
 Nashville, Tennessee 37212

PRELIMINARY - NOT FOR CONSTRUCTION

A2.0



Second Floor Plan

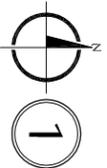
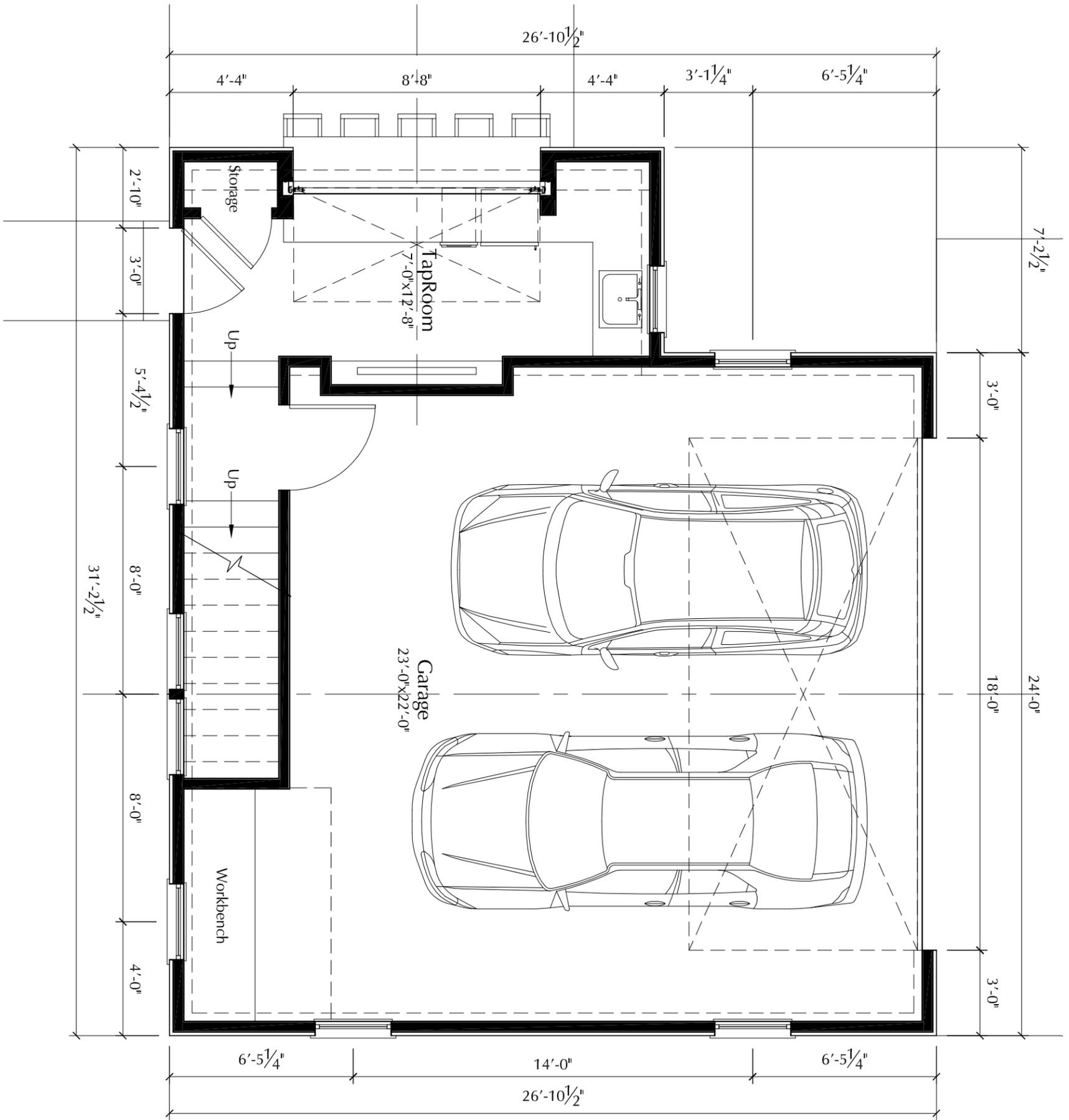
Drawings:
Second Floor Plan
Date:
10.29.14

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A1.2



1
 0 1 2 3 4 5 6
 Scale: 1/4"=1'-0"

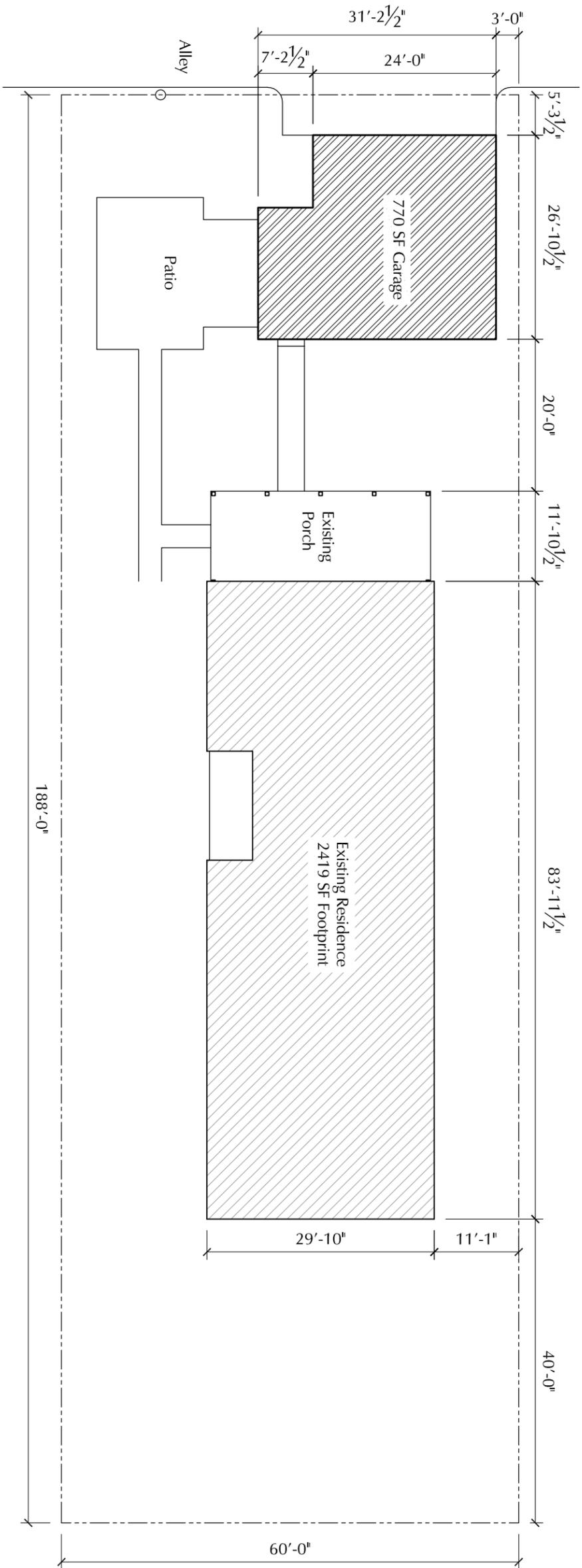
First Floor Plan

Drawings:
First Floor Plan
Date:
10.29.14

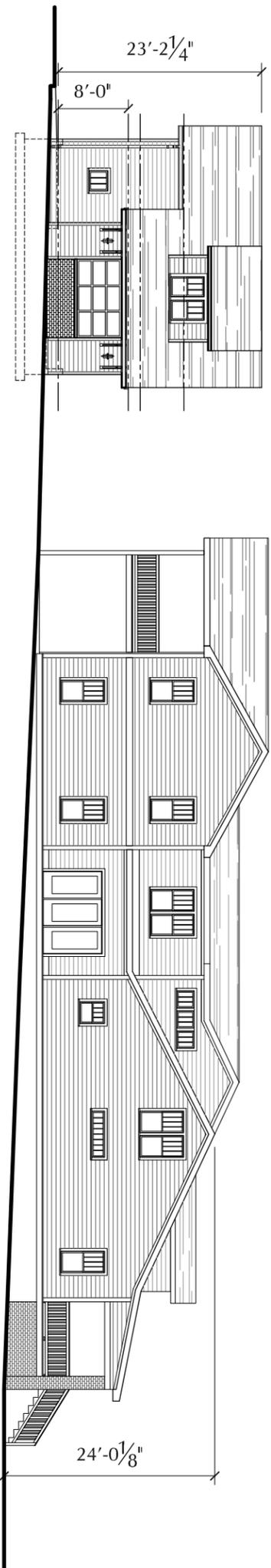


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1
Site Plan
Scale: 1/16"=1'-0"



2
Site Section
Scale: 1/16"=1'-0"

A1.0

Drawings:

Site Plan
Site Section
Date:
10.29.14



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