



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

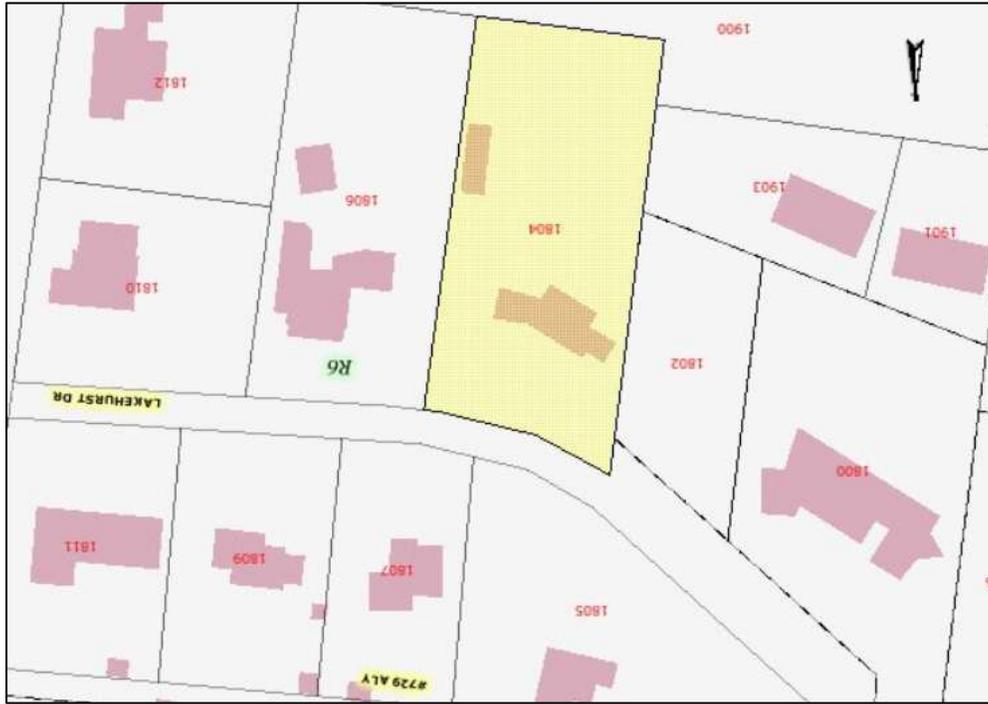
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1804 Lakehurst Drive
November 19, 2014

Application: New construction – outbuilding; Detached accessory dwelling unit
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08310027700
Applicant: Craig Kennedy, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: The applicant proposes to demolish a non-contributing outbuilding and construct a new two-story detached accessory dwelling unit behind the primary building.</p> <p>Recommendation Summary: Staff recommends approval of the proposed outbuilding, with a condition that the windows and doors are submitted for staff approval and that the restrictive covenant is filed prior to permitting. With those conditions met, Staff finds that the proposed outbuilding meets the applicable design guidelines and additional requirements.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

8. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure as measured from the finished floor to the eave, with a maximum eave height of 10' from finished grade for single-story and 17' from finished grade for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building, as measured from the finished floors to the ridges and shall not exceed 25' feet from finished grade in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should*

be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
 - Stud wall lumber and embossed wood grain are prohibited.*
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- The DADU may not exceed the maximums outlined previously for outbuildings.*
- No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

Density.

- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

Ownership.

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*

- *The DADU cannot be divided from the property ownership of the principal dwelling.*
- *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

Bulk and Massing.

- *The living space of a DADU shall not exceed seven hundred square feet.*

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

IV. B. Demolition

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: 1804 Lakehurst Drive is a two-story Spanish Eclectic style house in the “Little Hollywood” area of the Lockeland Springs Neighborhood. This structure was constructed circa 1940 and, like others in the vicinity, is constructed of concrete block with a stuccoed finish with flat parapetted roofs.



Analysis and Findings: The applicant proposes to demolish an existing outbuilding and construct a new outbuilding. The new building will have a one-car garage and an accessory apartment. A detached accessory dwelling is permitted by the R6 base zoning.

Demolition: The existing outbuilding is not historic, and does not contribute to the character of the district. Staff therefore finds that its demolition meets Section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.



Existing Outbuilding, To Be Demolished.

Height, Scale: Under the design guidelines for outbuildings, when a lot is greater than ten thousand square feet (10,000 sf) in area, an outbuilding up to one thousand square feet (1,000 sf) is permitted. The lot at 1804 Lakehurst Drive is twenty-six thousand, five hundred and seventy-one square feet (26571sf) in area. The footprint of the proposed outbuilding is one thousand square feet (1,000 sf) in area. This area of the proposed outbuilding is permitted.

The design guidelines require that outbuildings be no taller than a principal building as measured from the finished floor level, up to as tall as twenty-five feet (25') measured from grade. The principal building at 1804 Lakehurst Drive is twenty-one feet, four inches (21'-4") from the finished floor level. The finished floor level is at grade. The proposed outbuilding would be nineteen feet, ten inches (19'-10") tall from the finished floor level. The floor level of the outbuilding would also be at grade. The overall height of the outbuilding is permitted.

The design guidelines require that the eave heights of outbuildings not exceed the eave height of the principal structure, up to ten feet (10') for a single story building or seventeen feet (17') for a two-story building. The principal building has a flat roof with parapets and, as such, does not have eaves. The outbuilding would also not have eaves. This guideline does not apply to the proposed outbuilding.

Character, Materials, and Details: The principal building is typical of the Spanish Eclectic style of architecture, with a flat roof behind a parapet and textured stucco walls. Other prominent features on the building include arches and buttresses. The proposed outbuilding would match the house in character, with similar roof form and detailing.

The primary exterior wall material of the outbuilding will be stucco, matching the texture of the walls of the principal building. Cement-fiber siding with a smooth finish and five inch (5") reveal will be used as secondary wall material. The exterior trim, including window casings and cornerboards will be cement-fiberboard. The flat roof portions will be white EPDM, and will be obscured behind the parapet walls. The pitched roofs will be fiberglass shingles in black, gray, or brown. The material of the windows and doors is not known at this time. With a condition that staff approves the specific window and door selections, Staff finds that the proposed building would meet guideline II.B.8.a.

Roof: The primary roof form of the proposed outbuilding will be a flat roof behind a parapet. This roof matches the form of the principal building, and other historic houses in the surrounding area. Staff finds that the proposal would meet guideline II.B.8.a.

Windows and Doors: The windows on the proposed outbuilding will be generally twice as tall as they will be wide, which is consistent with the proportions on windows on historic houses nearby. The front door of the building will be half-glass, and the garage door will have simple panels with square windows at the top. These doors are appropriate to the style of house, and meet guideline II.B.8.a.

Location: The design guidelines require that outbuildings be located in the established rear yard behind the principal building, and be at least twenty feet (20') from the principal building. The proposed outbuilding would be behind the house, and would be sixty feet (60') from the principal building. Staff finds that the proposal meets this guideline.

Driveway Access: On lots without alley access, the design guidelines permit outbuildings to have a single curb-cut. In this case, 1804 Lakehurst Drive has an existing driveway.

Detached Accessory Dwelling Unit: Under Metro Code section 17.16.030, there are additional requirements for outbuildings which could be used as a dwelling. These requirements would apply to the proposed outbuilding. The proposed outbuilding would not exceed the maximum number of units for the lot, and the living space of the dwelling space would not exceed seven hundred square feet (700 sf). The code also requires that a restrictive covenant on the conditions of the use of the structure is filed with the Davidson County Register of Deeds prior to permitting. At this time, the covenant has not been filed. With a condition that the covenant is filed, Staff finds that the proposed outbuilding would meet the requirements for Detached Accessory Dwelling Units.

Recommendation:

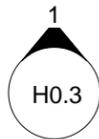
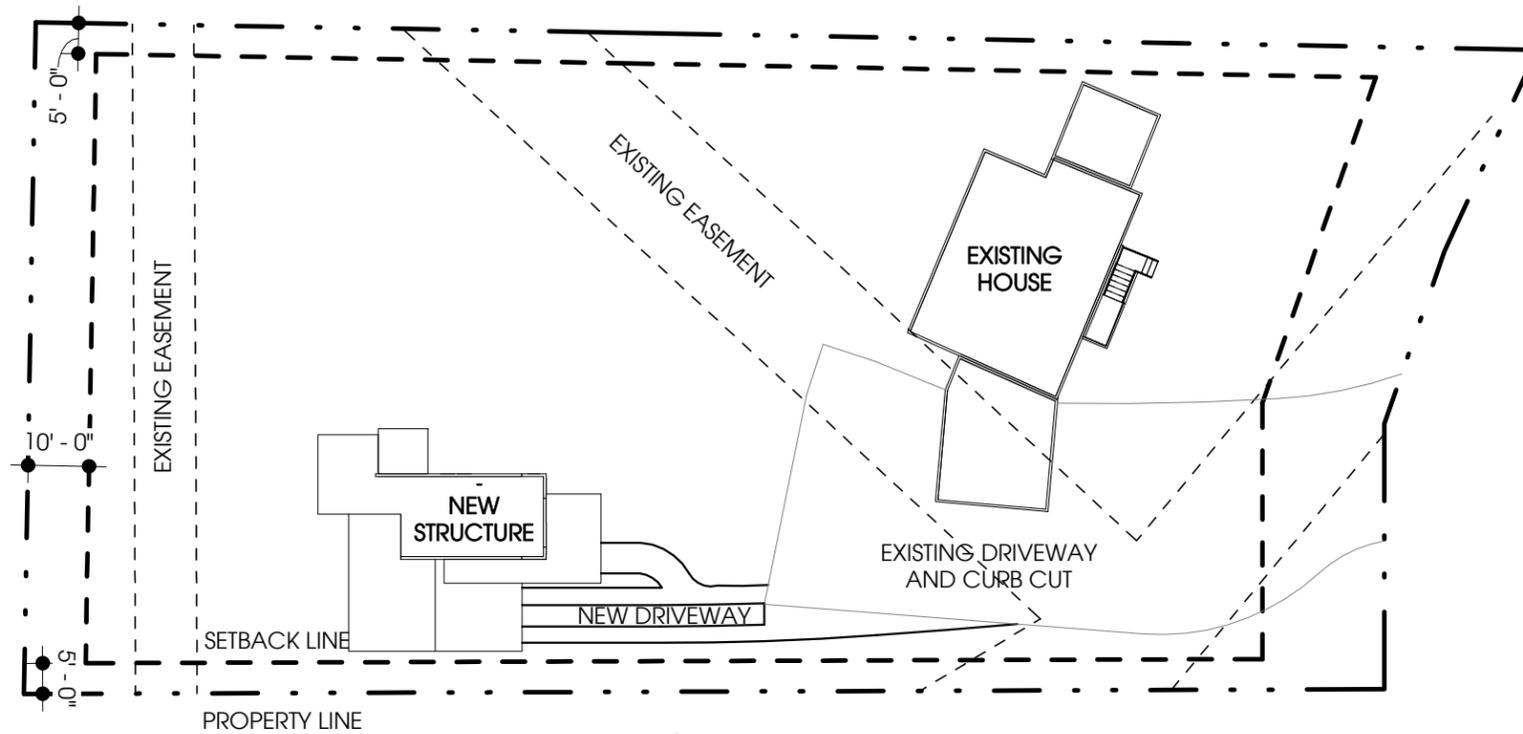
Staff recommends approval of the proposed outbuilding, with a condition that the windows and doors are submitted for staff approval and that the restrictive covenant is filed prior to permitting. With those conditions met, Staff finds that the proposed outbuilding meets the applicable design guidelines and additional requirements.



1804 Lakehurst Drive, from the front-right.



1804 Lakehurst Drive, showing left side of house, driveway, and existing outbuilding.



1 SITE PLAN



PROJECT INFORMATION

- ZONING:**
- PARCEL #0831002700
 - LOT SIZE 24,597 SF
 - R-6
 - NEIGHBORHOOD CONSERVATION OVERLAY
 - URBAN ZONING OVERLAY

PROJECT SUMMARY:
 THE PROJECT SCOPE IS A DETACHED ACCESSORY DWELLING UNIT (DADU) LOCATED AT THE REAR OF THE PROPERTY

- DADU:**
- LEVEL 1
FOOTPRINT - 918 SF
LIVING SPACE - 483 SF
 - LEVEL 2
LIVING SPACE - 217 SF

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(615) 715-4078
 CRAIG KENNEDY, AIA

KEARNEY GUESTHOUSE

1804 LAKEHURST DRIVE
 NASHVILLE, TENNESSEE . 37206

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2014 NOVEMBER 2
 PROJECT #14.013

**ARCHITECTURAL
 SITE PLAN**

H0.2

KEARNEY GUESTHOUSE

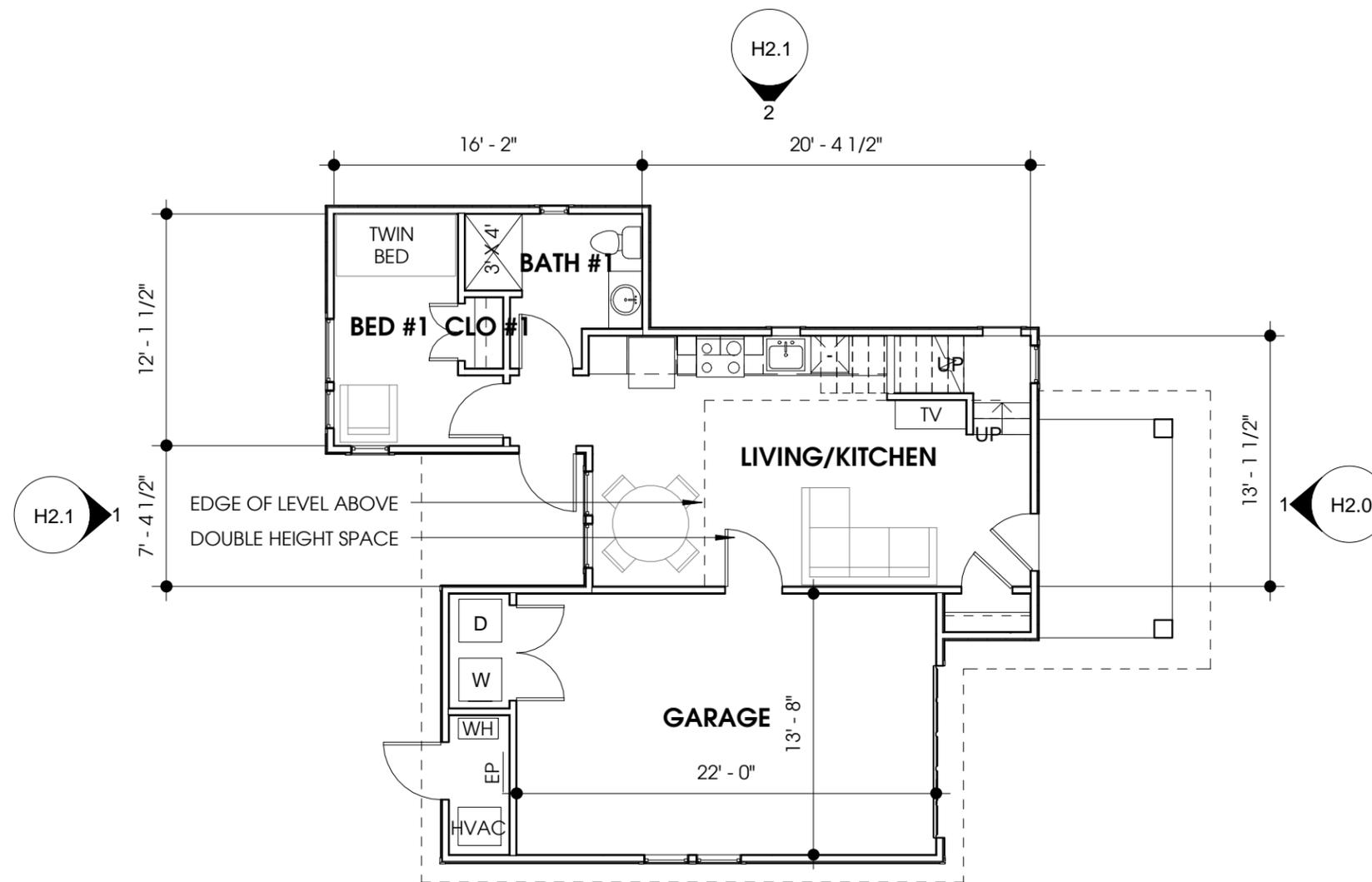
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FLOOR PLAN

H1.1



1 FLOOR PLAN - MAIN LEVEL



WALL LEGEND

-  EXISTING TO REMAIN
-  DEMOLISHED
-  NEW CONSTRUCTION

KEARNEY GUESTHOUSE

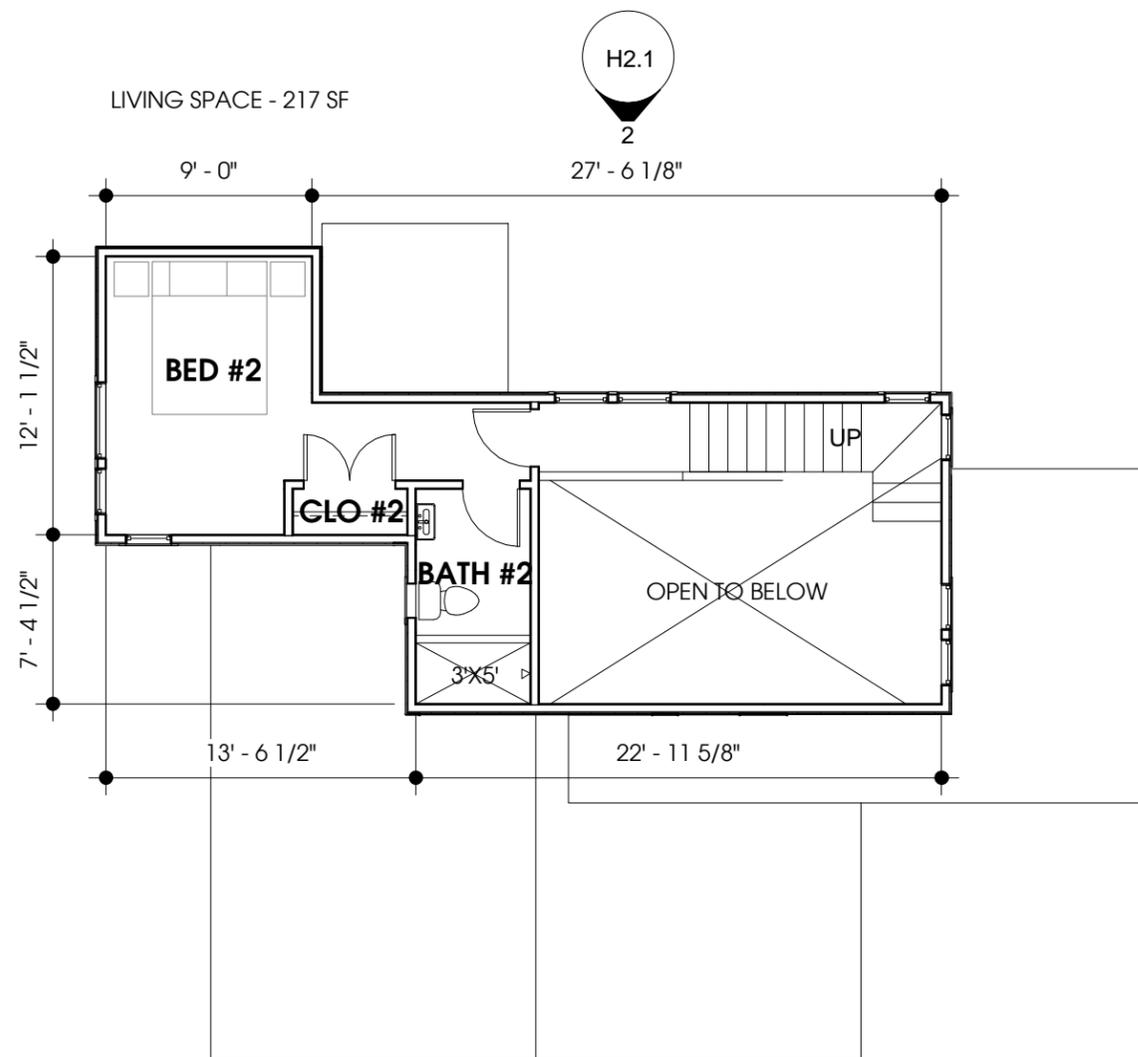
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FLOOR PLAN

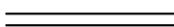
H1.2



1 FLOOR PLAN - UPPER LEVEL



WALL LEGEND

-  EXISTING TO REMAIN
-  DEMOLISHED
-  NEW CONSTRUCTION

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ELEVATIONS

H2.0

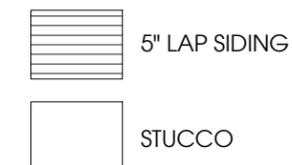


2

EAST ELEVATION

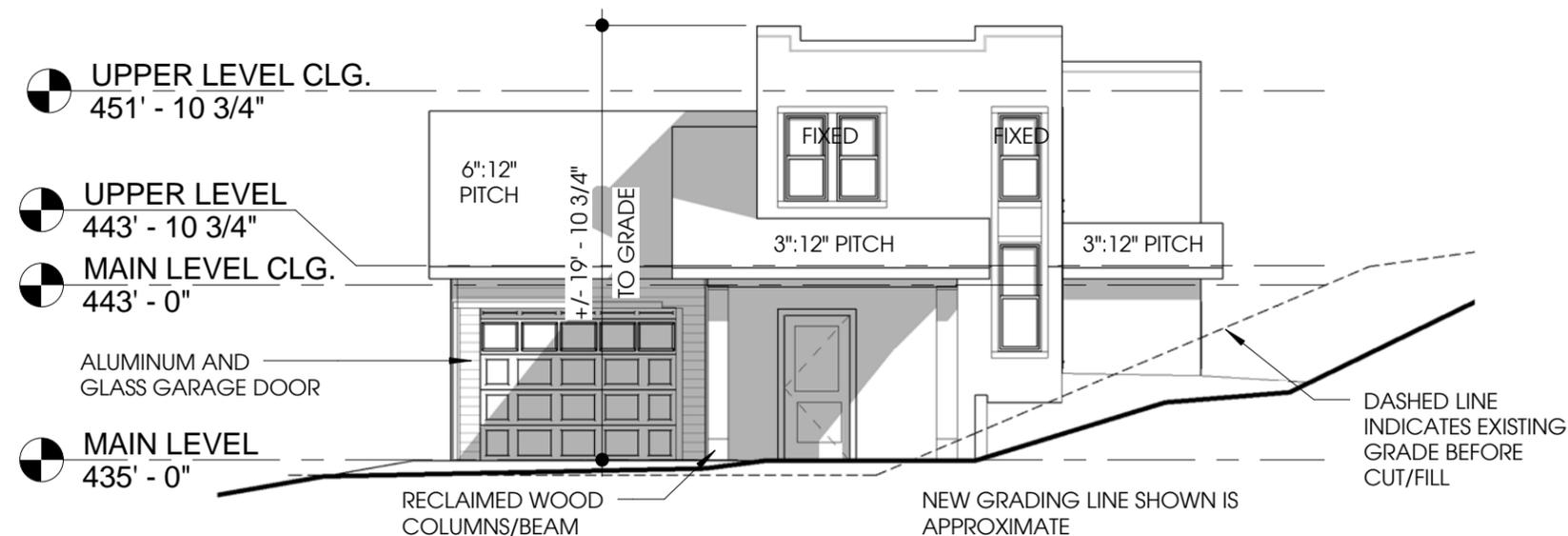


MATERIAL SYMBOLS



MATERIAL NOTES

- ALL SIDING WILL BE SMOOTH FACED FIBER CEMENT PLANKS 5" EXPOSURE
- STUCCO WILL BE TEXTURE TO MATCH THE EXISTING HOUSE
- ALL WINDOW TRIM WILL BE 5/4X4 SMOOTH FACED FIBER CEMENT BOARDS
- ALL CORNER BOARDS (AT SIDING) WILL BE 5/4X4 SMOOTH FACED FIBER CEMENT BOARDS
- NEW WINDOWS AND DOORS WILL BE WOOD, ALUMINUM CLAD, OR FIBER GLASS MATERIAL.
- PITCHED ROOFING WILL BE ASPHALT SHINGLES OF A BLACK, GRAY, OR BROWN PALATE.
- FLAT ROOFING WILL BE WHITE MEMBRANE.



1

NORTH ELEVATION





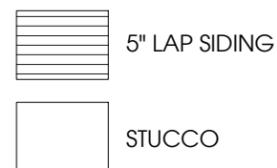
2 WEST ELEVATION



1 SOUTH ELEVATION



MATERIAL SYMBOLS



MATERIAL NOTES

- ALL SIDING WILL BE SMOOTH FACED FIBER CEMENT PLANKS 5" EXPOSURE
- STUCCO WILL BE TEXTURE TO MATCH THE EXISTING HOUSE
- ALL WINDOW TRIM WILL BE 5/4X4 SMOOTH FACED FIBER CEMENT BOARDS
- ALL CORNER BOARDS (AT SIDING) WILL BE 5/4X4 SMOOTH FACED FIBER CEMENT BOARDS
- NEW WINDOWS AND DOORS WILL BE WOOD, ALUMINUM CLAD, OR FIBER GLASS MATERIAL.
- PITCHED ROOFING WILL BE ASPHALT SHINGLES OF A BLACK, GRAY, OR BROWN PALATE.
- FLAT ROOFING WILL BE WHITE MEMBRANE.

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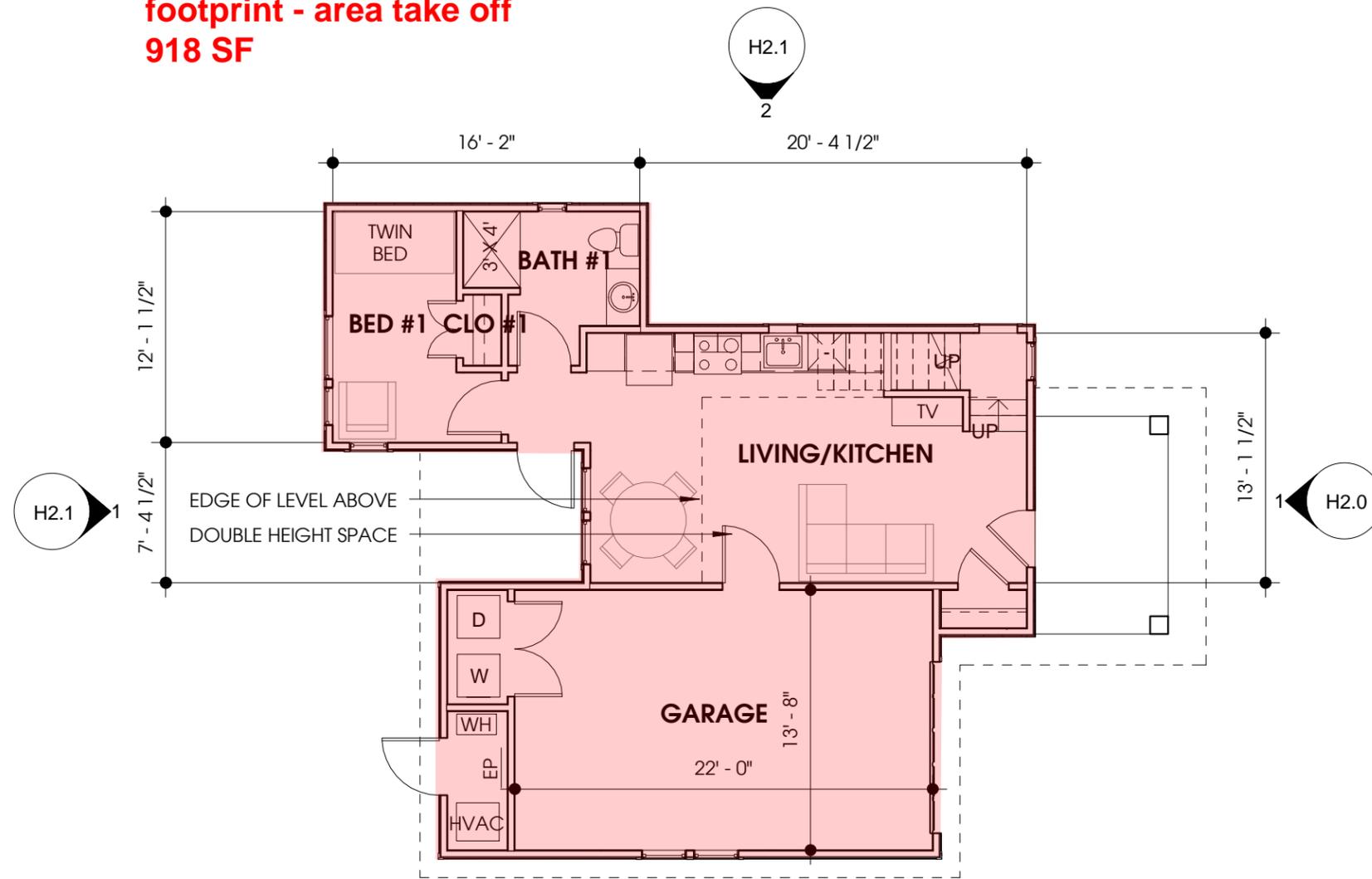
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2014 NOVEMBER 2
PROJECT #14.013

ELEVATIONS

H2.1

footprint - area take off
918 SF



1 FLOOR PLAN - MAIN LEVEL



WALL LEGEND

-  EXISTING TO REMAIN
-  DEMOLISHED
-  NEW CONSTRUCTION

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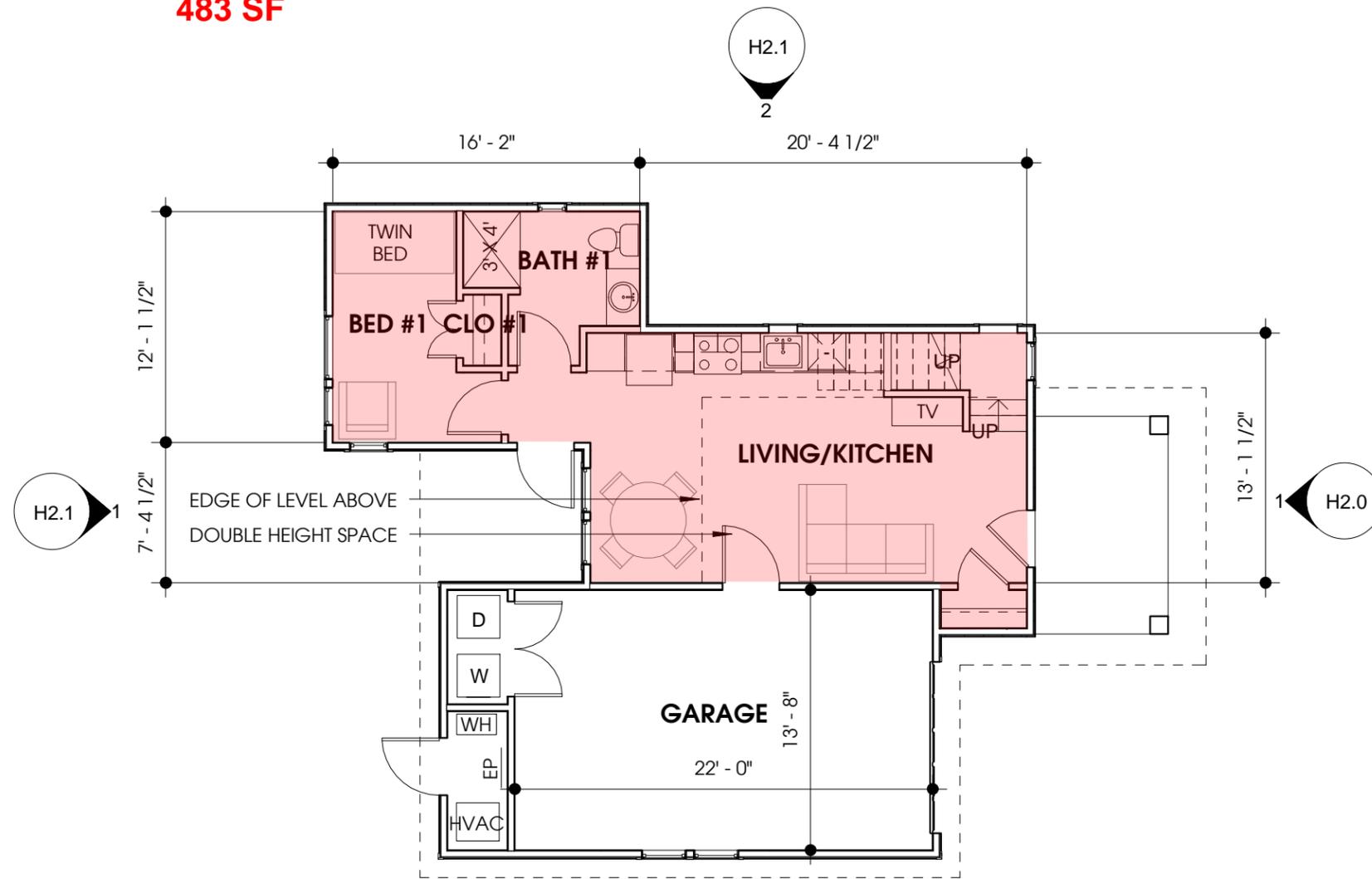
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FLOOR PLAN

H1.1

living space - area take off
483 SF



1 FLOOR PLAN - MAIN LEVEL



WALL LEGEND

- EXISTING TO REMAIN
- DEMOLISHED
- NEW CONSTRUCTION

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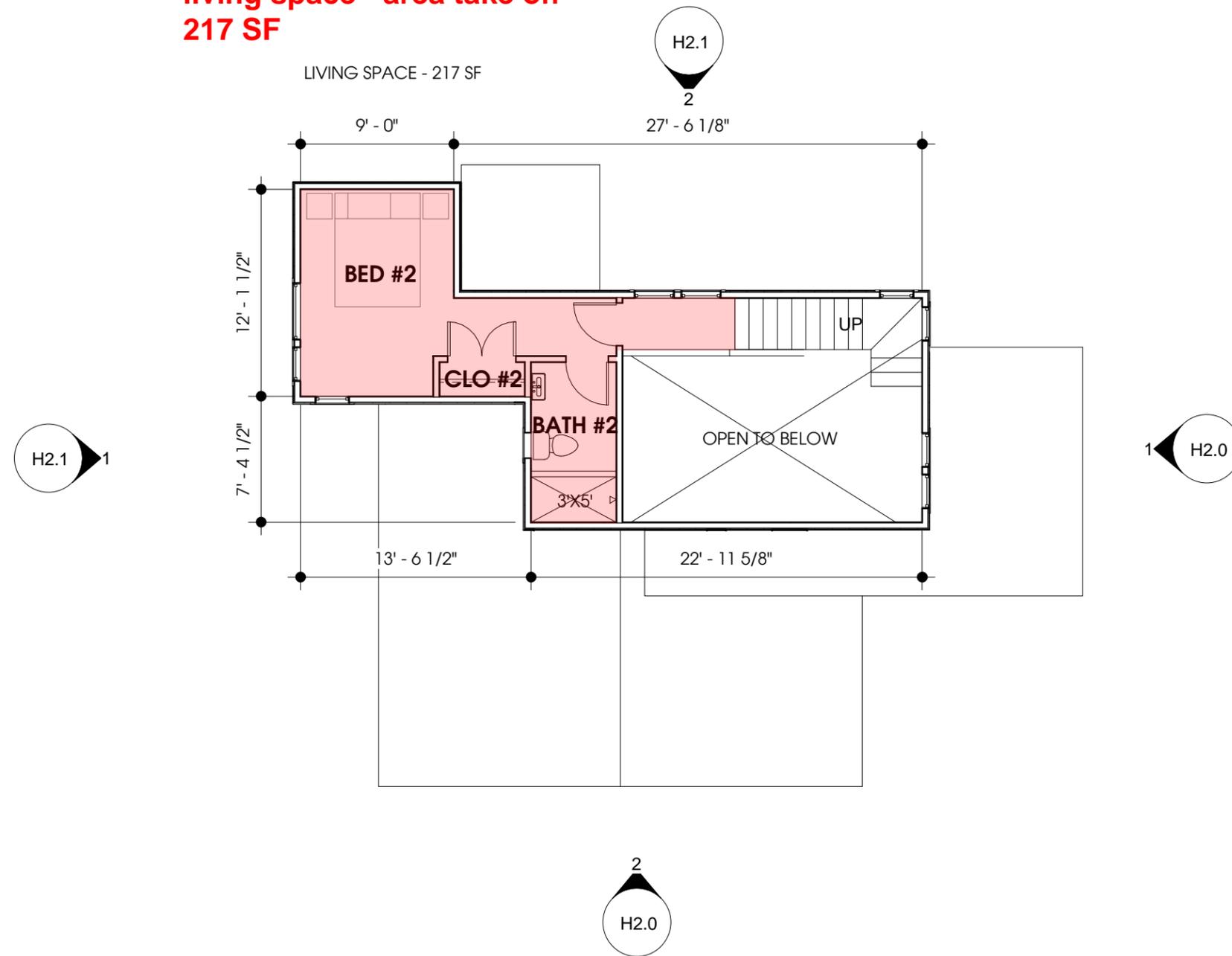
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PROJECT #14.013

FLOOR PLAN

H1.1

living space - area take off
217 SF



1 FLOOR PLAN - UPPER LEVEL



WALL LEGEND

-  EXISTING TO REMAIN
-  DEMOLISHED
-  NEW CONSTRUCTION

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FLOOR PLAN

H1.2