



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1907 Benjamin Street November 19, 2014

Application: New construction-infill and outbuilding
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08302036200
Applicant: Van Pond Architect, PLLC
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: The applicant proposes construction of a new residence on this vacant lot.

Recommendation Summary: Staff recommends approval with the conditions that:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve the windows, doors, roof color and a masonry sample;
3. A window be added to the north elevation, to break up the expanse without an opening;
4. The wall dormer on the north side be redesigned as a roof dormer;
5. The outbuilding be relocated to be twenty feet (20') from the house.

Staff finds that the application meets the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.

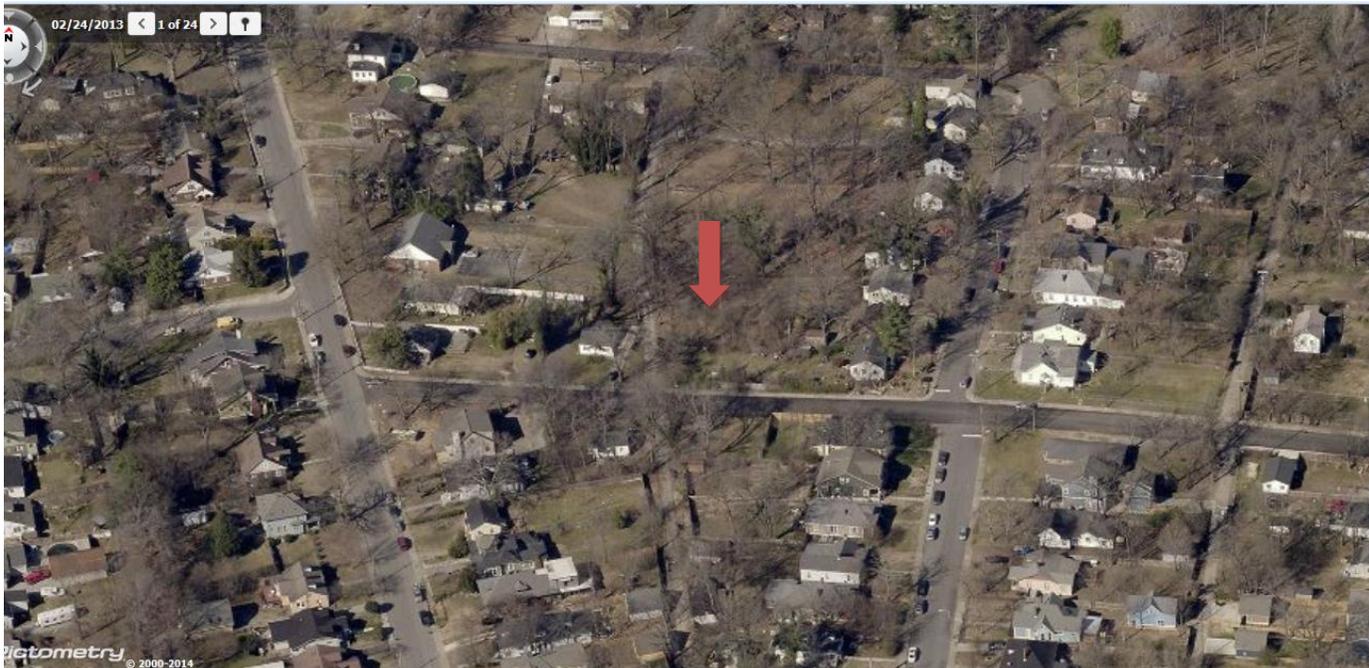
Attachments

- A: Photographs
- B: Site Plan
- C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Most historic residential buildings have front porches. To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases.

Foundation lines should be visually distinct from the predominant exterior wall material.

Examples are a change in material, coursing or color.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.I.F.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a minimum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

e. R o o f S h a p e

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

f. O r i e n t a t i o n

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings shall incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Shared driveways should be a single lane, not just two driveways next to each other.

Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Generally, curb cuts should not be added.

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utilities connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

g. P r o p o r t i o n a n d R h y t h m o f O p e n i n g s

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. (Brick molding is only appropriate on masonry buildings.)

Brick molding is required around doors, windows and vents within masonry walls.

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure as measured from the finished floor to the eave, with a maximum eave height of 10' from finished grade for single-story and 17' from finished grade for two-story DADUs or outbuildings.*
- *The roof ridge height of the DADU or outbuilding must be less than the principal building, as measured from the finished floors to the ridges and shall not exceed 25' feet from finished grade in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are*

generally not appropriate.

· For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

· Brick, weatherboard, and board-and-batten are typical siding materials.

· Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

· Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

· Stud wall lumber and embossed wood grain are prohibited.

· Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

· Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

· Where they are a typical feature of the neighborhood; or

· When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

· The lot area on which a DADU is placed shall comply with Table 17.12.020A.

· The DADU may not exceed the maximums outlined previously for outbuildings.

- No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.
- Density.*
- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.
- Ownership.*
- No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
 - The DADU cannot be divided from the property ownership of the principal dwelling.
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
 - Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.
- Bulk and Massing.*
- The living space of a DADU shall not exceed seven hundred square feet.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street. Generally, utility connections should be placed no closer to the street than the mid point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Background: 1907 Benjamin Street is an irregularly-shaped vacant lot.



Analysis and Findings: The application is for construction of a new single-family residence on the lot.

Height & Scale: The proposed new building is forty-five feet (45') wide and forty-four feet (44') deep. The total footprint is one thousand, nine hundred and twelve square feet (1,912 sq. ft.). The nearby homes range from thirty to forty-four feet (30'-44') in width. The width proposed is one foot (1') outside that range, but the building area is irregularly-shaped, with a depth of only one hundred and four feet (104') and one hundred and nine feet (109') on the sides, compared to two hundred foot (200') lots, which are the norm nearby. Staff finds the small building area of this lot sufficient justification for the additional width. The scale of the proposed infill is compatible with that of recent approvals in Eastwood, and would not contrast greatly with the scale of historic houses in the overlay.

The proposed building's ridge height is twenty-eight feet (28'), which is within the contextual range of sixteen feet to thirty feet (16'-30') in height. The project meets section II.B.1.a. and b.



Proposed Front Elevation (East)

Setback & Rhythm of Spacing: The side setbacks are ten feet (10') and five feet (5'). The rear wall of the house will be thirty-six feet (36') from the rear property line. The setbacks meet base setback requirements. This block does not have an established rhythm of spacing, as there are no adjacent historic buildings facing Benjamin Street. However, the proposed street setback of twenty-nine feet (29') is in keeping with the setback of nearby contributing homes on Benjamin Street, Manchester Avenue, Chapel Avenue. The project meets section II.B.1.c.

Materials: The new building will be clad in smooth-faced fiber cement siding. The foundation will be split-face concrete block. Roofing will be architectural fiberglass shingles. Staff requests approval of the color of roofing material. Trim elements will be fiber cement or CPVC (Azek), which has been approved previously. A decorative feature on the front right corner will be brick veneer. Staff requests to approve a brick sample. The porch deck and decorative brackets will be wood. Windows will be

aluminum-clad wood windows. The front door will be a full-light insulated fiberglass door. Walkways and the driveway off the alley will be concrete. With the staff's final approval of a masonry sample, windows and doors, and the color of roofing material, staff finds that the proposed infill meets section II.B.1.d.

Roof form: The house has a complicated roof form. The primary roofs are gabled with 12/12 pitch. The north side elevation includes a wall dormer. As wall dormers are not typical in the historical context, Staff requests this be redesigned to be a roof dormer that is at least two feet (2') off the ridge and two feet (2') off the wall below. Meeting this condition, the proposed structure meets section II.B.1.e.

Orientation: The walkway will meet Benjamin Street in the approximate location of the existing curb cut. The front porch is six feet (6') deep and addresses the street appropriately. Vehicular access will be from the alley. The project meets section II.B.1.f.

Proportion and Rhythm of Openings: The windows are generally vertically-oriented windows, meeting the historic proportions of openings. There is an expanse of sixteen feet (16') of the north side elevation without an opening, which exceeds the guidelines of an opening every eight to thirteen feet (8-13'). Staff recommends a window opening be added in this area. With this condition, the project's proportion and rhythm of openings will meet Section II.B.1.g.

Outbuildings: The outbuilding will be twenty-four feet (24') square, for a footprint of five hundred seventy-six square feet (576 sq. ft.). It will have a ridge height of twenty-one feet (21') and eave height of eight feet (8'); these dimensions are subordinate to the principal building's fourteen foot (14') eave height and overall height of twenty-six feet, eight inches (26'8") from finished floor. The proposed outbuilding meets the guidelines for height and scale. The materials, character and details will be the same as the proposed house. The roof is a pyramidal shape, which is unusual, but is an appropriate roof form historically, and has the same 12/12 pitch as the roof of the house. The windows and doors are the same type as those on the house, and they are appropriate to the style of the house. The siding and trim will be smooth-faced fiber cement trim and siding with five inch (5") reveal, also matching the house. The outbuilding's location is close to the alley, at the rear of the lot. Its setbacks will be five feet (5') from the side property line, and twenty feet (20') from the rear.

The location currently does not meet II.B.1.h.2 of the design guidelines:

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

Staff recommends that the location of the outbuilding be moved farther to the rear of the lot in order to meet this portion of the guidelines.

Utilities: The location of the HVAC and other utilities is in a minimally-visible location on the north face of the building. The project meets section II.B.1. i.

Recommendation: Staff recommends approval with the conditions that:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve the windows, doors, roof color and a brick sample;
3. A window opening be added to the north elevation;
4. The wall dormer on the north side be redesigned as a roof dormer;
5. The outbuilding be relocated to be twenty feet (20') from the house.

With these conditions, Staff finds that the application meets the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.



North

Proposed Site Plan
 1/20" = 1'-0"

Project Property Information

ADDRESS: 1907 BENJAMIN STREET
 NASHVILLE, TENNESSEE 37206
 PARCEL #: 08302036200
 LOT AREA: 7,942 S.F. / 0.18 AC +/-
 ZONING: R6 - ONE + TWO FAMILY 6,000 SQUARE FOOT LOT
 OV-NHC - NEIGHBORHOOD CONSERVATION OVERLAY
 OV-UZO - URBAN ZONING OVERLAY

Area Calculations

BUILDING FOOTPRINT AREAS:	
NEW FOOTPRINT AREA (GSF):	1,912 S.F.
TOTAL FOOTPRINT AREA (GSF):	1,912 S.F.
BUILDING COVERAGE:	
ALLOWABLE BUILDING COVERAGE FOR R-6 ZONING IS 50% (50% OF 7,942 S.F.):	3,971 S.F.
TOTAL PROPOSED BUILDING COVERAGE AREA (GSF):	1,912 S.F.

A New Single-Family Residence at:
1907 Benjamin Street

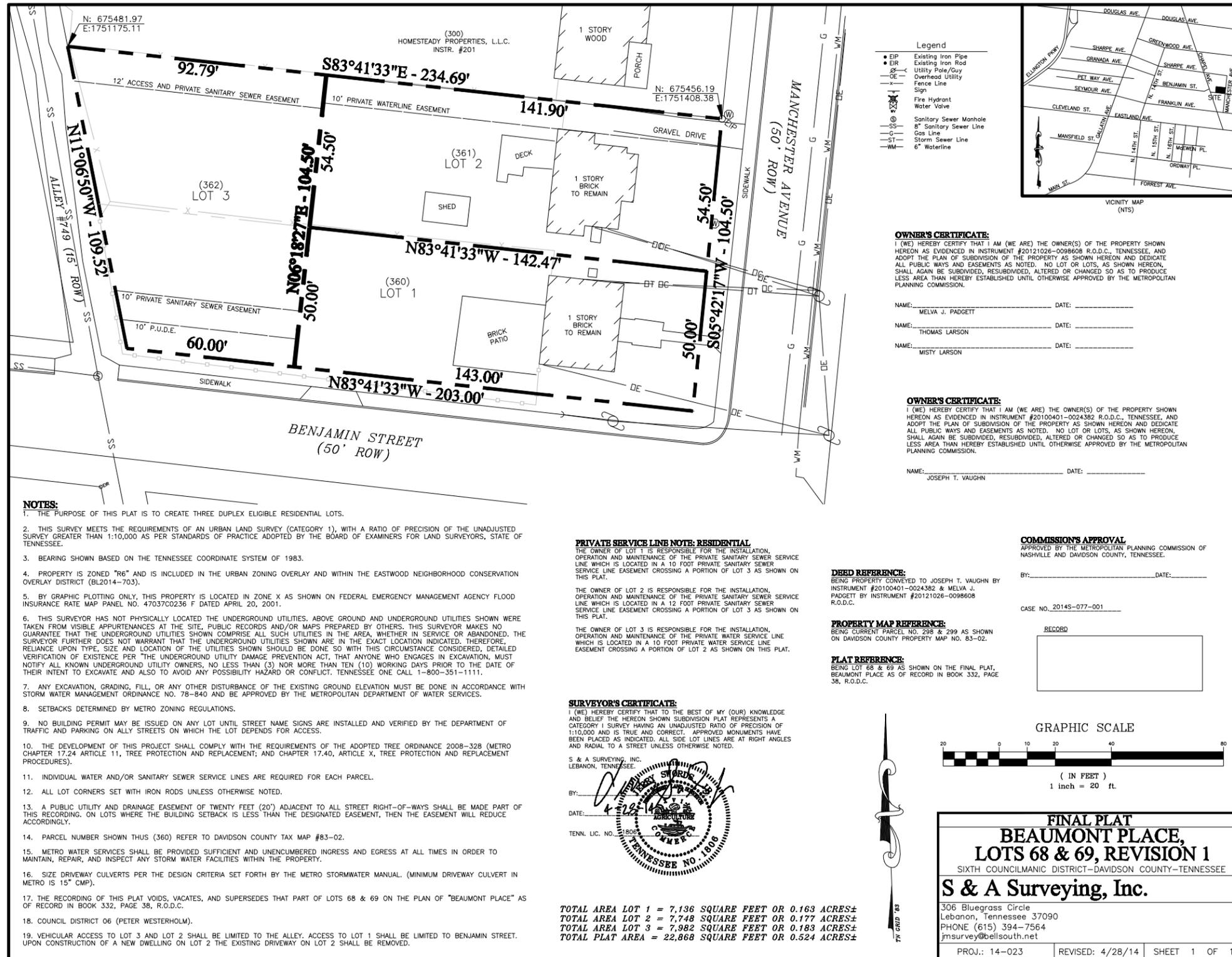
Nashville, Tennessee 37206

METROPOLITAN HISTORICAL ZONING COMMISSION SUBMITTAL

03 NOVEMBER 2014



Van Pond Architect_{PC}
 1200 Division Street
 Suite 101
 Nashville, Tennessee
 37203
 615.499.4387
 vanpondarchitect.com



NOTES:

- THE PURPOSE OF THIS PLAT IS TO CREATE THREE DUPLEX ELIGIBLE RESIDENTIAL LOTS.
- THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1), WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE.
- BEARING SHOWN BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983.
- PROPERTY IS ZONED "R6" AND IS INCLUDED IN THE URBAN ZONING OVERLAY AND WITHIN THE EASTWOOD NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT (BL2014-703).
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE X AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NO. 47037C0236 F DATED APRIL 20, 2001.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GROUND AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, WHETHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON TYPE, SIZE AND LOCATION OF THE UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED, DETAILED VERIFICATION OF EXISTENCE PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION, MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBILITY HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-800-351-1111.
- ANY EXCAVATION, GRADING, FILL, OR ANY OTHER DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND BE APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- SETBACKS DETERMINED BY METRO ZONING REGULATIONS.
- NO BUILDING PERMIT MAY BE ISSUED ON ANY LOT UNTIL STREET NAME SIGNS ARE INSTALLED AND VERIFIED BY THE DEPARTMENT OF TRAFFIC AND PARKING ON ALLY STREETS ON WHICH THE LOT DEPENDS FOR ACCESS.
- THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 2008-328 (METRO CHAPTER 17.24 ARTICLE 11, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES).
- INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH PARCEL.
- ALL LOT CORNERS SET WITH IRON RODS UNLESS OTHERWISE NOTED.
- A PUBLIC UTILITY AND DRAINAGE EASEMENT OF TWENTY FEET (20') ADJACENT TO ALL STREET RIGHT-OF-WAYS SHALL BE MADE PART OF THIS RECORDING. ON LOTS WHERE THE BUILDING SETBACK IS LESS THAN THE DESIGNATED EASEMENT, THEN THE EASEMENT WILL REDUCE ACCORDINGLY.
- PARCEL NUMBER SHOWN THUS (360) REFER TO DAVIDSON COUNTY TAX MAP #83-02.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, AND INSPECT ANY STORM WATER FACILITIES WITHIN THE PROPERTY.
- SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL. (MINIMUM DRIVEWAY CULVERT IN METRO IS 15" CMP).
- THE RECORDING OF THIS PLAT VOIDS, VACATES, AND SUPERSEDES THAT PART OF LOTS 68 & 69 ON THE PLAN OF "BEAUMONT PLACE" AS OF RECORD IN BOOK 332, PAGE 38, R.O.D.C.
- COUNCIL DISTRICT 06 (PETER WESTERHOLM).
- VEHICULAR ACCESS TO LOT 3 AND LOT 2 SHALL BE LIMITED TO THE ALLEY. ACCESS TO LOT 1 SHALL BE LIMITED TO BENJAMIN STREET. UPON CONSTRUCTION OF A NEW DWELLING ON LOT 2 THE EXISTING DRIVEWAY ON LOT 2 SHALL BE REMOVED.

PRIVATE SERVICE LINE NOTE: RESIDENTIAL

THE OWNER OF LOT 1 IS RESPONSIBLE FOR THE INSTALLATION, OPERATION AND MAINTENANCE OF THE PRIVATE SANITARY SEWER SERVICE LINE WHICH IS LOCATED IN A 10 FOOT PRIVATE SANITARY SEWER SERVICE LINE EASEMENT CROSSING A PORTION OF LOT 3 AS SHOWN ON THIS PLAT.

THE OWNER OF LOT 2 IS RESPONSIBLE FOR THE INSTALLATION, OPERATION AND MAINTENANCE OF THE PRIVATE WATER SERVICE LINE WHICH IS LOCATED IN A 10 FOOT PRIVATE WATER SERVICE LINE EASEMENT CROSSING A PORTION OF LOT 3 AS SHOWN ON THIS PLAT.

THE OWNER OF LOT 3 IS RESPONSIBLE FOR THE INSTALLATION, OPERATION AND MAINTENANCE OF THE PRIVATE WATER SERVICE LINE WHICH IS LOCATED IN A 10 FOOT PRIVATE WATER SERVICE LINE EASEMENT CROSSING A PORTION OF LOT 2 AS SHOWN ON THIS PLAT.

SURVEYOR'S CERTIFICATE:

I (WE) HEREBY CERTIFY THAT TO THE BEST OF MY (OUR) KNOWLEDGE AND BELIEF THE HEREIN SHOWN SUBDIVISION PLAT REPRESENTS A CATEGORY 1 SURVEY HAVING AN UNADJUSTED RATIO OF PRECISION OF 1:10,000 AND IS TRUE AND CORRECT. APPROVED MONUMENTS HAVE BEEN PLACED AS INDICATED. ALL SIDE LOT LINES ARE AT RIGHT ANGLES AND RADIAL TO A STREET UNLESS OTHERWISE NOTED.

S & A SURVEYING, INC.
LEBANON, TENNESSEE

BY: _____

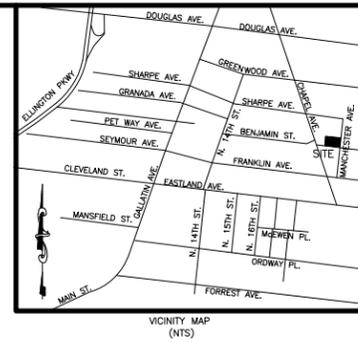
DATE: 4/28/14

TENN. LIC. NO. 1800



TOTAL AREA LOT 1 = 7,136 SQUARE FEET OR 0.163 ACRES±
 TOTAL AREA LOT 2 = 7,748 SQUARE FEET OR 0.177 ACRES±
 TOTAL AREA LOT 3 = 7,982 SQUARE FEET OR 0.183 ACRES±
 TOTAL PLAT AREA = 22,866 SQUARE FEET OR 0.524 ACRES±

- Legend**
- EIP Existing Iron Pipe
 - EIR Existing Iron Rod
 - UPU Utility Pole/Cuy
 - OUE Overhead Utility
 - FL Fence Line
 - S Sign
 - FH Fire Hydrant
 - WV Water Valve
 - SSM Sanitary Sewer Manhole
 - SSSL 8" Sanitary Sewer Line
 - SLS 8" Storm Sewer Line
 - WM 6" Waterline



OWNER'S CERTIFICATE:
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN HEREON AS EVIDENCED IN INSTRUMENT #20121026-0098608 R.O.D.C., TENNESSEE, AND ADOPT THE PLAN OF SUBDIVISION OF THE PROPERTY AS SHOWN HEREON AND DEDICATE ALL PUBLIC WAYS AND EASEMENTS AS NOTED. NO LOT OR LOTS, AS SHOWN HEREON, SHALL AGAIN BE SUBDIVIDED, RESUBDIVIDED, ALTERED OR CHANGED SO AS TO PRODUCE LESS AREA THAN HEREBY ESTABLISHED UNTIL OTHERWISE APPROVED BY THE METROPOLITAN PLANNING COMMISSION.

NAME: MELVA J. PADGETT DATE: _____
 NAME: THOMAS LARSON DATE: _____
 NAME: MISTY LARSON DATE: _____

OWNER'S CERTIFICATE:

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN HEREON AS EVIDENCED IN INSTRUMENT #20100401-0024382 R.O.D.C., TENNESSEE, AND ADOPT THE PLAN OF SUBDIVISION OF THE PROPERTY AS SHOWN HEREON AND DEDICATE ALL PUBLIC WAYS AND EASEMENTS AS NOTED. NO LOT OR LOTS, AS SHOWN HEREON, SHALL AGAIN BE SUBDIVIDED, RESUBDIVIDED, ALTERED OR CHANGED SO AS TO PRODUCE LESS AREA THAN HEREBY ESTABLISHED UNTIL OTHERWISE APPROVED BY THE METROPOLITAN PLANNING COMMISSION.

NAME: JOSEPH T. VAUGHN DATE: _____

COMMISSION'S APPROVAL

APPROVED BY THE METROPOLITAN PLANNING COMMISSION OF NASHVILLE AND DAVIDSON COUNTY, TENNESSEE.

BY: _____ DATE: _____

CASE NO. 2014S-077-001



DEED REFERENCE:

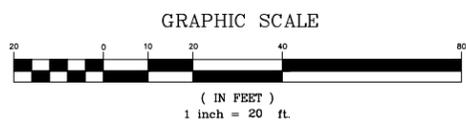
BEING PROPERTY CONVEYED TO JOSEPH T. VAUGHN BY INSTRUMENT #20100401-0024382 & MELVA J. PADGETT BY INSTRUMENT #20121026-0098608 R.O.D.C.

PROPERTY MAP REFERENCE:

BEING CURRENT PARCEL NO. 298 & 299 AS SHOWN ON DAVIDSON COUNTY PROPERTY MAP NO. 83-02.

PLAT REFERENCE:

BEING LOT 68 & 69 AS SHOWN ON THE FINAL PLAT, BEAUMONT PLACE AS OF RECORD IN BOOK 332, PAGE 38, R.O.D.C.



FINAL PLAT
BEAUMONT PLACE,
LOTS 68 & 69, REVISION 1
 SIXTH COUNCILMANIC DISTRICT-DAVIDSON COUNTY-TENNESSEE

S & A Surveying, Inc.
 306 Bluegrass Circle
 Lebanon, Tennessee 37090
 PHONE (615) 394-7564
 jmsurvey@bellsouth.net

PROJ.: 14-023 REVISED: 4/28/14 SHEET 1 OF 1

A New Single-Family Residence at:
1907 Benjamin Street

Nashville, Tennessee 37206

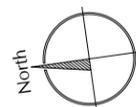
METROPOLITAN HISTORICAL ZONING COMMISSION SUBMITTAL

03 NOVEMBER 2014

Original Survey

VPA Van Pond Architect, P.C.
 1200 Division Street
 Suite 101
 Nashville, Tennessee
 37203
 615.499.4387
 vanpondarchitect.com




Proposed Main Floor Plan
 1/8" = 1'-0"

A New Single-Family Residence at:
1907 Benjamin Street

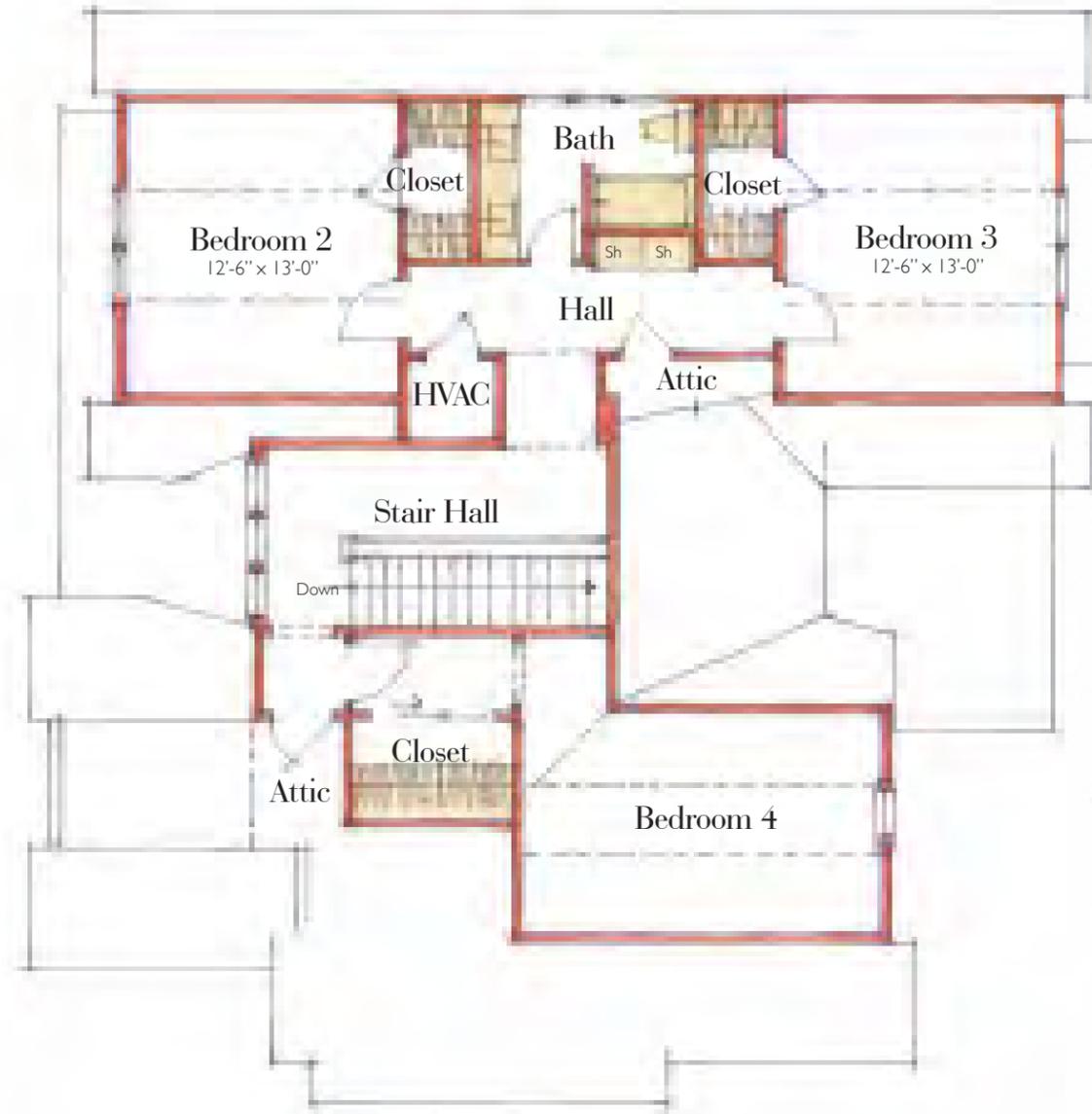
Nashville, Tennessee 37206

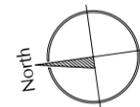
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Van Pond Architect_{PC}
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Proposed Upper Floor Plan
 1/8" = 1'-0"

A New Single-Family Residence at:
1907 Benjamin Street

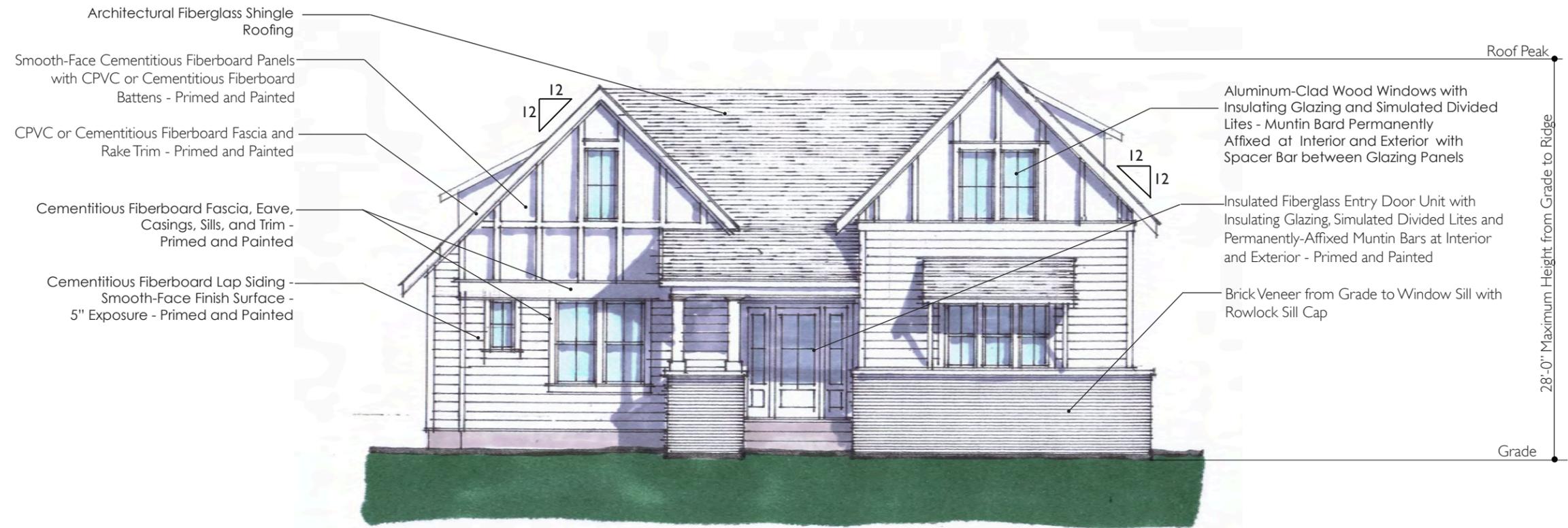
Nashville, Tennessee 37206

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Proposed Front Elevation (East)
 1/8" = 1'-0"

A New Single-Family Residence at:
1907 Benjamin Street

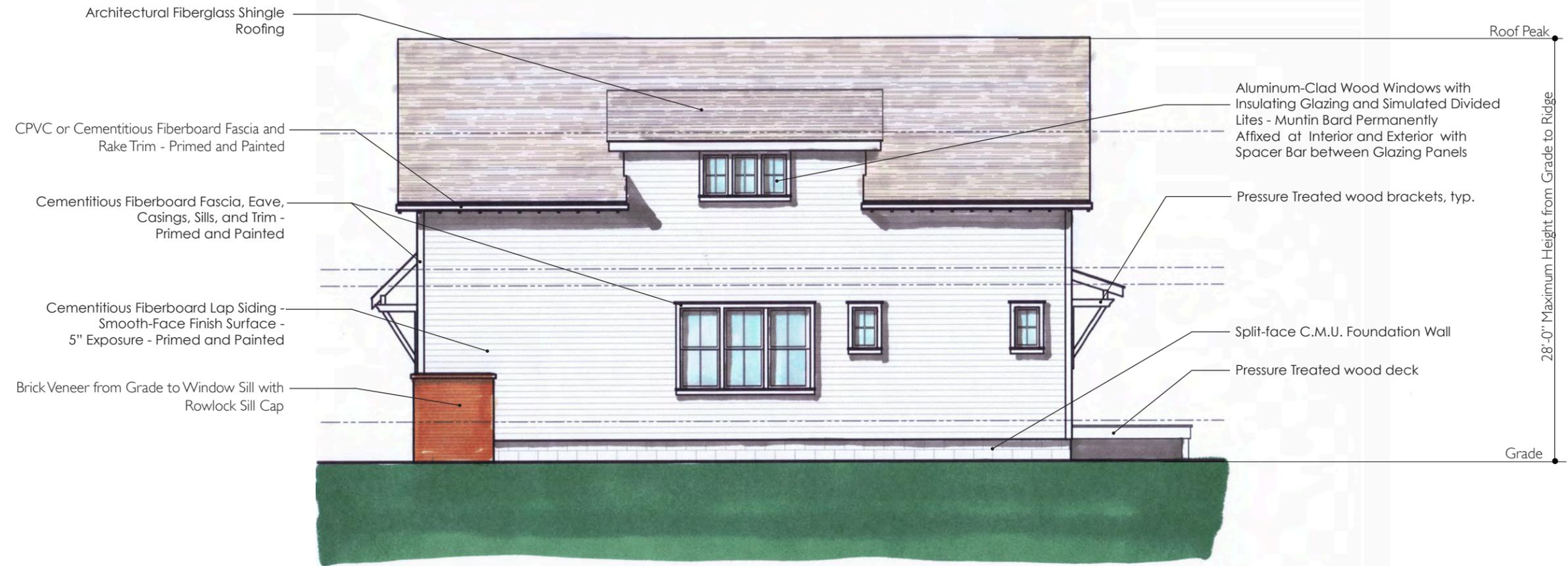
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Proposed Side Elevation (North)

1/8" = 1'-0"

A New Single-Family Residence at:
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Nashville, Tennessee 37206

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Proposed Rear Elevation (West)

1/8" = 1'-0"

A New Single-Family Residence at:
1907 Benjamin Street

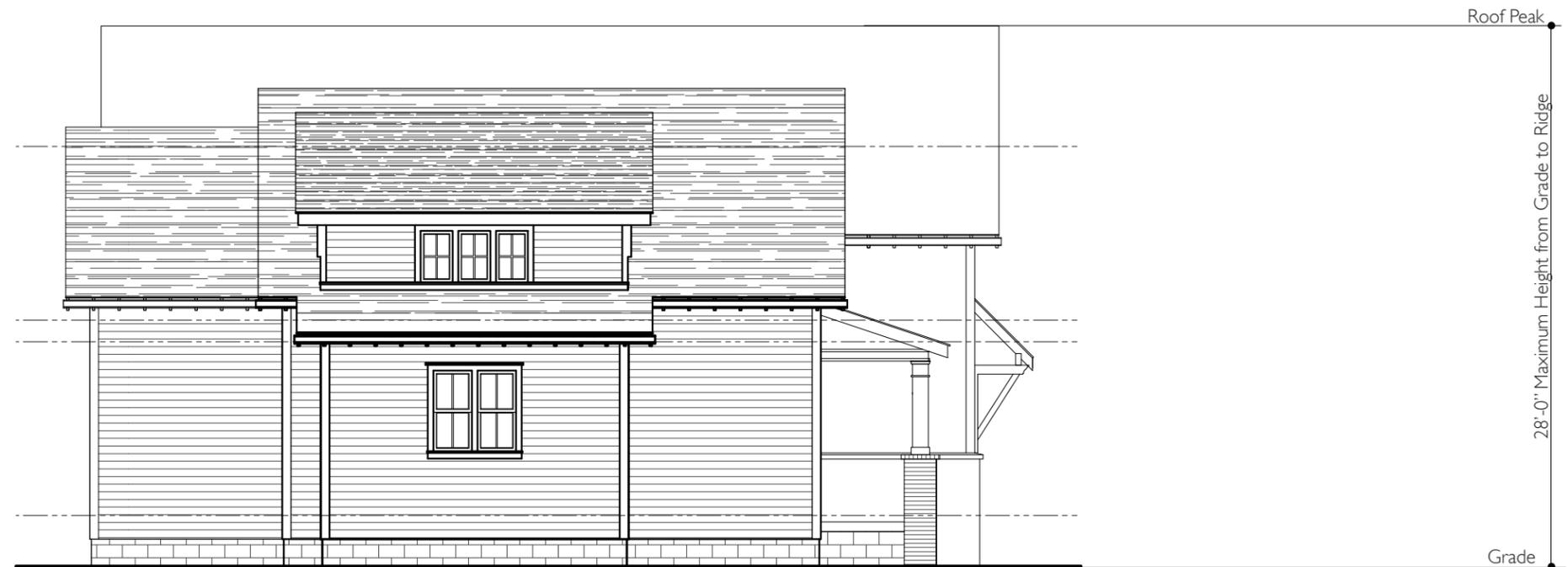
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Proposed Side Elevation (South)

1/8" = 1'-0"

A New Single-Family Residence at:
1907 Benjamin Street

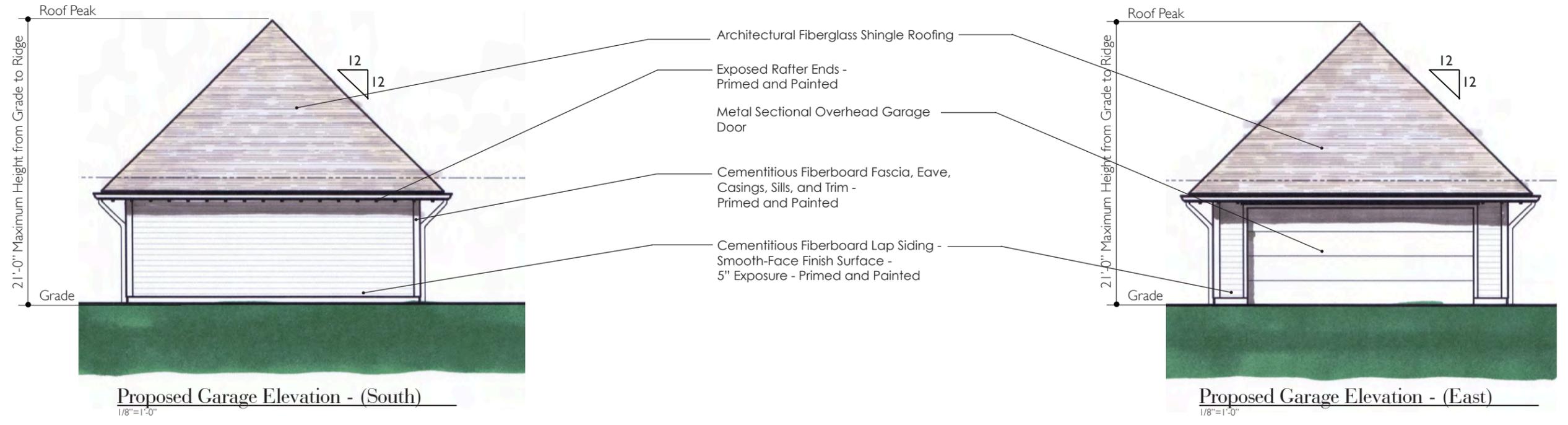
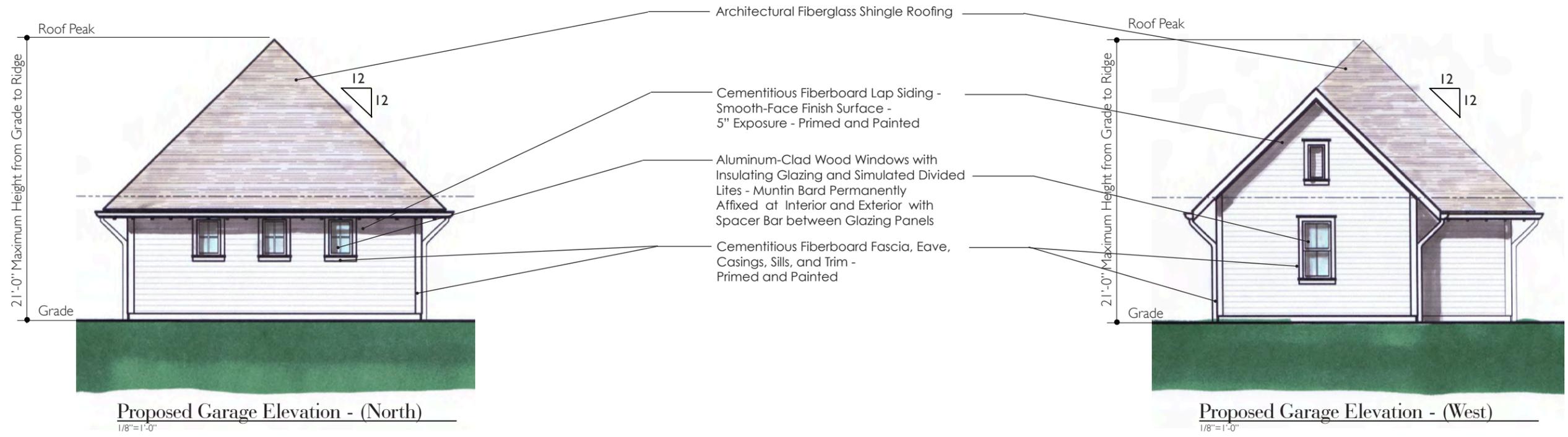
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