



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 517 Wilson Boulevard North November 19, 2014

Application: New construction-outbuilding
District: Richland-West End Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10308016900
Applicant: Emily Dyer
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: The application is for new construction of a one-and-a-half story outbuilding behind the historic house. The outbuilding will have a footprint of seven hundred and eighty square feet (780 sq. ft.).

Recommendation Summary: Staff recommends approval with the conditions:

1. The eave height be reduced to ten feet (10') or less;
2. The dormer be moved back to sit two feet (2') from the exterior wall;
3. Lap siding have no more than five inches (5") reveal; and,
4. Staff approve the final details, dimensions and materials of windows, doors and garage doors.

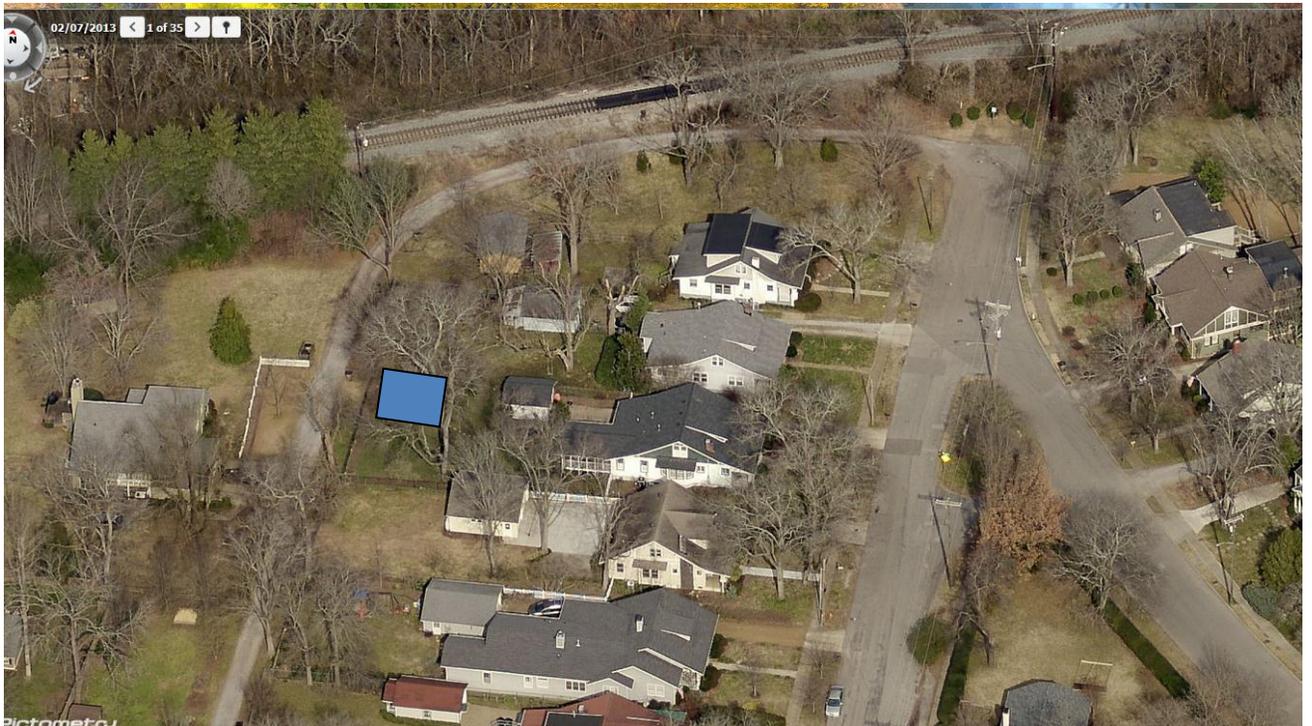
Staff finds that the project meets the design guidelines for the Richland-West End Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure as measured from the finished floor to the eave, with a maximum eave height of 10' from finished grade for single-story and 17' from finished grade for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building, as measured from the finished floors to the ridges and shall not exceed 25' feet from finished grade in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative*

elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.

· For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

· Brick, weatherboard, and board-and-batten are typical siding materials.

· Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

· Four inch (4" nominal) corner-boards are required at the face of each exposed corner.

· Stud wall lumber and embossed wood grain are prohibited.

· Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

· Where they are a typical feature of the neighborhood; or

· When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Background: 517 North Wilson Boulevard is a one-and-a-half story Craftsman style bungalow built circa 1921.

Analysis and Findings:

The applicant proposes construction of a new outbuilding at the rear of the lot. It is not to be used as a dwelling unit.

Height & Scale: The proposed outbuilding's footprint is thirty feet by twenty-six feet (30'x26') for a footprint of seven hundred and eighty square feet (780 sq. ft.). The lot is twelve thousand square feet (12,000 sq. ft.), so the proposed outbuilding meets the requirement that the footprint not exceed one thousand square feet (1,000 sq. ft.).

The new outbuilding will be a story and a half and will be twenty feet, nine inches (20'9") from grade. The house has a ridge height of twenty-three feet (23') from finished floor height. The eave height of the house is eight feet (8') from the finished floor height at the front, and ten feet (10') at the rear. The overall height of the outbuilding is appropriately subordinate to the ridge height of the house, but the eave height as drawn is twelve feet, eleven inches (12'11"), which is more than that permitted by the design guidelines:

The DADU or outbuilding height shall not exceed the height of the principal structure as measured from the finished floor to the eave, with a maximum eave height of 10' from finished grade for single-story.

Staff recommends the eave height be reduced to ten feet (10') or less to meet the design guidelines.

Meeting this condition, the project will meet section II.B.h.1.

Character, Materials, Details: The outbuilding will relate to the character of the house. The roof form and details like corbels, molding and exposed rafters on the dormer will match those details on the house. The outbuilding will have fiber cement siding and shingles; the exposure of the lap siding was not noted. Staff requests a condition of approval be that the siding have a maximum reveal of five inches (5"). The roof will be asphalt shingles in a color matching that of the house. The proposed windows are aluminum-clad, double-hung windows matching the size and style of those of the house. Trim elements will be wood. The doors will be fiberglass. Staff finds that the known materials, character and details meet section II.B.h.1 of the design guidelines.



Figure 1. 517 Wilson Blvd North

Roof: The proposed roof is a gable with approximately 6/12 pitch. It is compatible with the primary building. A shed dormer on the south side matches the existing dormer on the house. The dormer takes up approximately thirty-eight percent (38%) of the roof plane, and sits directly over the wall beneath; Staff requests the dormer sit back from the wall by at least two feet (2') to comply with the design guidelines. With this condition, the project meets section II.B.h.1.

Windows & Doors: The windows are twice as tall as they are wide, meeting the historic proportion of openings. The doors are appropriate for the style of the house. Staff requests final approval of windows, doors and garage doors.

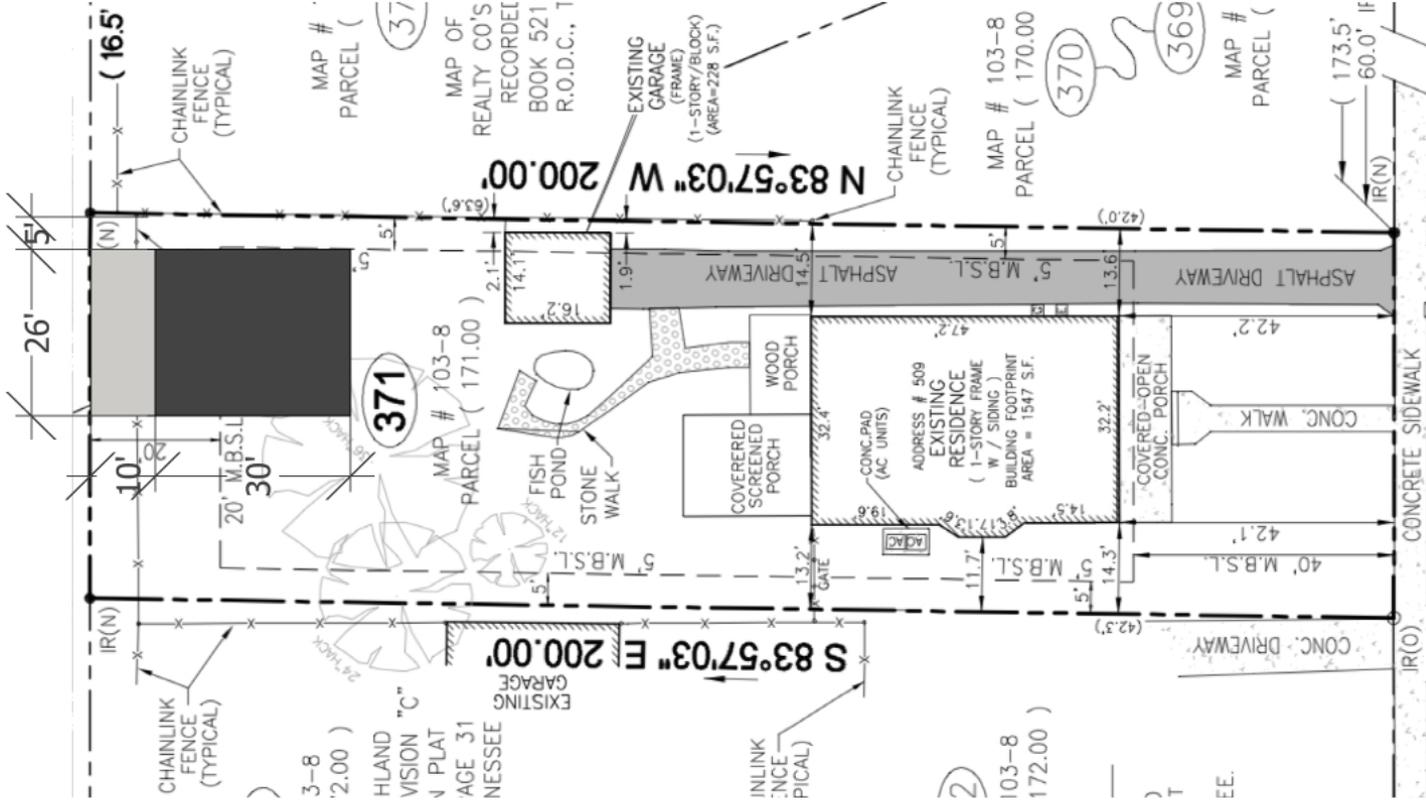
Setback & Site Requirements: The proposed location behind the house at the rear of the lot is appropriate for an outbuilding. It will be located ten feet (10') from the alley, and five feet (5') from the side, meeting the setback requirements. There will be approximately sixty-five feet (65') between the house and the outbuilding. The project meets section II.B.h.2 and II.B.1.c of the design guidelines.

Driveway Access: The outbuilding will be accessed from the alley, meeting section II.B.h.2.

Recommendation: Staff recommends approval with the conditions:

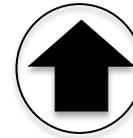
1. The eave height of the outbuilding be reduced to ten feet (10') or less;
2. The dormer be moved back to sit two feet (2') from the exterior wall;
3. Lap siding have no more than five inches (5") reveal; and
4. Staff approve the final details, dimensions and materials of windows, doors and garage doors prior to purchase and installation.

With these conditions, Staff finds that the project meets the design guidelines for the Richland-West End Neighborhood Conservation Zoning Overlay



SETBACKS:

- 5' FROM SIDE PROPERTY LINE
- 10' FROM REAR PROPERTY LINE



STANLEY RESIDENCE
517 N. WILSON BLVD.
NASHVILLE TN 37205

DETACHED GARAGE
SITE PLAN
OCTOBER 13, 2014

These drawings are intended for schematic purposes only. Constructability and final measurements are the responsibility of the contractor.

EMILY DYER DESIGN
520 WESTVIEW AVE
NASHVILLE TN 37205
781.413.1210





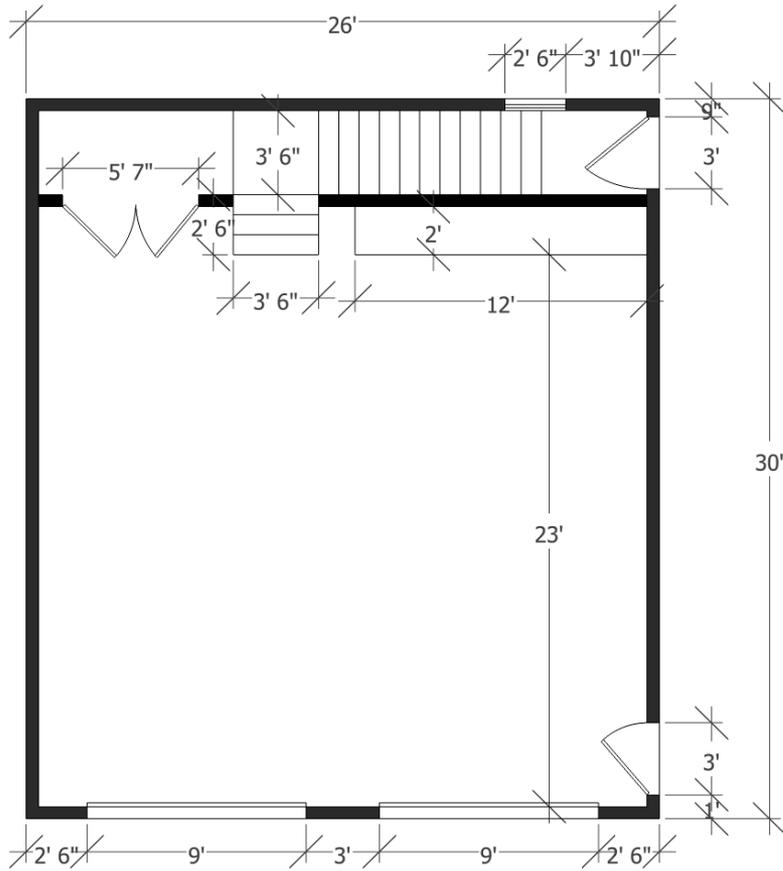
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DETACHED GARAGE
PERSPECTIVES
OCTOBER 13, 2014

STANLEY RESIDENCE
517 N. WILSON BLVD.
NASHVILLE TN 37205





EMILY DYER DESIGN
 520 WESTVIEW AVE
 NASHVILLE, TN 37205
 781.413.1210

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DETACHED GARAGE
 FLOOR PLAN
 FIRST FLOOR
 1/8"=1'0"
 OCTOBER 13, 2014

STANLEY RESIDENCE
 517 N. WILSON BLVD.
 NASHVILLE TN 37205





NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

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520 WESTVIEW AVE
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DETACHED GARAGE
EXTERIOR ELEVATIONS
1/8"-1"0"

OCTOBER 13, 2014

STANLEY RESIDENCE
517 N. WILSON BLVD.
NASHVILLE TN 37205





WEST ELEVATION

EMILY DYER DESIGN
 520 WESTVIEW AVE
 NASHVILLE, TN 37205
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DETACHED GARAGE
 ROOF LINE DETAILS
 1/8'-1'0"
 OCTOBER 13, 2014

STANLEY RESIDENCE
 517 N. WILSON BLVD.
 NASHVILLE TN 37205



MATERIAL & SPECIFICATION NOTES

- **SIDING:** FIBER CEMENT BOARD SIDING AND SHINGLES; COLORS TO MATCH MAIN HOUSE
- **WINDOWS:** ALUMINUM CLAD WINDOWS TO MATCH STYLING AND SIZES OF MAIN HOUSE
- **EXTERIOR DOORS:** 3 LIGHT CRAFTSMAN STYLE ENTRY DOORS, FIBERGLASS (LOOKS LIKE WOOD)
- **GARAGE DOORS:** CARRIAGE STYLE GARAGE DOORS, STEEL WITH FIBERGLASS SURFACE (LOOKS LIKE WOOD)
- **ROOF:**
 - ASPHALT SHINGLES TO MATCH MAIN HOUSE
 - ROOF LINE WOOD TRIM DETAILS TO MATCH MAIN HOUSE (CORBELS AND MOLDING)
 - RIDGE HEIGHT : 20' 9 1/2" (MAIN HOUSE IS 23')
 - EAVE HEIGHT: 12' 11 1/4" (CORRESPONDING POINT ON MAIN HOUSE IS 14'6")



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NASHVILLE TN 37205
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DETACHED GARAGE
MATERIALS NOTES
OCTOBER 13, 2014

STANLEY RESIDENCE
517 N. WILSON BLVD.
NASHVILLE TN 37205

