



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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## STAFF RECOMMENDATION

1514 Elmwood Ave  
December 17, 2014

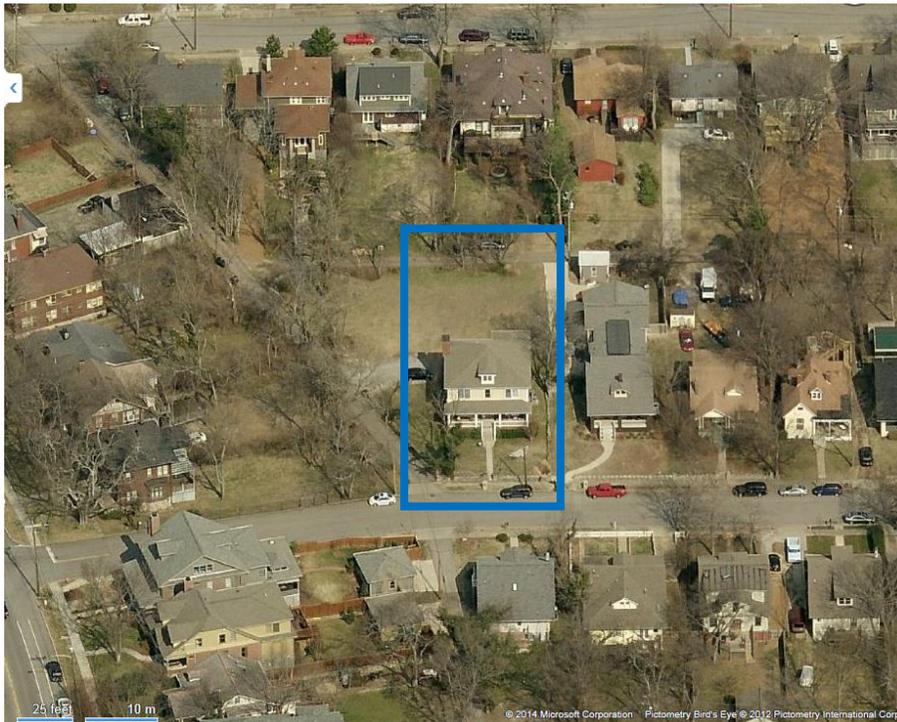
**Application:** New construction- outbuilding  
**District:** Belmont-Hillsboro Neighborhood Conservation Zoning Overlay  
**Council District:** 18  
**Map and Parcel Number:** 10416038000  
**Applicant:** Allard Ward, Architects  
**Project Lead:** Allison Asbrock, robin.zeigler@nashville.gov

<p><b>Description of Project:</b> The applicant proposes to construct a two garage bay outbuilding at the rear of the property.</p> <p><b>Recommendation Summary:</b> Staff recommends approval with the conditions that:</p> <ul style="list-style-type: none"><li>• Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation</li><li>• Staff approve the roof color and masonry color, dimensions and texture.</li></ul> <p>With these conditions, the project meets II.B.i for outbuildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
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## Vicinity Map:



## Aerial Map:



## Applicable Design Guidelines:

### II. B. GUIDELINES

#### i. Outbuildings

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

##### *Outbuildings: Height & Scale*

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure as measured from the finished floor to the eave, with a maximum eave height of 10' from finished grade for single-story and 17' from finished grade for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building, as measured from the finished floors to the ridges and shall not exceed 25' feet from finished grade in height.

##### *Outbuildings: Character, Materials and Details*

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

##### *Outbuildings: Roof*

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

##### *Outbuildings: Windows and Doors*

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

##### *Outbuildings: Siding and Trim*

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.

- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
  - Stud wall lumber and embossed wood grain are prohibited.
  - Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
  - *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

**Background:**

1514 Elmwood Avenue is a 1925 bungalow style home that contributes to the Belmont-Hillsboro Neighborhood Conservation Overlay. The lot is bounded to the north by an alley.

**Analysis and Findings:**

The applicant proposes the new construction of an eight hundred and seventy square foot (870 sq. ft.) outbuilding not intended to be



used as a dwelling unit. The outbuilding will be a two bay garage and workshop that will be accessed from the existing alley.

### **Outbuilding:**

#### Height & Scale

As defined by the design guideline, a lot over ten thousand square feet (10,000 sq. ft.) is allowed an outbuilding of up to one thousand square feet (1,000 sq. ft.). As, the lot of 1514 Elmwood is eleven thousand, two hundred and eighty square feet (11,280 ft. sq.), the proposed garage of eight hundred and seventy square foot (870 sq. ft.) is appropriate.

The proposed garage is a one story structure with an approximate height of nineteen feet one and three quarters inches (19' 1 ¾") from the finished floor to the ridge. This meets the guidelines as it is subordinate to the height of the main building from the finished floor to ridge at twenty feet (20'). The proposed eave height from grade is approximately ten feet (10') at the alley and increases to approximately twelve feet (12') to the interior of the property as the grade rises toward the alley. The eave height of ten feet (10') from finished grade matches the eave height of the historic structure and is appropriate.

The guidelines indicate the outbuilding must be no wider than the principal structure on the lot. The existing home is approximately thirty feet (30') wide, while the proposed outbuilding is thirty-four feet (34') wide. Because the garage will be minimally visible and because the existing house is narrow at thirty feet (30'), staff finds the additional width to be appropriate.

#### Character and Details

The design of the building is a contemporary garage design. Its cross gable roof form is distinguishable as new construction but complements the historic form of the primary structure. The design also meets the guidelines for proportion of window openings. Interior pull down stairs for attic storage are proposed and meet the guidelines.

#### Roof

Both roof pitches are 8/12 which meets the minimum requirement of a 4/12 pitch, and it is consistent with the pitches of outbuildings in the area. No dormers are proposed for the structure. An exterior chimney on the south façade that faces the primary structure does not impact the roof form and staff finds it to be an appropriate design. Staff finds the roof and chimney to meet the guidelines contingent upon the approval of the roof color and masonry color, dimensions and texture.

#### Windows and Doors

The publically visible windows have the correct proportion being twice as tall as they are wide. Style of windows is compatible with the craftsman windows of the primary structure. Windows and pedestrian door will be wood. The double garage door will not be visible from the street. Staff finds these materials to be appropriate with the condition that staff administratively reviews final window and door selections.

#### Siding and Trim

The outbuilding will be clad in smooth faced cement fiberboard with a five inch (5") reveal with the exception of the exterior chimney which will be brick. Roof material will be an architectural fiberglass shingle of an unspecified color. Staff finds the siding and trim materials to be appropriate with the condition that staff approve all final material choices and there be at least a four to six inch (4-6") mullion between double windows.

#### Location

The outbuilding is located to the rear of the property, close to the alley, and not attached to the principal structure.

#### Setbacks and Site Requirements

The location of the outbuilding meets all the setback requirements defined by the guidelines. The rear setback is five feet, three and one-half inches (5' 3 1/2"). The left setback is twenty-three feet (23') while the right setback is three feet (3'). The front of the outbuilding is twenty feet (20') from the rear of the primary building.

#### Driveway Access

Currently there is a paved parking surface at the rear of the property that extends to the rear of the principal structure. This application indicates the majority of the parking surface will be removed, and the remainder will create two walkways and a small patio area. The garage will be accessed directly from the alley and the five feet between the outbuilding and the alley will be paved. No curb cuts are required for this process.

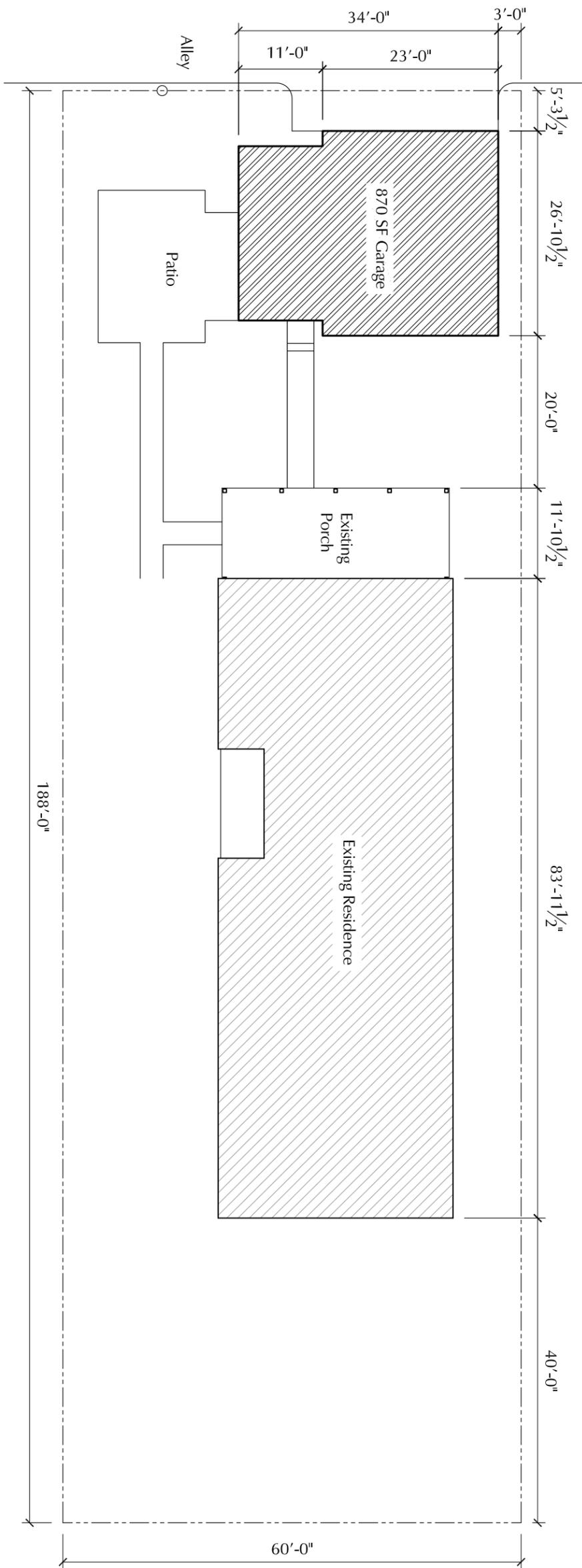
The project meets section II.B.1.i of the design guidelines.

#### **Recommendation:**

Staff recommends approval with the conditions that:

- Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation; and
- Staff approve the roof color and masonry color, dimensions and texture.

With these conditions, the project meets II.B.i for outbuildings in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



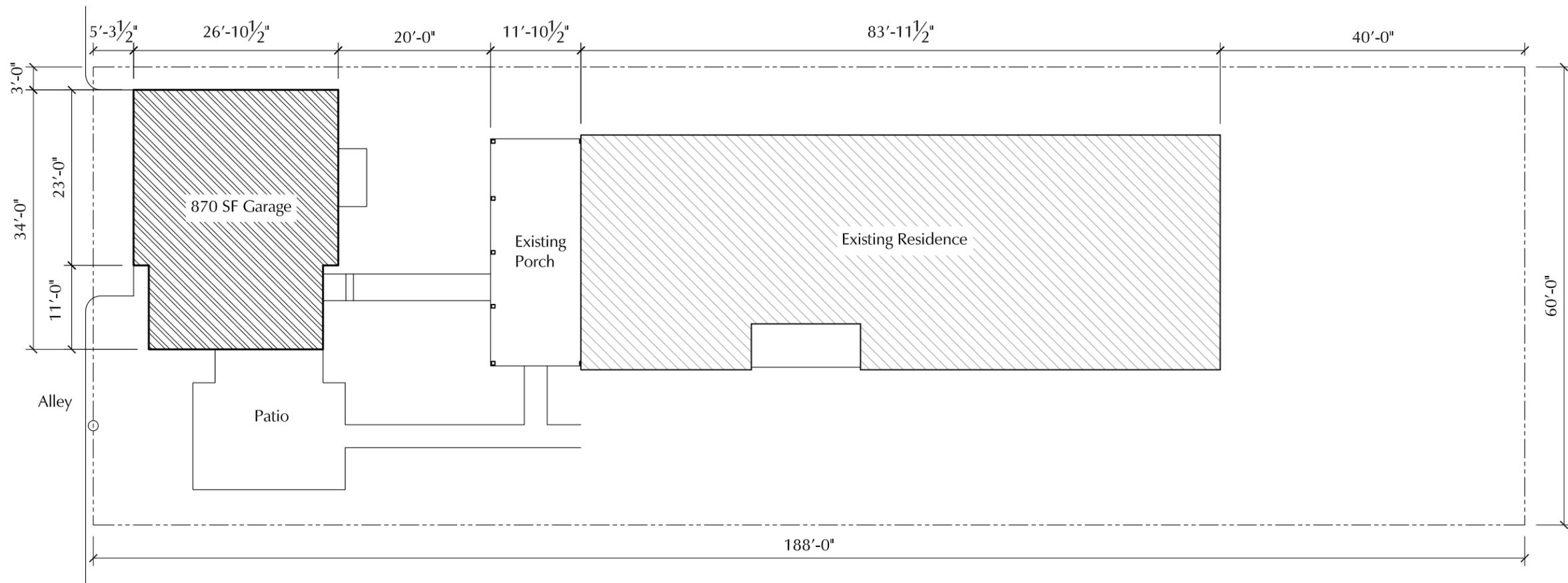
**A1.0**

<b>Drawings:</b>
Site Plan
<b>Date:</b>
11.26.14

**ALLARD WARD ARCHITECTS**  
 1618 Sixteenth Avenue South  
 Nashville, Tennessee 37212  
 allardward.com  
 Tel: 615.345.1010  
 Fax: 615.345.1011

A New Garage for:  
**The LaForge Residence**  
 1514 Elmwood Avenue,  
 Nashville, Tennessee 37212

PRELIMINARY - NOT FOR CONSTRUCTION



1 Site Plan Scale: 1/16"=1'-0"



2 Site Section Scale: 1/16"=1'-0"

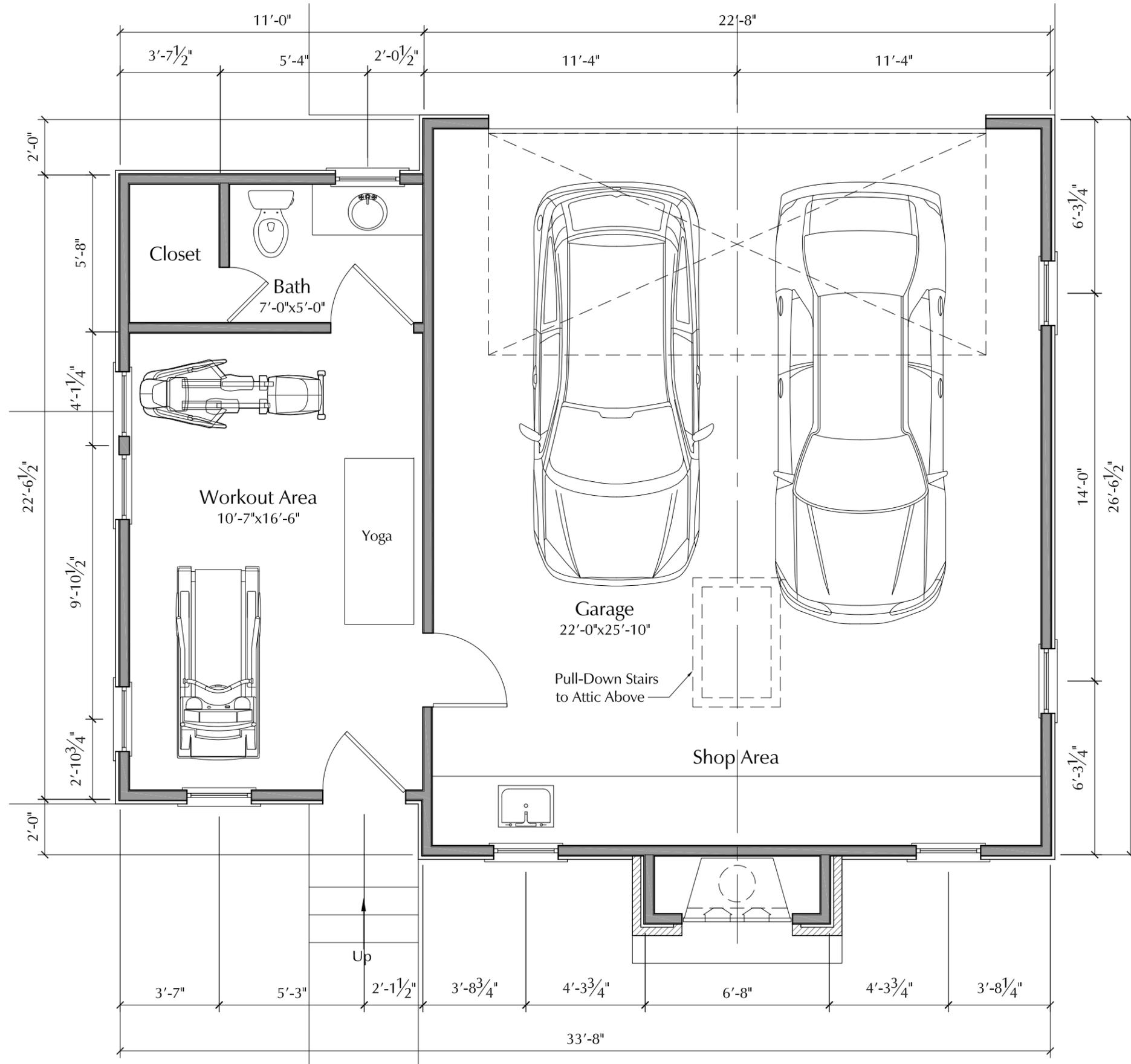
PRELIMINARY - NOT FOR CONSTRUCTION

A New Garage for:  
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 1514 Elmwood Avenue,  
 Nashville, Tennessee 37212

**ALLARD WARD ARCHITECTS**  
 1618 Sixteenth Avenue South  
 Nashville, Tennessee 37212  
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 Fax: 615.345.1011

Drawings:  
 Site Plan & Site Section  
 Date:  
 12.01.14

**A1.0**




1
**Floor Plan**  
 Scale: 1/4"=1'-0"

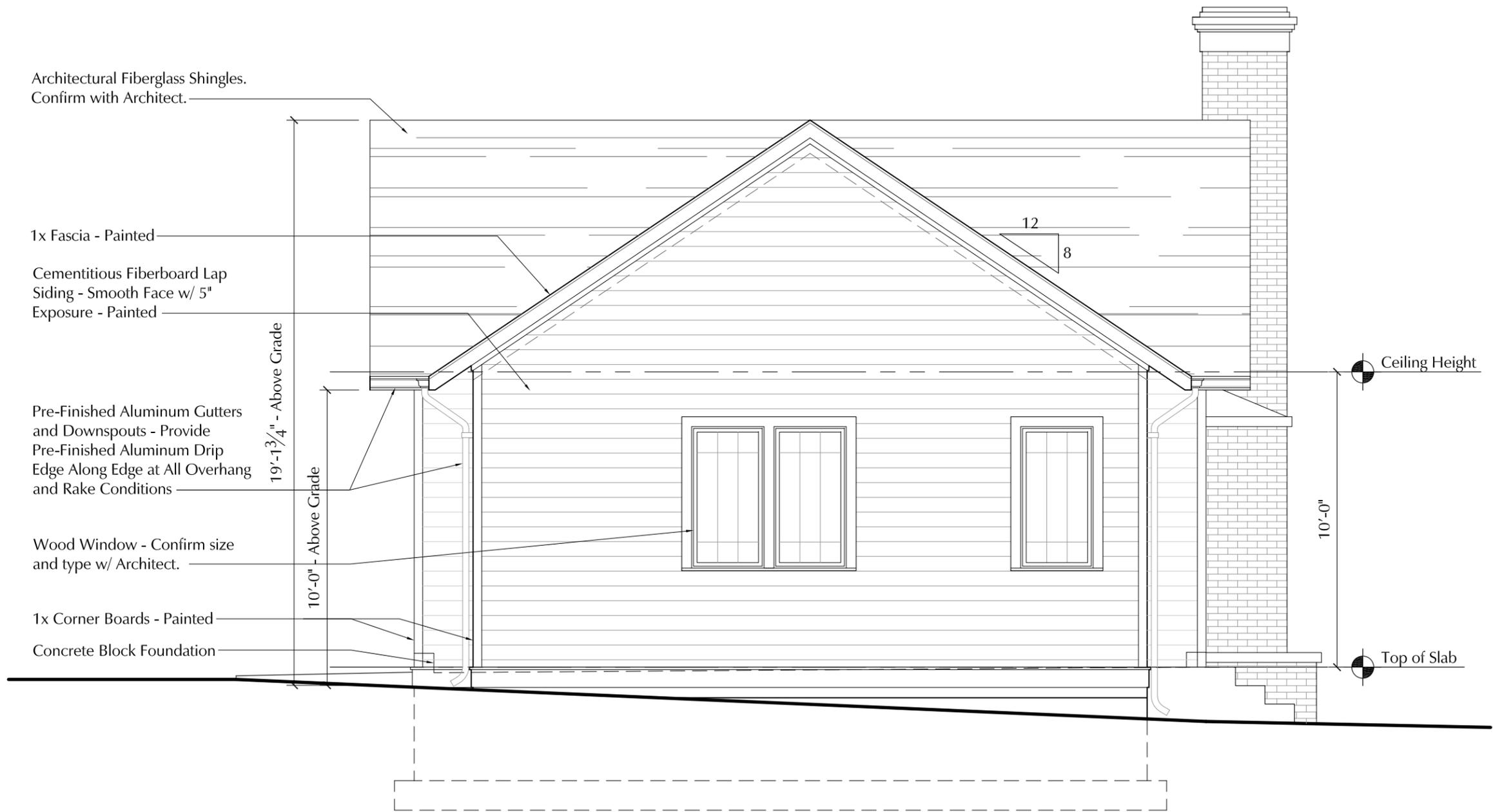
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 Nashville, Tennessee 37212  
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 Fax: 615.345.1011  
 allardward.com

Drawings:  
 Floor Plan  
 Date:  
 12.01.14

**A1.1**

PRELIMINARY - NOT FOR CONSTRUCTION



Architectural Fiberglass Shingles.  
Confirm with Architect.

1x Fascia - Painted

Cementitious Fiberboard Lap  
Siding - Smooth Face w/ 5"  
Exposure - Painted

Pre-Finished Aluminum Gutters  
and Downspouts - Provide  
Pre-Finished Aluminum Drip  
Edge Along Edge at All Overhang  
and Rake Conditions

Wood Window - Confirm size  
and type w/ Architect.

1x Corner Boards - Painted

Concrete Block Foundation

19'-1<sup>3</sup>/<sub>4</sub>" - Above Grade

10'-0" - Above Grade

12  
8

Ceiling Height

10'-0"

Top of Slab

1

West Elevation

1" 6" 0 1 2 3 4 6' Scale: 1/4" = 1'-0"

Drawings:  
West Elevation  
Date:  
12.01.14

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A New Garage for:  
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Nashville, Tennessee 37212

**A2.0**

PRELIMINARY - NOT FOR CONSTRUCTION



1 South Elevation (House Side)  
 Scale: 1/4"=1'-0"

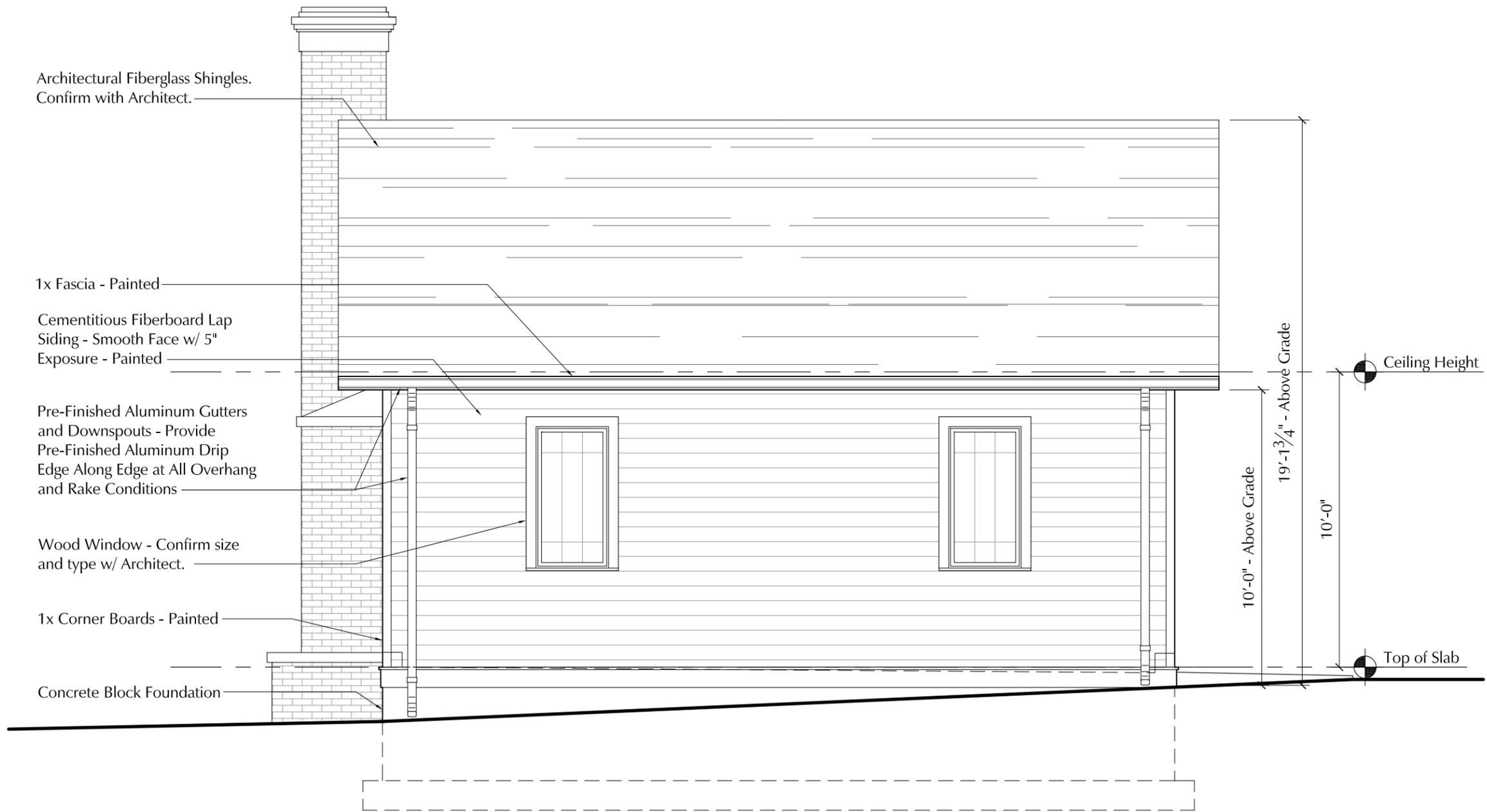
PRELIMINARY - NOT FOR CONSTRUCTION

A New Garage for:  
**The LaForge Residence**  
 1514 Elmwood Avenue,  
 Nashville, Tennessee 37212

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 allardward.com

Drawings:  
 South Elevation  
 Date:  
 12.01.14

**A2.1**



Architectural Fiberglass Shingles.  
Confirm with Architect.

1x Fascia - Painted

Cementitious Fiberboard Lap  
Siding - Smooth Face w/ 5"  
Exposure - Painted

Pre-Finished Aluminum Gutters  
and Downspouts - Provide  
Pre-Finished Aluminum Drip  
Edge Along Edge at All Overhang  
and Rake Conditions

Wood Window - Confirm size  
and type w/ Architect.

1x Corner Boards - Painted

Concrete Block Foundation

10'-0" - Above Grade

19'-1 3/4" - Above Grade

10'-0"

Ceiling Height

Top of Slab

1

East Elevation



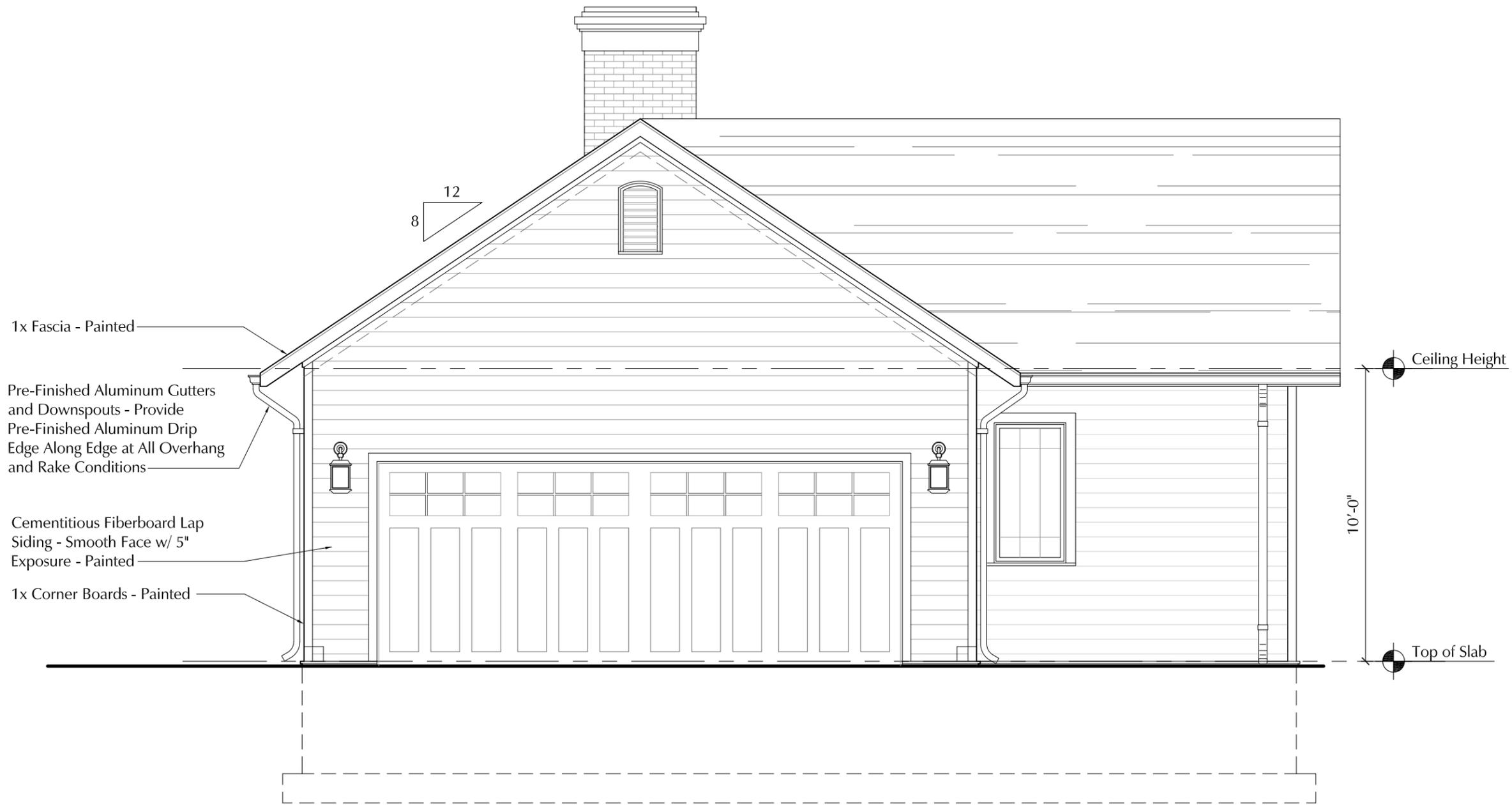
Drawings:  
East Elevation  
Date:  
12.01.14

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A New Garage for:  
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1514 Elmwood Avenue,  
Nashville, Tennessee 37212

**A2.2**

PRELIMINARY - NOT FOR CONSTRUCTION



1 North Elevation (Alley Side)  
Scale: 1/4"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

A New Garage for:  
**The LaForge Residence**  
1514 Elmwood Avenue,  
Nashville, Tennessee 37212

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Fax: 615.345.1011  
allardward.com

Drawings:  
North Elevation  
Date:  
12.01.14

**A2.3**