



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 1416 Fourth Avenue North January 21, 2015

Application: Signage
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08209010000
Applicant: Powell Architecture + Building Studio
Project Lead: Allison Asbrock, robin.zeigler@nashville.gov

Description of Project: The applicant proposes to install a partial perimeter fence and two signs to the front addition of the building at 1416 Fourth Avenue North. The addition was approved in April 2014.

Recommendation Summary: Staff recommends approval of the project with the conditions that:

- The widths of the signs be no more than three inches (3”).
- The lighting fixture is approved by staff prior to purchase and installation, is screened from public view, and is focused only on the railing sign.

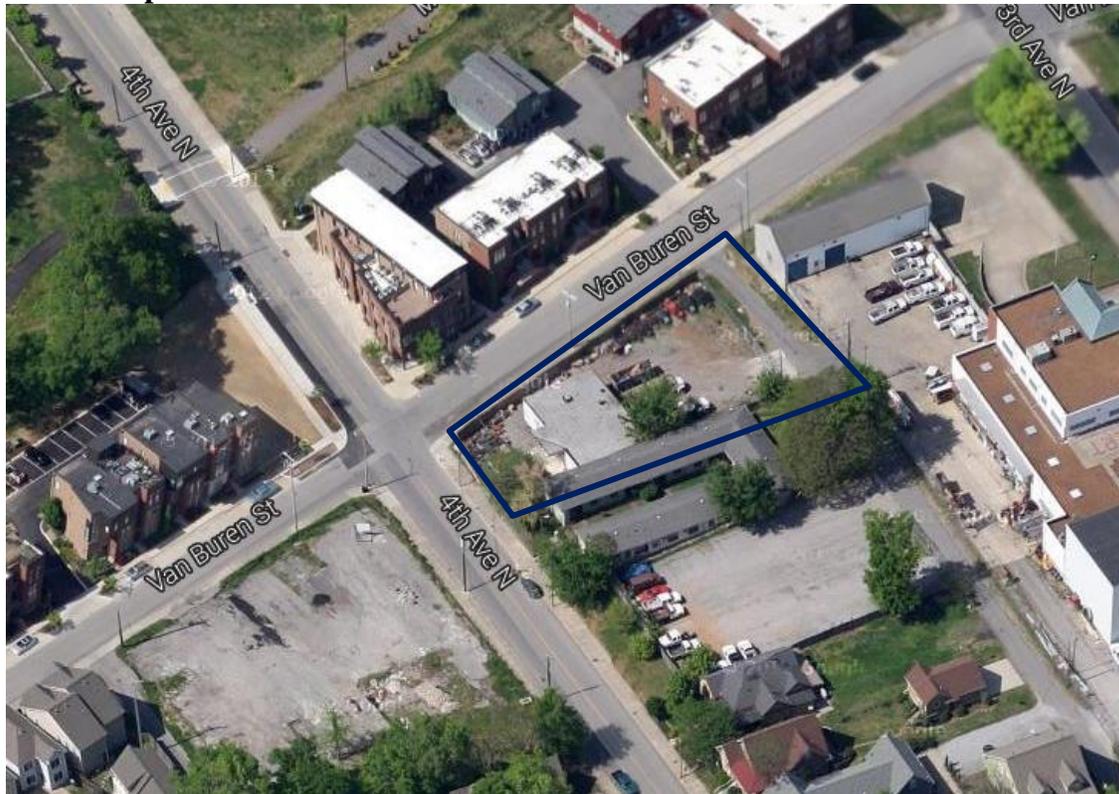
Meeting these conditions, Staff finds the project meets the design guidelines for the Germantown Historic Preservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

5.0 Site Improvements/ Appurtenances

Site improvements or appurtenances include fences, walls, sidewalks, paving or driveways, parking areas, exterior lighting, utility connections, and other permanent landscape features.

Historic architecturally-significant site improvements should be maintained, and repaired using historically appropriate materials and methods.

5.1 Fences & Walls

Character-defining features of historic fences and stone retaining walls including gates, decorative pickets, finials, and hardware should be preserved. Repair rather than replace fence and wall materials. For irreparable elements replacement features shall match the original features.

5.1.2 Fences or walls may be utilized to demarcate property lines and screen private areas from public view.

5.1.3 New fences and walled areas shall be compatible with the building site and streetscape in terms of location, height, opaqueness; design, style, materials composition, scale, proportion, color and texture.

Consideration of the physical characteristics of a property and its use will be given in determining appropriate fence heights and location (e.g. exceptional topographic condition, lot location within the District (street corners etc), adjacent to non compatible use, lot size and/or shape)

Walls of solid masonry construction within the front setback are permitted up to 24" in height.

Fences shall be constructed of wood, metal or masonry. Vinyl is generally not an appropriate fencing material.

The combination of fences and walls in front setbacks shall not exceed 48". Generally side yard fences from the street to a distance of 10' behind the front (public) façade shall not exceed 48".

Side yard fences shall be located a minimum of 10' behind the front (public) façade and shall not exceed 72" in height. (Exception: Fences may be 96" in ht. when the top 24" is open in nature).

Rear yard / privacy fences shall not exceed 72". (Exception: Fences may be 96" in height when the top 24" is open in nature).

5.1.4 Coordination of style and materials with adjacent properties is encouraged where appropriate.

5.1.5 In general chain link fencing is not appropriate. Black or dark green chain link fencing may be used for pet enclosures or at the rear of the lot when it is screened from public view.

5.4 Exterior Lighting/ Miscellaneous

5.4.1 Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpster and trash containers is in the rear yard or alley and screened from public view.

5.4.2 Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.

5.4.3 Avoid spilling light onto adjacent structures, signs, or properties.

5.4.4 Ground mounted light fixtures/spotlights shall be screened from public view.

8.0 Signage

Review is required only for permanent signs that are mounted on the exterior of buildings or anchored freestanding on the property. Signage behind display windows, transoms, and upper story windows, as well as temporary signs, such as sandwich boards and banners, are not reviewed.

Recognizing the importance of signage and building graphics to the business needs of merchants and property owners, the MHZC supports interpretation of the signage guidelines to further the dynamic, creative, entertaining, and often eclectic identity requirements of the Germantown district.

8.1 Design Standards

8.1.1 Signage should be placed in locations historically used for signage and should not obscure transoms, columns, cornices, decorative elements, or key architectural features.

8.1.2 Signs shall be of quality design and craftsmanship. Wood or painted metal are preferable materials. Low-grade plastics and synthetic materials are discouraged.

8.1.3 Awning signage is appropriate for non-residential structures. However, the size of the letters/graphics should not dominate the awning.

8.1.4 Signs shall be limited to on-premises signs related to the use or business conducted on the same site.

8.1.5 Well-designed hand-painted signs are permitted.

8.1.6 Well-designed permanent widow painted signs are permitted.

8.1.7 Abandoned, deteriorated, or damaged signs and sign posts shall be removed.

8.1.8 The number of signs permitted on a parcel shall be limited to the number of primary building entrances on the parcel plus one for each public street on which the parcel has frontage.

8.1.9 Signs for multiple tenant occupancies/multiple businesses shall be of similar material and design.

8.2 Signage not Permitted

8.2.1 No billboards or general advertising signs shall be permitted.

8.2.2 Marquee type signs for announcements of activities taking place at the location are prohibited (exceptions: churches, schools, and institutional use).

8.2.3 Rooftop signs are not permitted.

8.2.4 Off-site signs are not permitted.

8.2.5 Pole-mounted signs are not permitted.

8.3 Projecting, Blade & Wall Mounted Signs

Projecting signs shall be limited to one per property for each street frontage.

8.3.1 Projecting signs should be limited to an area of 16 square feet and should not project more than six feet from the building face. Maximum thickness should be limited to one foot. Their projection should be proportional to the design of the sign and appropriately scaled to the building.

8.3.2 Blade signs should not project more than three feet from the building and be no more than one story in height. They should be vertical in their design with a total maximum width of one foot.

8.3.3 One wall mounted sign per façade shall be allowed per business occupant. Wall mounted signs should be located between the first and second stories and have a maximum thickness of three inches.

8.3.4 Banners and flags that use placement, mounts, and materials compatible to the building may be used. Plastic is not an appropriate material.

8.4 Monument and Freestanding Signs

Monument and freestanding signs shall be permitted only when a building sits more than 20 feet from a public street.

8.4.1 Business signs shall be limited to one (1) sign for each street frontage per premises. Monument signs shall be limited to a height of 6', a thickness of 12", and a total area of 16'.

8.5 Sign Illumination

8.5.1 No sign that flashes, blinks, revolves, races, or is put in motion by the atmosphere shall be permitted. No visible bulbs, luminous paints, or plastics will be permitted as part of any new signs shall be either spotlighted, externally lit or backlit with a diffused light source.

8.5.3 Spotlighting should completely shield all light sources. Lights should be contained primarily within the sign frame.

8.5.4 Back-lighting should illuminate only letters, characters or graphics on the sign, not the sign background.

8.5.5 Neon is permitted only as lighting for channel letters on projecting and blade signs.

8.5.6 Buildings and signs may be illuminated by remote light sources, provided that these light sources are shielded to protect adjacent properties.

Background: The property located at 1416 Fourth Avenue North is a commercial building on a corner lot in the Germantown Neighborhood Conservation Zoning Overlay. In April of 2014, a front addition to the existing building was approved. The approved addition included the creation of a large elevated entry platform with split face concrete block retention walls.



Analysis and Findings:

The applicant is proposing to add fence and railing to the approved concrete block retention walls and two signs.

Fences & Walls

As the height of the solid masonry walls that support the railing and the materials of those walls were found to be appropriate in April, this application only evaluates the appropriateness of the fence to top those masonry walls.

There are three distinct areas of fence or railing proposed. The first fence is located on the Fourth Avenue (east) façade. It encloses a small front porch area (3 sides). The second fence is located on the Van Buren Street façade (north) and is only one long stretch of fence. These stretches of fence are punctuated by a one foot (1') wide brick piers every eight feet (8'). The third section is simply a metal support hand railing that wraps around the steps that lead from Fourth Avenue to the building's entrance.

The proposed fence is a black aluminum fence at a height of three feet and six inches (3' 6"). The applicant has submitted images of the proposed fence and hand rail. Staff finds the fence to be appropriate in design as the fence provides a transparency that does not add to the massing of the masonry walls (Figure 2).

Staff finds the fence and railing to meet section 5.1 of the design guidelines.

Signage

Two permanent signs are proposed for this building- a blade sign and a monument sign.

The blade sign is located on the north façade at the corner of the building seven feet (7') from the finished floor and is an appropriate location.

The monument sign faces Fourth Avenue North and is located on the first landing of the concrete stairs. This location is not a typical historic location for signage and doesn't meet the design guidelines for monument signs; however staff finds it to be appropriate as the sign is integrated into the design of the railing and the steep grade of the lot creates unique circumstances. The sign will be more visible to the pedestrian than the only other option which would be a wall sign. Therefore, Staff feels that the location of the sign at approximately three feet, six inches (3' 6") from grade is an appropriate location given the constraints of the lot.

Both signs are steel signs. The guidelines indicate that metal signs should be painted. Staff finds the use of un-painted steel to be appropriate as the unfinished metal will complement and blend with the fence and railings.

This project meets section 8.1 and 8.2 of the guidelines.

Projecting, Blade & Wall Mounted Signs

The proposed blade sign is approximately seven square feet (7 sq. ft.) and meets the guidelines as the maximum is sixteen square feet (16 sq. ft.). The blade sign also meets the guidelines for projection depth as the maximum projection is three feet (3') and this sign projects only one foot (1'). Thickness of the sign was not noted on the plans.

The monument sign is the same dimensions as the blade sign, seven feet (7') wide and one foot (1') tall. The thickness of this sign also is not indicated.

Staff finds the blade sign and the monument sign to meet section 8.3 with the condition that the widths of the signs be no more than three inches (3").

Sign Illumination

No lighting proposed for the blade sign.

Landscape lighting is proposed that would illuminate the railing sign. Provided that the lighting fixture is approved by staff prior to purchase and installation, the light be screened from public view, and the light is focused only on the monument sign, staff finds the installation of the fixture to meet section 5.4 and 8.5 of the design guidelines.

Staff recommends approval of the project with the conditions that:

- The widths of the signs be no more than three inches (3").
- The lighting fixture is approved by staff prior to purchase and installation, is screened from public view, and is focused only on the railing sign.

Meeting these conditions, Staff finds the project meets the design guidelines for the Germantown Historic Preservation Zoning Overlay.



Figure 2: Fence Style



Figure 3: Location of Signage



powellarchitects.com
615.320.5000
1006 Shelby Avenue
Nashville TN 37206

BUTCHERTOWN HALL
1416 4th Avenue North, Nashville TN
PERMIT SET

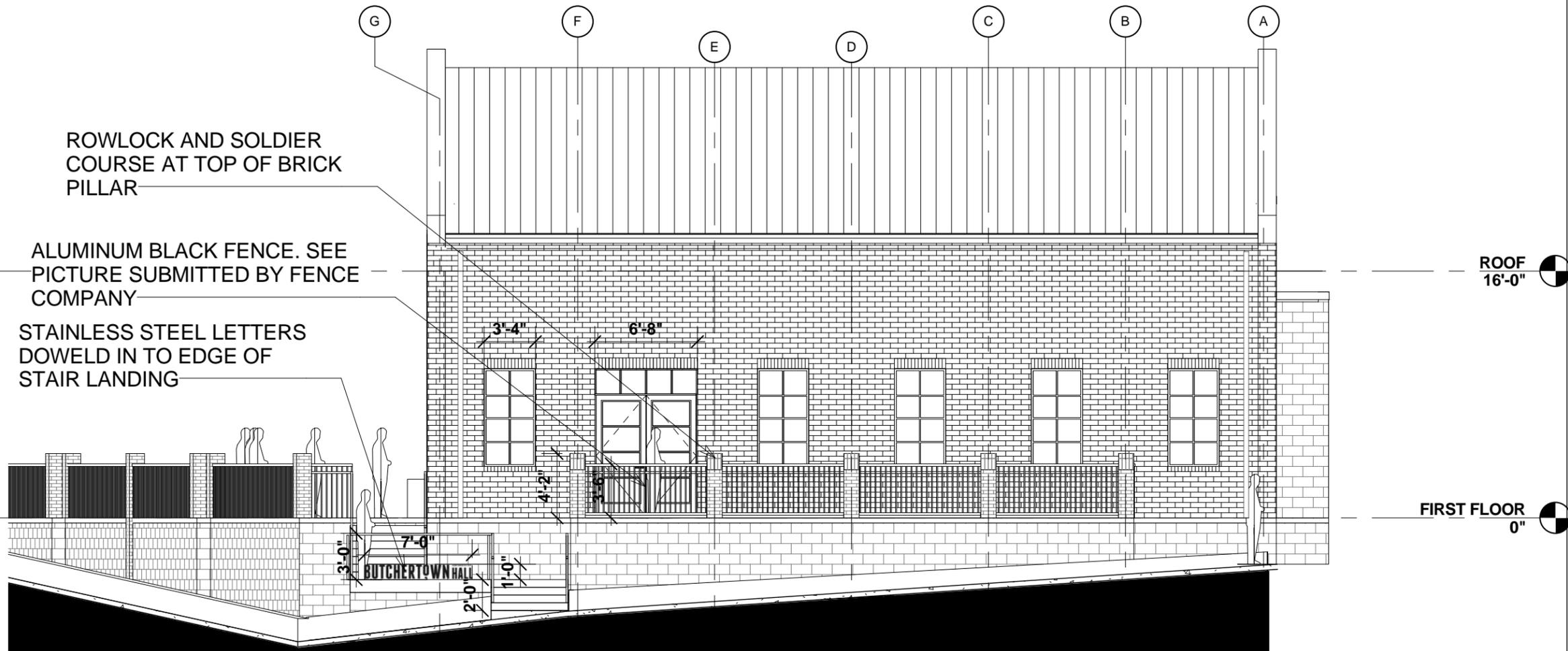
Project #:	13005
Project Architect:	Designer
Drawn by:	Author
Project Director:	Checker
Phase:	CD

Revision Schedule		
Rv #	Description	Rv Date

12.09.14



A200a
ELEVATION



ROWLOCK AND SOLDIER COURSE AT TOP OF BRICK PILLAR

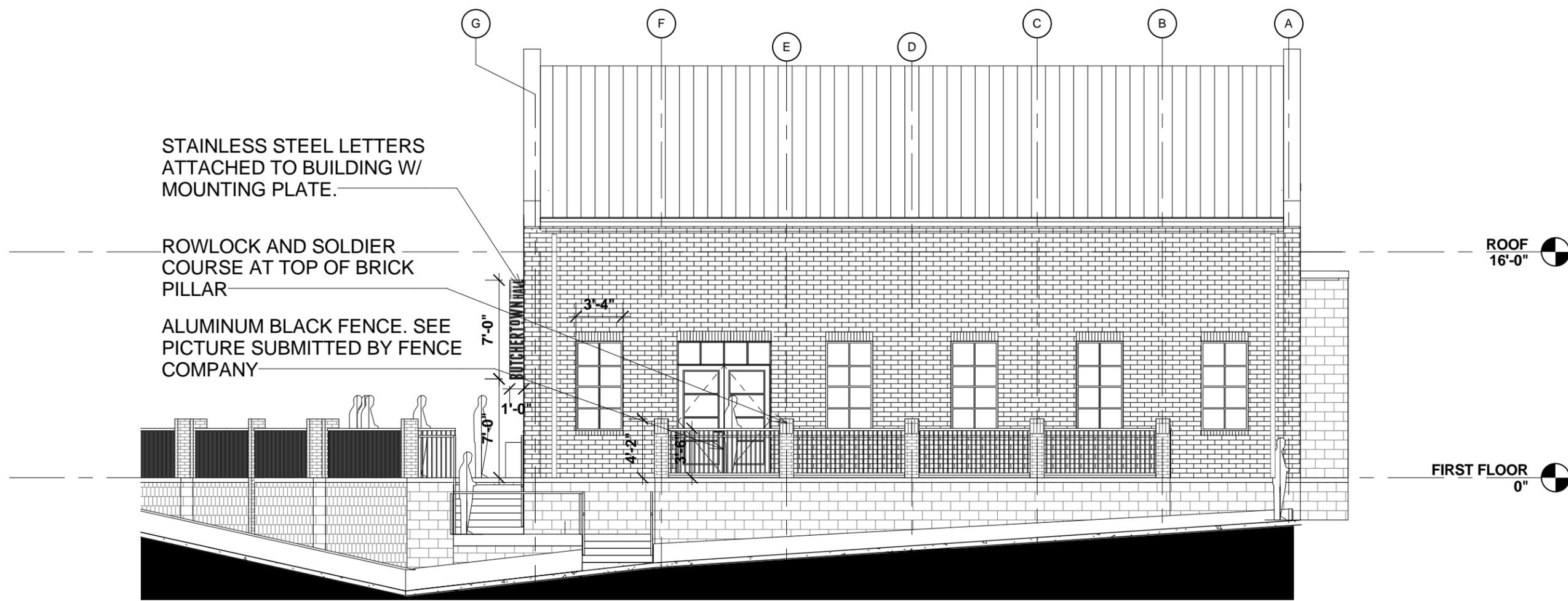
ALUMINUM BLACK FENCE. SEE PICTURE SUBMITTED BY FENCE COMPANY

STAINLESS STEEL LETTERS DOWELED IN TO EDGE OF STAIR LANDING

ROOF 16'-0"

FIRST FLOOR 0"

1 West Elevation-MDHA rev1
1/8" = 1'-0"



STAINLESS STEEL LETTERS
ATTACHED TO BUILDING W/
MOUNTING PLATE.

ROWLOCK AND SOLDIER
COURSE AT TOP OF BRICK
PILLAR

ALUMINUM BLACK FENCE. SEE
PICTURE SUBMITTED BY FENCE
COMPANY

7'-0"
1'-0"
7'-0"

3'-4"

4'-2"

3'-6"

ROOF
16'-0"

FIRST FLOOR
0"

G

F

E

D

C

B

A

BUTCHERTOWN HALL