



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1613 Eastland Avenue
January 21, 2015

Application: New construction – detached accessory dwelling unit
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08306022800
Applicant: Kody Holt, Middle TN Garage & Barn
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to construct a one and one-half story outbuilding at the rear of the lot. The upperstory of the building is being proposed to be used as living space.

Recommendation Summary: Because the Commission does not have the ability to alter the standards of the Metro Ordinance and in order to meet the design guidelines, Staff recommends approval of the proposed detached accessory dwelling unit with the conditions that:

- The building be designed to meet the requirements of the ordinance which state that the dormers should be no greater than fifty percent (50%) of the width of the roof plane and sit back from the wall below by at least two feet (2'); and
- The windows and doors are approved by Staff prior to purchase and installation.

With these conditions, Staff finds that the outbuilding meets the design guidelines for outbuildings in the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay and the requirements of Ordinance section 17.16.030.

Attachments
A: Photographs
B: DADU Worksheet
C: Site Plan
D: Elevations

Applicable Design Guidelines:

II.B. GUIDELINES

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure as measured from the finished floor to the eave, with a maximum eave height of 10' from finished grade for single-story and 17' from finished grade for two-story DADUs or outbuildings.*
- *The roof ridge height of the DADU or outbuilding must be less than the principal building, as measured from the finished floors to the ridges and shall not exceed 25' feet from finished grade in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

· The lot area on which a DADU is placed shall comply with Table 17.12.020A.

· The DADU may not exceed the maximums outlined previously for outbuildings.

· No additional accessory structure shall exceed two hundred square feet when there is a

· DADU on the lot.

Density.

· A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.

Ownership.

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
- b. The DADU cannot be divided from the property ownership of the principal dwelling.
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
- Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

Bulk and Massing.

- The living space of a DADU shall not exceed seven hundred square feet.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

Background: 1613 Eastland Avenue is a one and one-half story bungalow, constructed circa 1930. Because of its age and typical Craftsman style architectural features, it is considered to be a contributing house to the historic character of the neighborhood.



Analysis and Findings: The applicant proposes to construct a one and one-half story outbuilding at the rear of the lot. The upperstory of the building is being proposed to be used as living space.

New Construction - Outbuildings:

The proposed outbuilding would be one and one-half stories tall with a two-car garage on the ground-level and a finished living space in the upperstory. The building is intended to be used as a Detached Accessory Dwelling Unit.

Because the proposed outbuilding will include a residential use, in addition to meeting the design guidelines for outbuildings it must also meet the standards of ordinance 17.16.030 for a Detached Accessory Dwelling Unit. The proposal meets all of the standards and design guidelines expect for those pertaining to dormers. Please see

attachment B for an analysis of the outbuilding, and an analysis of the material and dormers below.

Materials: The outbuilding will be clad with smooth-faced cement-fiber siding with a five inch (5”) reveal, and an asphalt shingle roof matching the color of the roof on the principal building. The material of the windows and doors is not known at this time, therefore Staff recommends a condition that Staff provide final review.

Dormers: The dormers on the proposed outbuilding are proposed to be ninety-percent (90%) of the width of the roof, which is greater than the fifty-percent (50%) allowed by the design guidelines and the standards of the ordinance. Additionally, the dormers would not sit back from the first story wall by two feet (2’) as is required by the design guidelines and the standards of the ordinance.

Staff finds that the project does not meet Standard 8.c. of section 17.16.030 for DADU requirements and section II.B.1.i of the design guidelines.

Recommendation:

Because the Commission does not have the ability to alter the standards of the Metro Ordinance and to meet the design guidelines, Staff recommends approval of the proposed detached accessory dwelling unit with the conditions that:

- The building be designed to meet the requirements of the ordinance which state that the dormers should be no greater than fifty percent (50%) of the width of the roof plane and sit back from the wall below by at least two feet (2’); and
- The windows and doors are approved by Staff prior to purchase and installation.

With these conditions, Staff finds that the outbuilding meets the design guidelines for outbuildings in the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay and the requirements of Ordinance section 17.16.030.



1613 Eastland Avenue, Bird's-eye view from rear.



1613 Eastland Avenue from street.

PLANNING YOUR GARAGE OR DETACHED ACCESSORY DWELLING UNIT IN A HISTORIC OVERLAY



A Detached Accessory Dwelling Unit (DADU) is different from an “outbuilding” because of its use as a dwelling unit—living space. If an outbuilding has a full bath and full kitchen, the Codes Department will consider the building a DADU. This guidance includes the standards for a DADU as well as guidance for outbuildings. They are essentially the same but there are additional requirements if the use is planned to be a DADU.

1. The lot area on which a DADU is placed shall comply with Table 17.12.020A.
2. There may be lot conditions that will allow for outbuildings larger than the maximums included here; however, if a DADU is proposed, the building shall not exceed the maximums, as required by the ordinance allowing for DADUs. (17.16.030.F)
3. No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.
4. Density.
 - a. A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.
 - b. Outbuildings for duplexes/horizontal property regimes shall not exceed the requirements for outbuildings for the entire lot and shall not be doubled.
- c. DADU Ownership.
 - a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
 - b. The DADU cannot be divided from the property ownership of the principal dwelling.
 - c. The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
 - d. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here. Instructions for filing and form may be found here: www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx

5. Setbacks & Site Requirements.

- a. A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore shall be placed to the rear of the lot.
- b. There should be a minimum separation of twenty feet (20') between the principal structure and the DADU or outbuilding.
- c. A DADU or outbuilding on an interior lot may be minimally 3' from each property line, with the exception of corner lots where the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10'.

6. Driveway Access.

- a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

7. Bulk and Massing.

- a. Max Living Space for DADU: 700 square feet
- b. Footprint max for lots less than 10,000 square feet and single-story: 750 square feet or 50% of the first floor area of the principal structure, whichever is less.
- c. Footprint max for lots less than 10,000 square feet and two-story: 550 square feet or 40% of the first floor area of the principal structure, whichever is less.
- d. Footprint max for lots larger than 10,000 square feet: 1000 square feet
- e. Max height & Massing: No taller (measured from finished floor to ridge) or wider than the principal structure on the lot. Not to exceed 25' from grade.
- f. Maximum Eave Heights:
 - a. Single story: 10' from finished grade
 - b. Two story: 17' from finished grade

8. Design Standards.

- a. Stairs shall be enclosed
- b. Style and Design.
 - a. Interior lots: DADUs or out buildings may be of similar style, design and material color as used for the principal structure or may be utilitarian in design.
 - b. Corner lots: DADUs or out buildings should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- c. The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane.

OUTBUILDING/DADU WORK SHEET

The following worksheet serves as a guide to facilitate the approval process for construction of outbuildings and DADUs. Completing the following tables will help determine if your proposed project meets the basic requirements defined by the design guidelines. After completion of the worksheet, reference the specific zoning overlay’s design guidelines for additional design requirements.

Section I: General requirements for DADUs and Outbuildings

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?		No
If dormers are used, do they sit back from the wall below by at least 2’?		No
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

Section II: General Requirements for DADU

If the accessory building does not include a dwelling unit skip this section and go to Section III. If the accessory building is to include a dwelling unit (full bathroom and/or kitchen), the answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn’t zoned two-family or doesn’t have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?		No
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

*Note: A restrictive covenant must be filed for DADUs before the permit may be issued. For more information, visit <http://www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx>

Section III: Site Planning

To determine the appropriate location of the outbuilding or DADU, complete the information below for “proposed” and compare to the minimums allowed.

	MINIMUM	PROPOSED
Space between principle building and DADU/Garage	20'	50'
Rear setback	3'	20'
L side setback**	3'	25'
R side setback**	3'	5'
How is the building accessed?	From the alley or existing curb cut	Rear/Alley

**If the lot is a corner lot, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10'.

Section IV: Massing Planning

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the right)
Ridge Height	25'	25'	22'
Eave Height	12'	1 story 10' or 2 story 17'	9'

To determine the maximum allowed square footage of the accessory building, complete the table below and choose the lesser number.

One-story building:

	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1,000 sq. ft.	740	616

Or

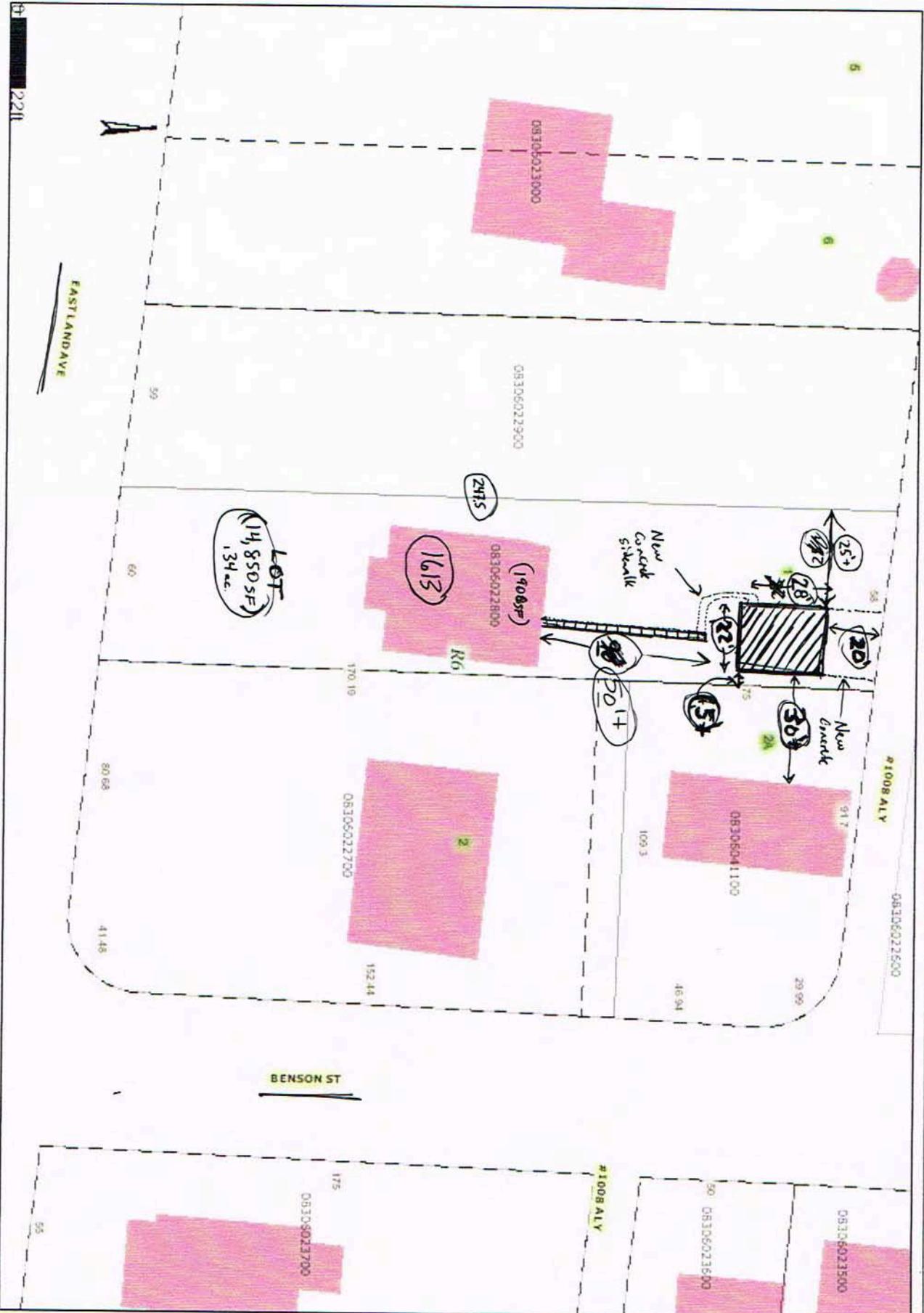
Two-story building:

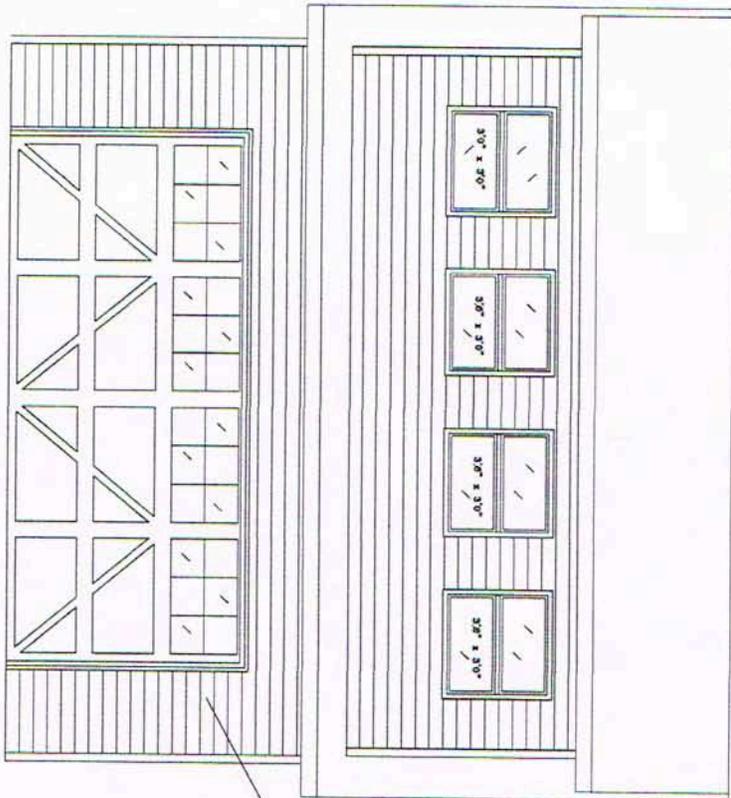
	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet	40% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	550 sq. ft.	1,000 sq. ft.		

Please ask staff about any unusual lot conditions that do not allow an outbuilding to meet any of these requirements.

Please see design guidelines for information about materials and detailing.

Leinbach Site Plan





16'x7' Garage Door

Alley Elevation

5" Fiber Cement Board Siding

Scale: NTS
 Job no.: Leinbach
 Date: 3 of 7

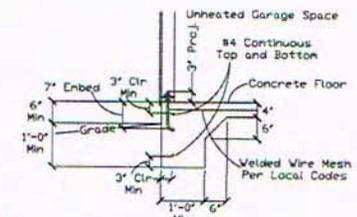
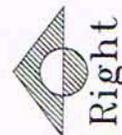
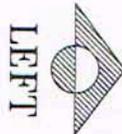
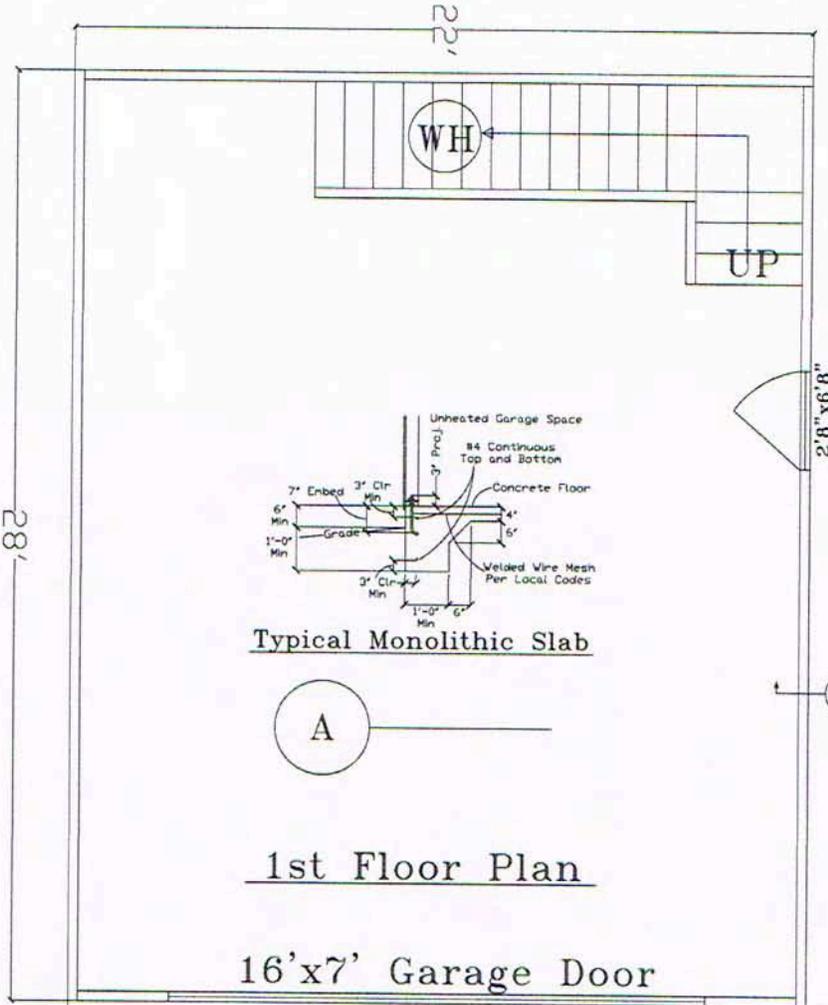
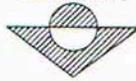
Sharon Leinbach
 1613 Eastland Ave. Nashville, TN 37206
 Leinbach Garage

Drawing	Drawn by	Date
Original	PS	11/18/14
Rev. 1	PS	12/09/14
Rev. 2		
Rev. 3		
Rev. 4		

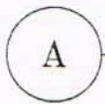
SOUTHERN GARAGE BUILDERS
 3383 Tyree Springs Rd
 Hendersonville, TN 37075
 PH: (615) 724-1444

Drawing Status
 Preliminary
 Construction

FACES HOUSE
REAR



Typical Monolithic Slab



1st Floor Plan

16'x7' Garage Door

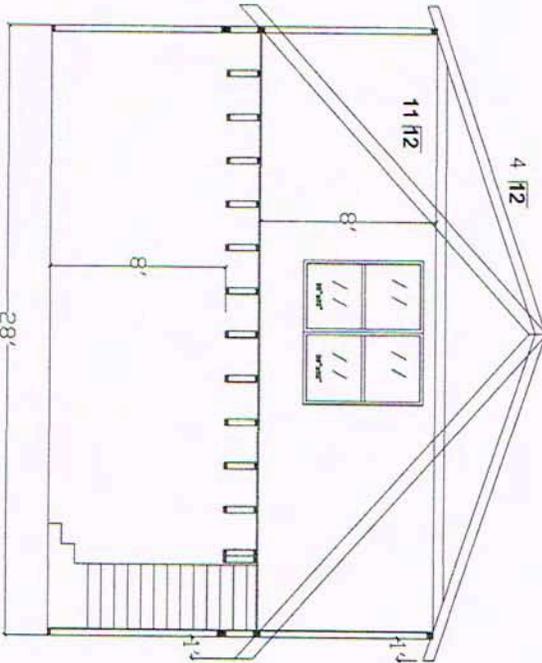
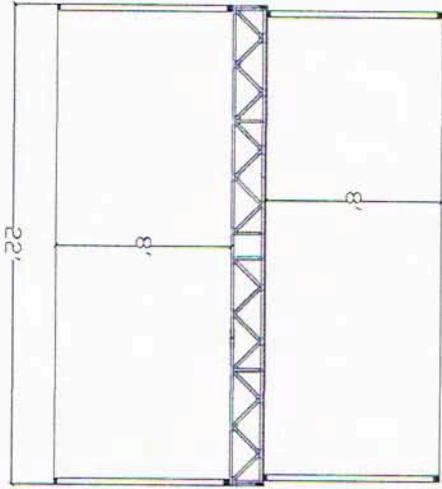
22'x20' Concrete Pad



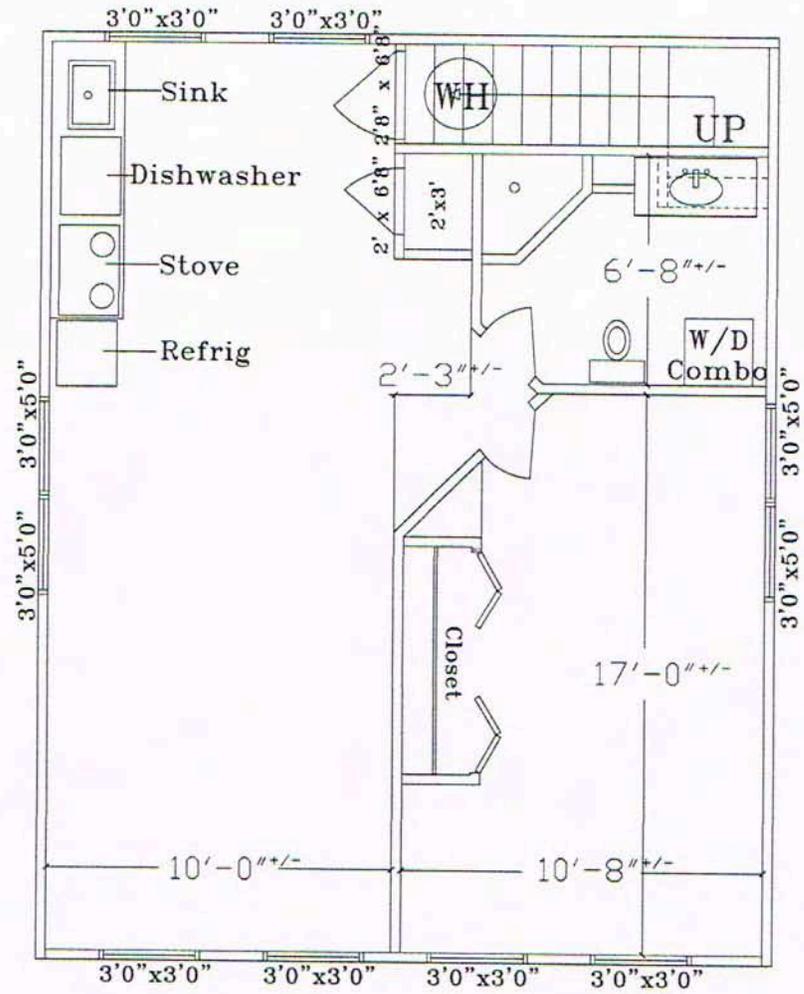
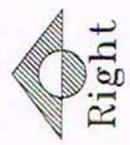
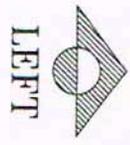
Front
FACES ALLEY

1st Floor Plan

Drawing	Drawn by	Date
Original	PS	11/18/14
Rev. 1	PS	12/09/14
Rev. 2		
Rev. 3		
Rev. 4		



Cross Section



2nd Floor Plan