

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1306 Beechwood Avenue
October 21, 2015

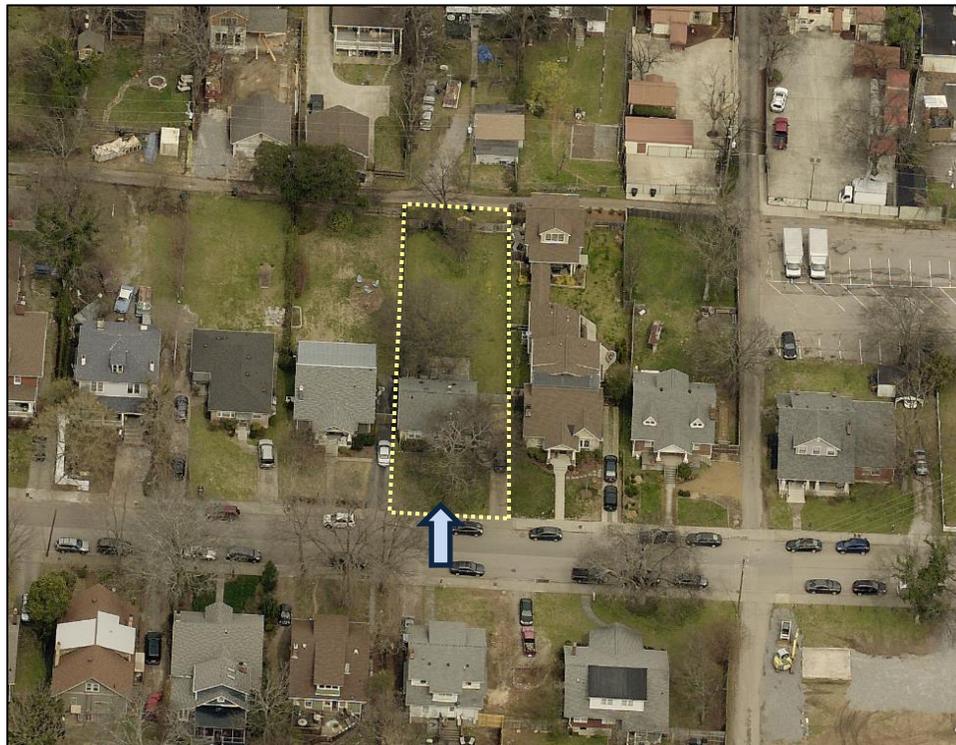
Application: New construction - addition
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10513013100
Applicant: Sandi Adams, Designer
Project Lead: Sean Alexander, sean.alexander@nashville.gov

<p>Description of Project: To construct a two-story addition to a one and one-half story house. The addition will be three feet, six inches (3'-6") taller than the historic house, but the side walls will be stepped in two feet (2') from the sides.</p> <p>Recommendation Summary: Staff recommends approval of the proposed addition to 1306 Beechwood Avenue with the condition that the windows and doors are approved prior to purchase, finding the addition to meet the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Photographs B: Site Plan D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks..*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually

compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

II.B.2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic

structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions should be a minimum of 6" below the existing ridge.

In order to assure that an addition has achieved proper scale, the addition should:

No matter its use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.

· Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.

· Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:

· An extreme grade change

· Atypical lot parcel shape or size

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building.

In this instance, the side walls and roof of the addition must set in as is typical for all additions.

The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Side Additions

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

f. Additions should follow the guidelines for new construction.

Background: 1306 Beechwood Avenue is a one and one-half story house with a stone-venered first story and stucco in the gable fields above. The house was constructed circa 1930 and has features of the Craftsman and Tudor Revival architectural styles. Because of its age and character, it is considered to be a contributing structure to the overlay.

Analysis and Findings: The applicant proposes to construct a ridge raise and two-story rear addition, sitting the walls of the addition in from the sides of the historic house.

Location & Removability:

The addition will extend the front slope of the roof up and to the rear creating a new ridge two feet (2') higher than the existing roof. The raised roof portion will be stepped two feet (2') in from the sides of the existing roof, retaining the eaves as an indication of the original side-gabled form. From the new higher ridge and extending back to the rear will be a one and one-half story addition. On the first story, both side walls of the addition will step in from the sides of the house by two feet (2').

Staff finds the connection of the addition to the historic house to be appropriate and to meet sections II.B.2.a and II.B.2.e of the design guidelines.

Design:

The addition will step in from the sides of the house by two feet (2') on both sides, helping to distinguish the new construction from the historic house. After extending back seven feet, six inches (7'-6") the addition will step back in line with the side of the original house on the right side, but the upperstory gable wall will remain set two feet (2'). The addition does not step back out on the left side.

The addition will reflect the character of the historic house with a similar side-gabled form and compatible exterior materials. Staff finds that the project will meet sections II.B.2.a and II.B.2.f. of the design guidelines.

Materials:

No changes to the historic house's materials were indicated on the drawings. The addition will be clad with smooth-faced cement fiberboard with a four inch (4") reveal on the first story with cement-fiber panel siding with battens in the upperstory. The trim will be wood or cement-fiberboard. The foundation will be split-faced concrete and the roof will be architectural fiberglass shingles in a color to match the existing roof. The windows and doors have not been determined, and staff asks to approve the final window and door selections prior to purchase and installation. With the staff's final approval of the windows and doors, staff finds that the known materials meet section II.B.1.d of the design guidelines.

Roof form:

From the new roof ridge, raised two feet (2') from the existing ridge, the addition will extend back twenty feet (20') and then rise an additional eighteen inches (18"). Altogether the addition will be three feet, six inches (3'-6") taller than the original

building. Because the addition is stepped in two feet (2') from the sides of house and the height increases over forty feet (40') back from the front of the building, Staff finds that its impact and visibility will be minimal. Staff finds the proposed addition will meet section II.B.1.e of the design guidelines.

Proportion and Rhythm of Openings:

No changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities:

No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. The project meets section II.B.1.h of the design guidelines.

Recommendation:

Staff recommends approval of the proposed addition to 1306 Beechwood Avenue with the condition that the windows and doors are approved prior to purchase, finding the addition to meet the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



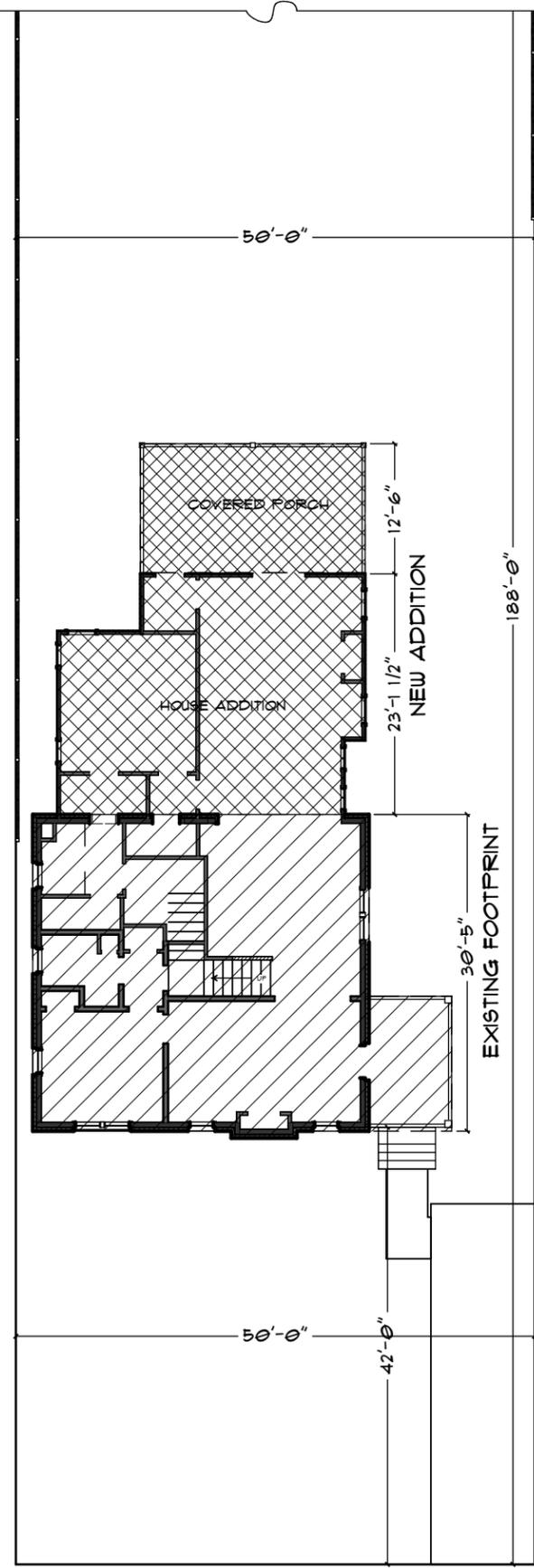
1306 Beechwood Avenue, front-right.



1306 Beechwood Avenue, front-left.

PLAN NOTES:

- IMPORTANT:** THIS PLAN HAS BEEN CUSTOM DESIGNED FOR THE SPECIFIC LOT AT THE ADDRESS LISTED IN THE TITLE BLOCK. THIS PLAN MAY NOT BE REPRODUCED ON ANY OTHER LOT. FOR REPRODUCTION RIGHTS OR CHANGE OF ADDRESS, CONTACT SANDI ADAMS.
- SQ. FOOTAGE:** SQUARE FOOTAGE IS CALCULATED FROM OUTSIDE FACE OF EXTERIOR STUDS. CANTILEVERS, INCLUDING FIREPLACES ARE INCLUDED IN SQUARE FOOTAGE. INTERIOR STAIRS ARE ONLY COUNTED ONCE.
- DIMENSIONS:** EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL STUD TO OUTSIDE OF WALL STUD. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR WALLS:** ALL EXTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- INTERIOR WALLS:** ALL INTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- PLUMBING WALLS:** ALL PLUMBING WALLS TO BE 2X6 @ 16" O.C. AND ARE NOTED ON PLAN.
- ANGLED WALLS:** ALL ANGLED WALLS ARE AT A 45° INCREMENT UNLESS OTHERWISE NOTED.
- FRAMING:** FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED, AND TO BE REVIEWED AND VERIFIED BY LUMBER SUPPLIER AND BUILDER.
- INTERIOR DOORS:** DOOR HEIGHTS MAY VARY AND WILL BE NOTED ON PLAN. ALL DOORWAY OPENINGS ON PLAN TO BE CASED OPENINGS UNLESS OTHERWISE NOTED.
- EMRGNCY EGRESS:** AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF NO LESS THAN 5.7 SQ. FT. W/ THE SILL HGT BEING NO MORE THAN 44" MAX A.F.F.
- PATHWAYS:** THERE IS A 36" MIN. CLEARANCE AT ALL HALLWAYS, STAIRWAYS, TO KITCHEN ISLANDS, ETC.
- CEILING HGTS:** CEILING HEIGHTS VARY PER PLAN. REFER TO FLOOR PLANS AND ELEVATIONS FOR HEIGHTS. ALL HEATED AREAS TO HAVE A FINISHED CLG HEIGHT OF 8'-0" MIN. UNLESS OTHERWISE NOTED.
- HEADER HGTS:** WINDOW HEADERS TO BE PLACED @ 6'-10" UNLESS OTHERWISE NOTED.
- ATTIC ACCESS:** PROVIDE ATTIC ACCESS AS NOTED ON PLAN. TYPICALLY A PULL DOWN STAIR (PDS) ON THE SECOND FLOOR.
- HVAC:** RETURN AIR LOCATION(S) TO BE VERIFIED BY HVAC SUPPLIER.
- EXTERIOR STEPS:** NUMBER OF EXTERIOR STEPS SHOWN AT ANY EXIT OR PORCH ARE APPROX. AND MAY VARY PER LOT.
- SELECTION ITEMS:** SELECTION ITEMS SHOWN ARE FOR REFERENCE ONLY. APPLIANCE SIZES, CABINET SIZES, WINDOW GRID PATTERNS, BUILT-INS, ETC. TO BE DETERMINED BY BUILDER. ALL EXTERIOR COLOR SELECTIONS BY BUILDER. ALL INTERIOR SELECTIONS, SUCH AS HARDWOOD TYPE AND STAIN COLOR, PAINT COLORS, DOOR STYLES, GRANITE, ETC. BY BUILDER.
- ELEVATIONS:** ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. APPROX. GRADE, EXTERIOR STEPS, COLORS, AND MATERIAL LOCATIONS MAY VARY PER BUILDER.
- GRADE:** LOT GRADE AND SLOPE NOTED ON PLAN ARE APPROXIMATE. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY HOUSE HEIGHT RESTRICTIONS.



**PROPOSED LOT LAYOUT
NOT TO SCALE**

FOUNDATION PLAN NOTES:

- CRAWL SPACE ACCESS AND VENTS TO BE LOCATED ON SITE.
- PIERS ARE 16" X 16" CONCRETE BLOCK W/ 24" X 24" SLAB FOOTER (MIN) NUMBER OF PIERS FOR THIS PLAN = 28, AND 1 HALF PIERS.
- TYPICAL BEAMS USED ARE (3) 2 X 12'S, DROPPED GIRDERS @ 1/2"
- FLOOR SYSTEM SPACING AND JOIST DIRECTIONS ARE NOTED ON PLAN.
- FLOOR SYSTEM TYPICALLY DESIGNED W/ 2 X 10'S @ 16" O.C. UNLESS OTHERWISE NOTED.
- APPLIANCES AND FIXTURES SHOWN ARE LOCATED ON THE FLOOR ABOVE.
- CONCRETE PAD FOR HVAC TO BE 5' X 10'. SHOWN PAD LOCATION MAY VARY OR CHANGE ON SITE.

**1306 BEECHWOOD
EXISTING SQUARE FOOTAGE:**

1ST FLOOR:	1056
2ND FLOOR:	438
TOTAL HEATED S.F.:	1494
PORCH:	100
TOTAL UNDER ROOF S.F.:	1594

NEW SQUARE FOOTAGE:

1ST FLOOR:	1697
2ND FLOOR:	1085
TOTAL HEATED S.F.:	2782
FRONT PORCH:	100
REAR PORCH:	269
TOTAL UNDER ROOF S.F.:	3151

CONSTRUCTION SQUARE FOOTAGE:

1ST FLOOR DEMO AREA:	520
1ST FLOOR ADDITION:	641
2ND FLOOR DEMO AREA:	438
2ND FLOOR ADDITION:	735

CUSTOMER REVIEWED AND APPROVED PLANS

CUSTOMER SIGNATURE: _____
 CUSTOMER SIGNATURE: _____
 BUILDER SIGNATURE: _____
 DATE: _____

ANY REQUESTED CHANGES TO PLAN AFTER THIS DATE WILL REFLECT A DESIGN FEE.

*SELECTION ITEMS SHOWN ON PLAN ARE FOR REPRESENTATION ONLY. PRODUCT MAY VARY BASED ON SELECTION AND/ OR BUDGET.

TODAY'S DATE:
10/5/2015

ORIG. DATE:
HISTORICAL PRELIM: 10/2/15
HISTORICAL PLANS REV.: 10/5/15
HISTORICAL SUB: 10/5/15

HISTORICAL PLANS REV.:

CONSTRUCTION DRAWINGS:

DRAWN BY:
SANDI ADAMS

PREPARED FOR: MICAH LACHER AND DAVID DORRIS

SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

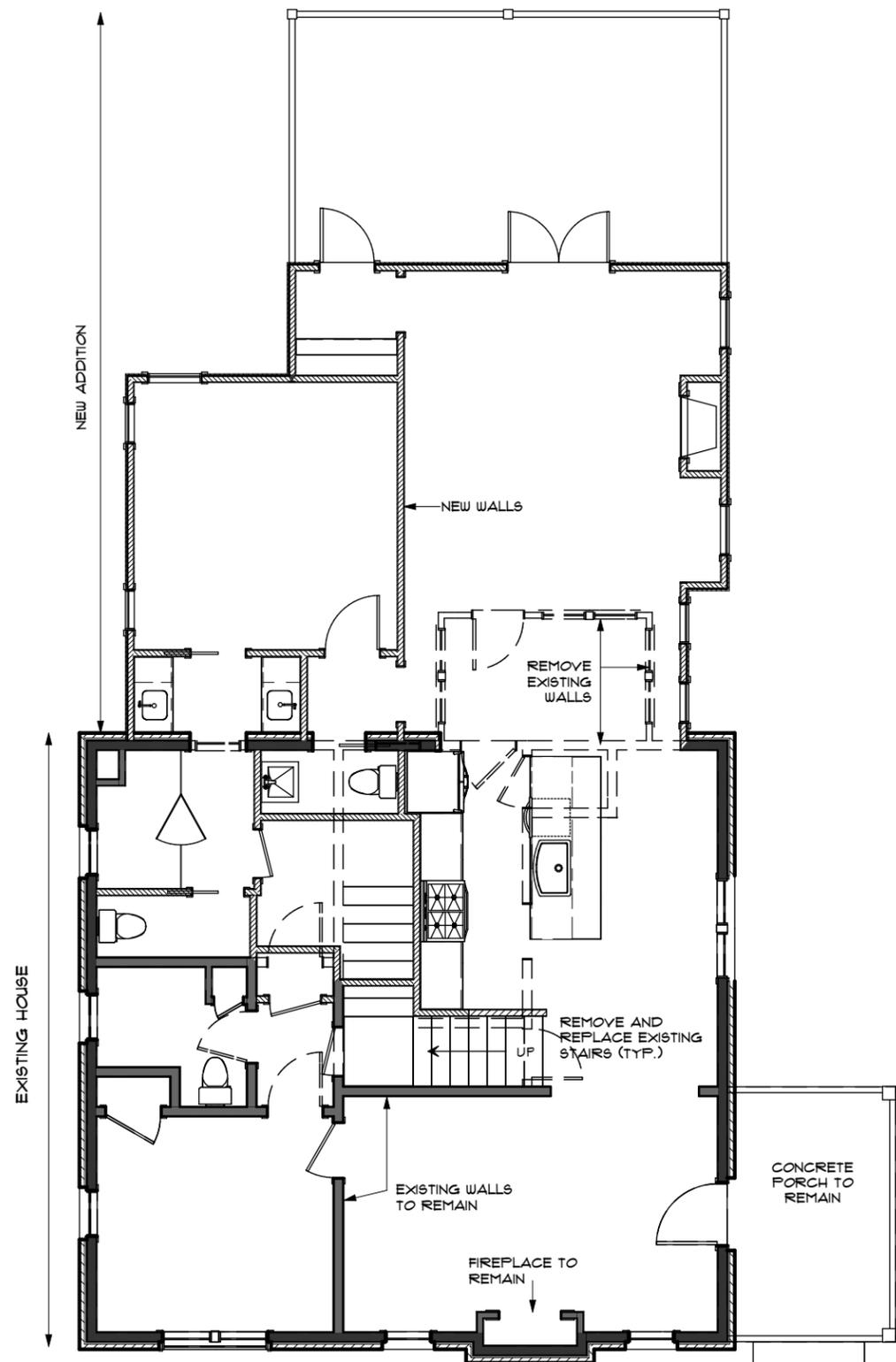
SITE ADDRESS: 1306 BEECHWOOD AVE.
HOUSE PLAN: HISTORICAL ADDITION



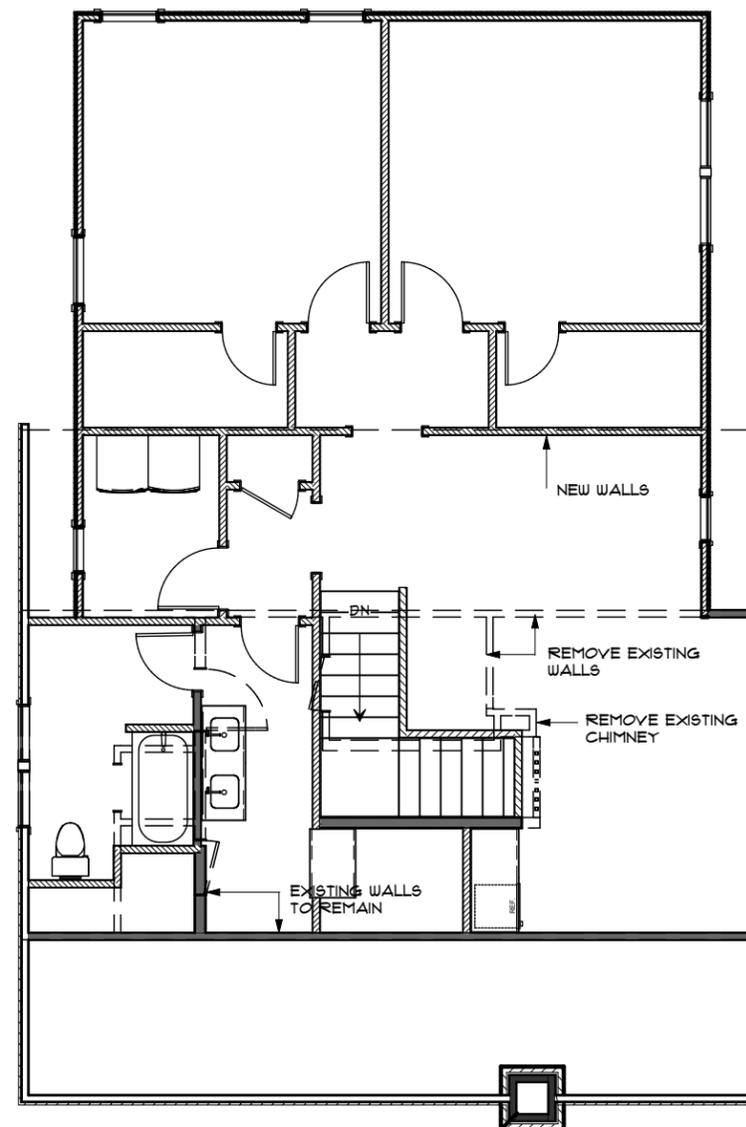
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SITE PLAN

SHEET NO.:
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FIRST FLOOR DEMO PLAN



SECOND FLOOR DEMO PLAN

TODAY'S DATE:
10/5/2015

ORIG. DATE:
HISTORICAL PRELIM.: 10/2/15
HISTORICAL PLANS REV.: 10/5/15
HISTORICAL SUB.: 10/5/15

HISTORICAL PLANS REV.:

CONSTRUCTION DRAWINGS:

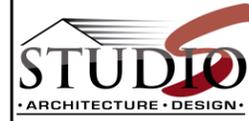
THESE PLANS ARE PROTECTED FROM PLAGIARISM. ANY USE, REUSE, REPRODUCTION OR USE FOR CONTRACTING OR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF SANDI ADAMS WILL BE PROSECUTED.

DRAWN BY:
SANDI ADAMS

PREPARED FOR: MICAH LACHER AND DAVID DORRIS

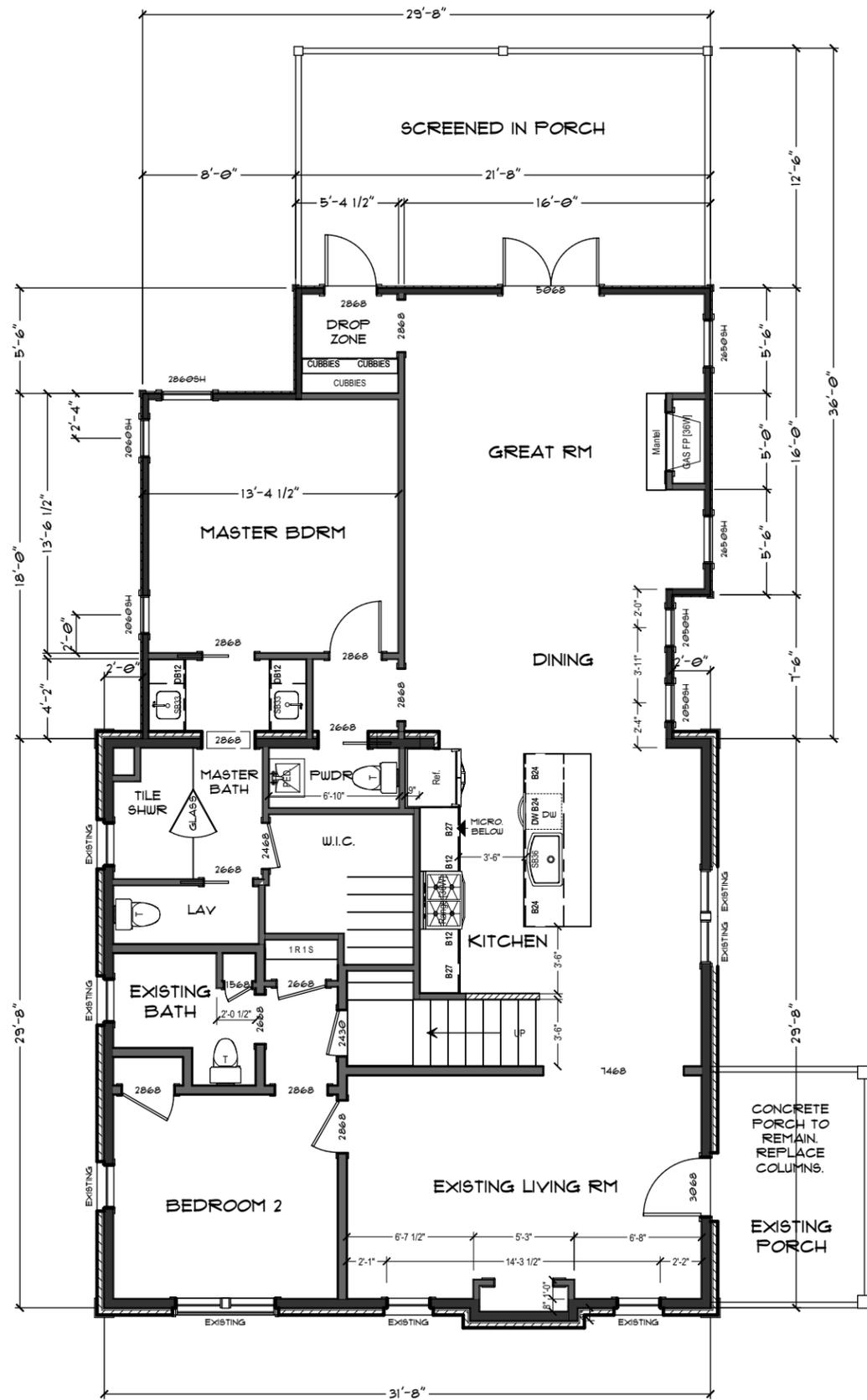
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24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: HISTORICAL ADDITION
SITE ADDRESS: 1306 BEECHWOOD AVE.

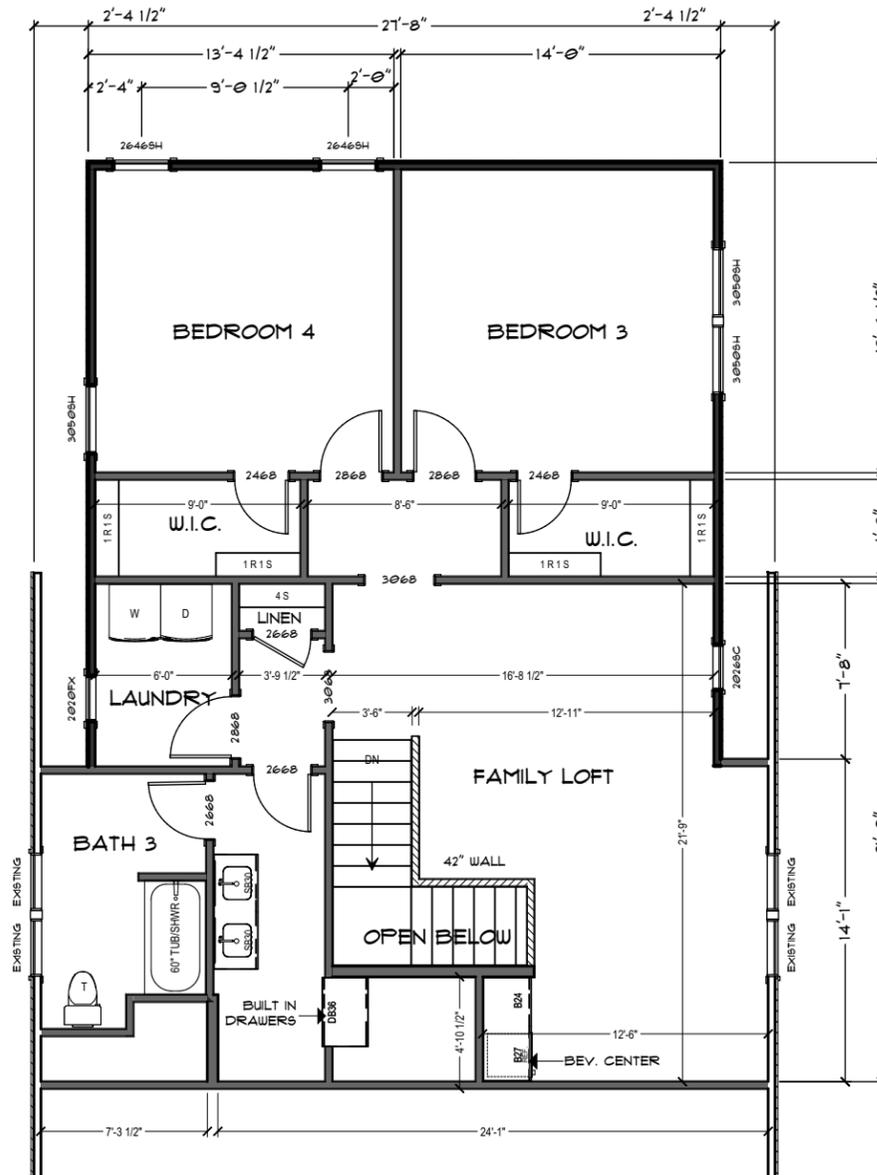


DEMO PLAN

SHEET NO.:
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PROPOSED FIRST FLOOR



PROPOSED SECOND FLOOR

TODAY'S DATE:
10/5/2015

ORIG. DATE:
HISTORICAL PRELIM.:
10/2/15
HISTORICAL PLANS REV.:
10/5/15
HISTORICAL SUB.: 10/5/15

HISTORICAL PLANS REV.:

CONSTRUCTION DRAWINGS:

DRAWN BY:
SANDI ADAMS

PREPARED FOR: MICAH LACHER AND DAVID DORRIS

SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

HISTORICAL ADDITION

HOUSE PLAN: HISTORICAL ADDITION
SITE ADDRESS: 1306 BEECHWOOD AVE.



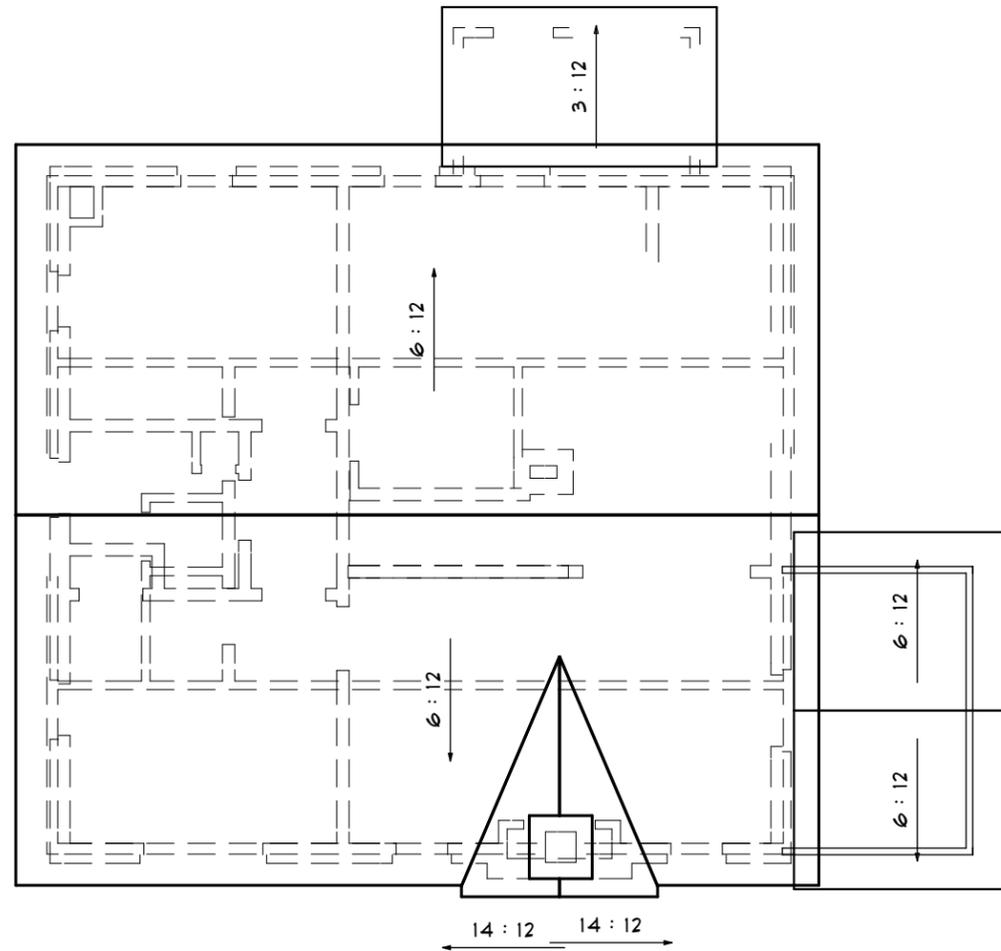
PROPOSED

1ST FLOOR

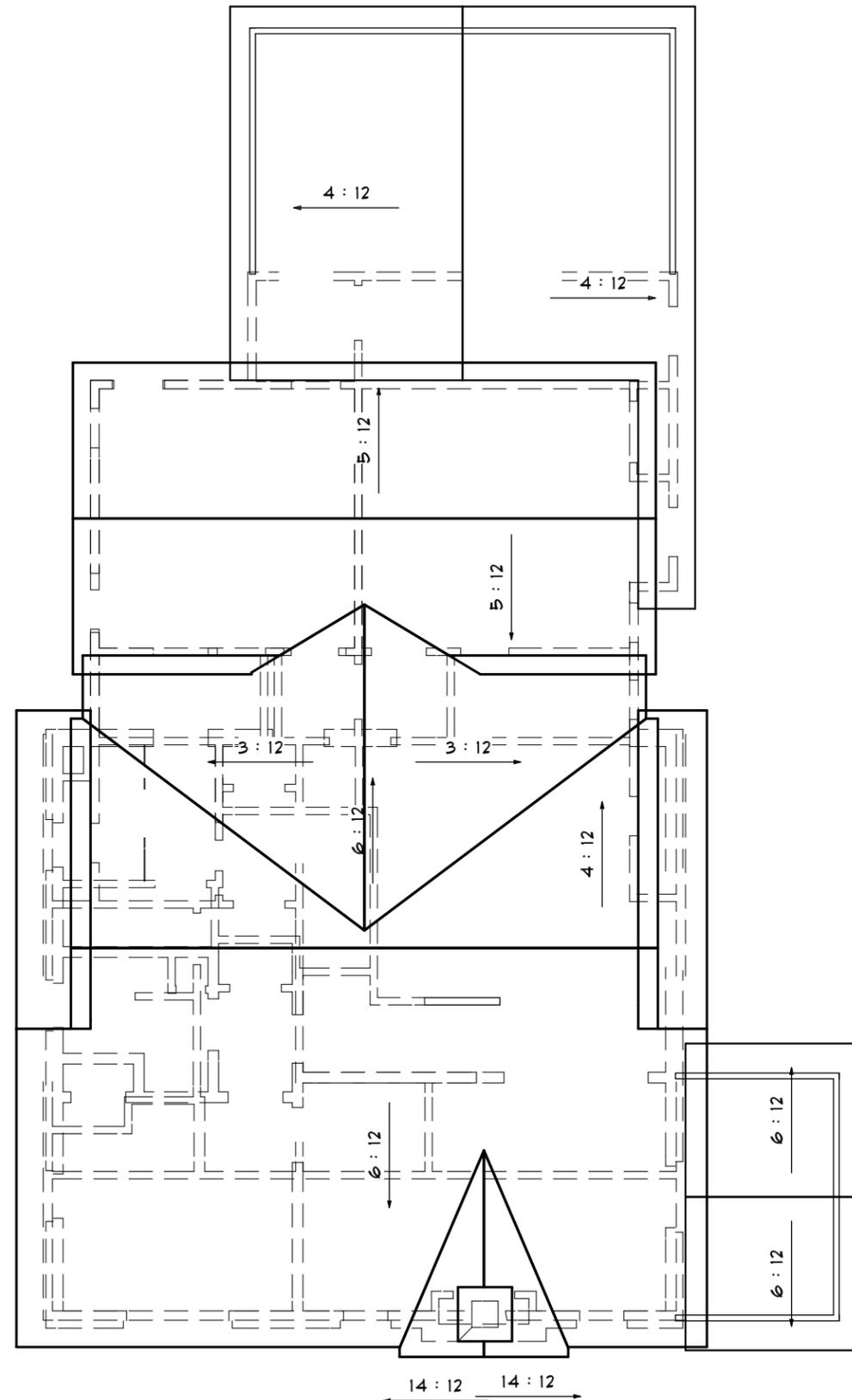
2ND FLOOR

SHEET NO.:

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EXISTING ROOF PLAN



PROPOSED ROOF PLAN

TODAY'S DATE:
10/5/2015

ORIG. DATE:

HISTORICAL
PRELIM:
10/2/15

HISTORICAL
PLANS REV.:
10/5/15

HISTORICAL
SUB: 10/5/15

HISTORICAL
PLANS REV.:

CONSTRUCTION
DRAWINGS:

DRAWN BY:

SANDI ADAMS

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PREPARED FOR: MICAH LACHER AND DAVID DORRIS

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HOUSE PLAN: HISTORICAL ADDITION
SITE ADDRESS: 1306 BEECHWOOD AVE.



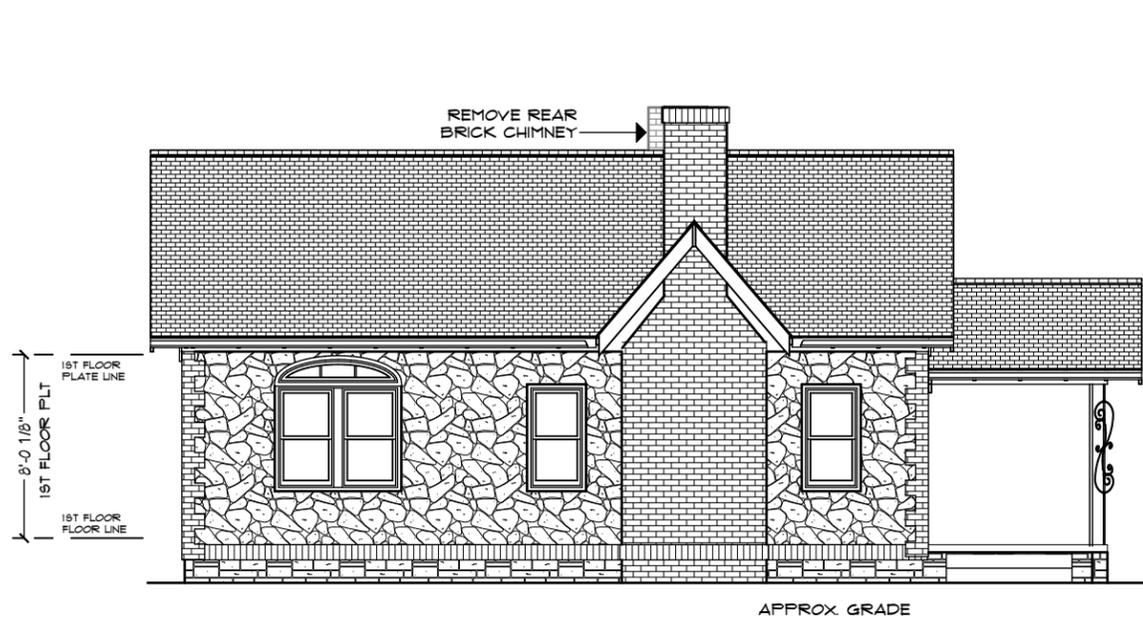
EXISTING

PROPOSED

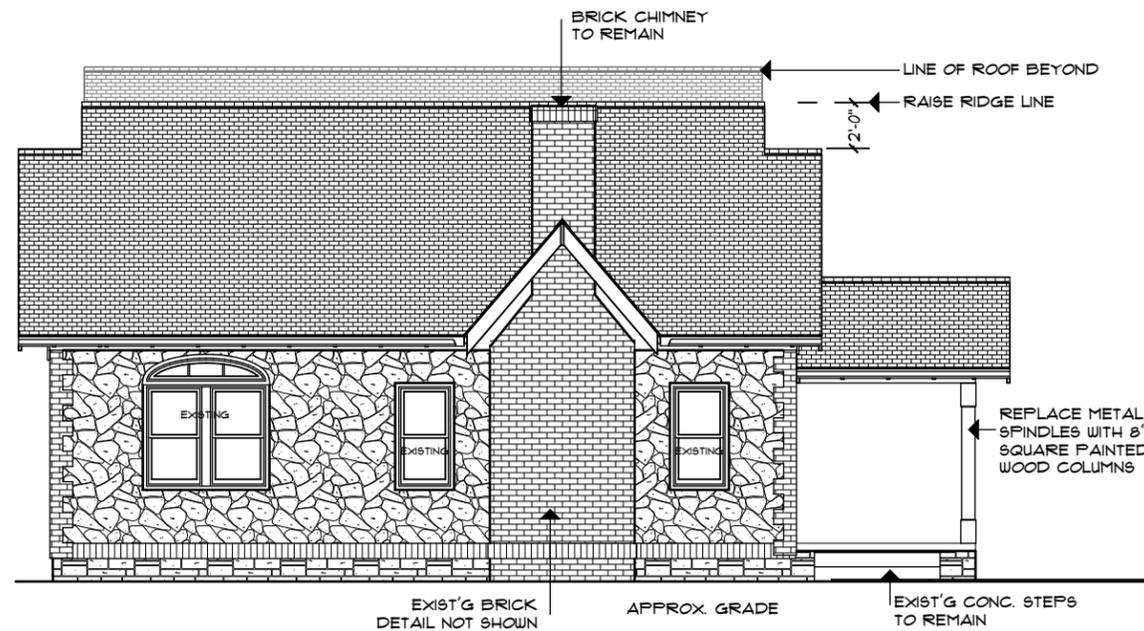
ROOF PLAN

SHEET NO.:

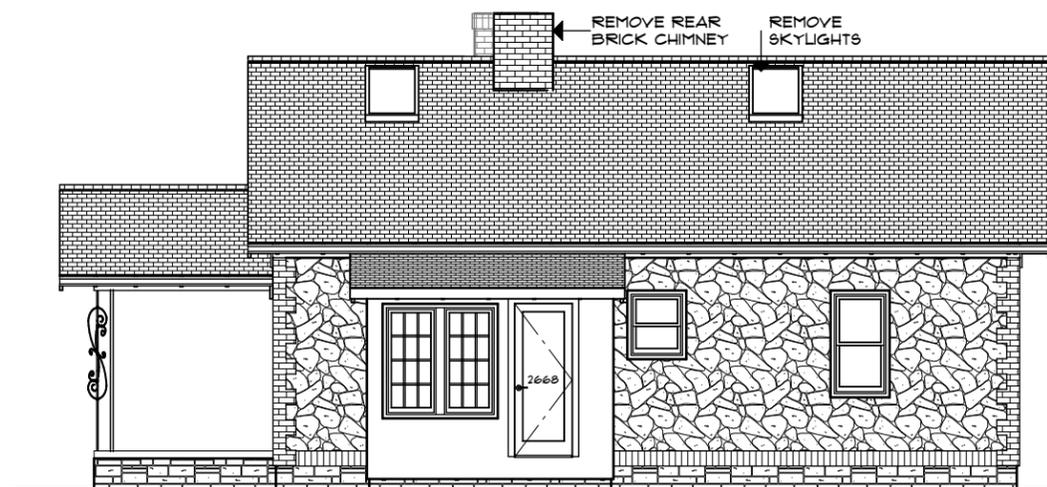
Page #
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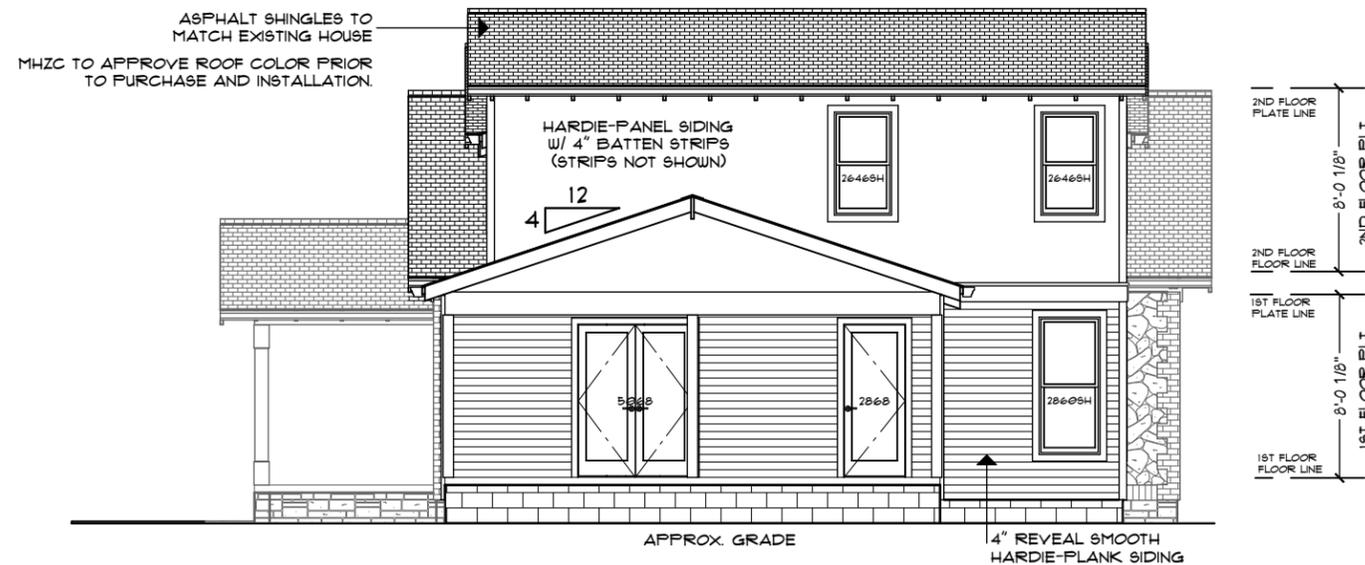
EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

TODAY'S DATE:
10/5/2015

ORIG. DATE:
HISTORICAL PRELIM:
10/2/15
HISTORICAL PLANS REV.:
10/5/15
HISTORICAL SUB: 10/5/15

HISTORICAL PLANS REV.:

CONSTRUCTION DRAWINGS:

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DRAWN BY:
SANDI ADAMS

PREPARED FOR: MICAH LACHER AND DAVID DORRIS

SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

SITE ADDRESS:
1306 BEECHWOOD AVE.

HOUSE PLAN:
HISTORICAL ADDITION

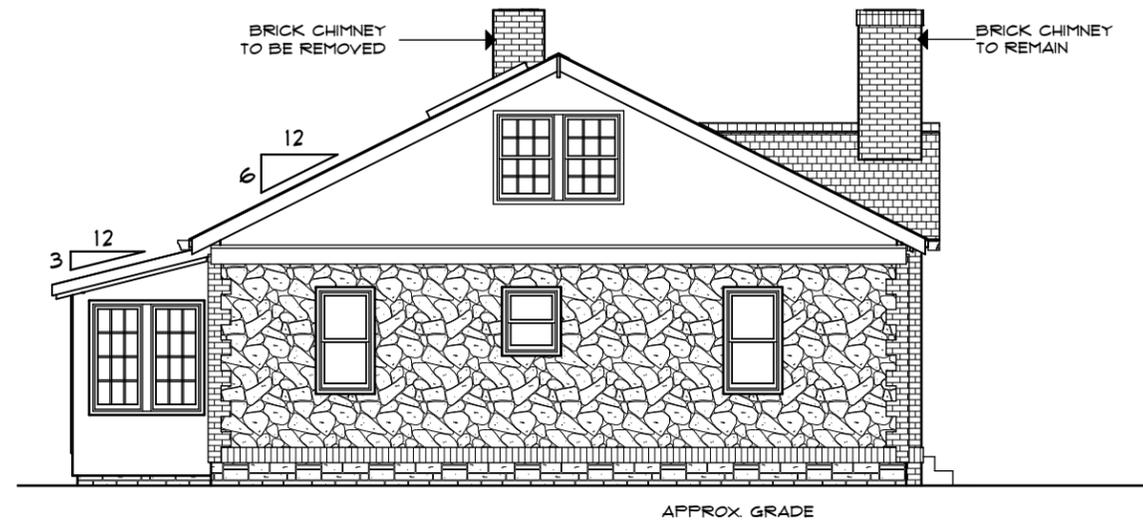


FRONT
REAR
ELEVATIONS

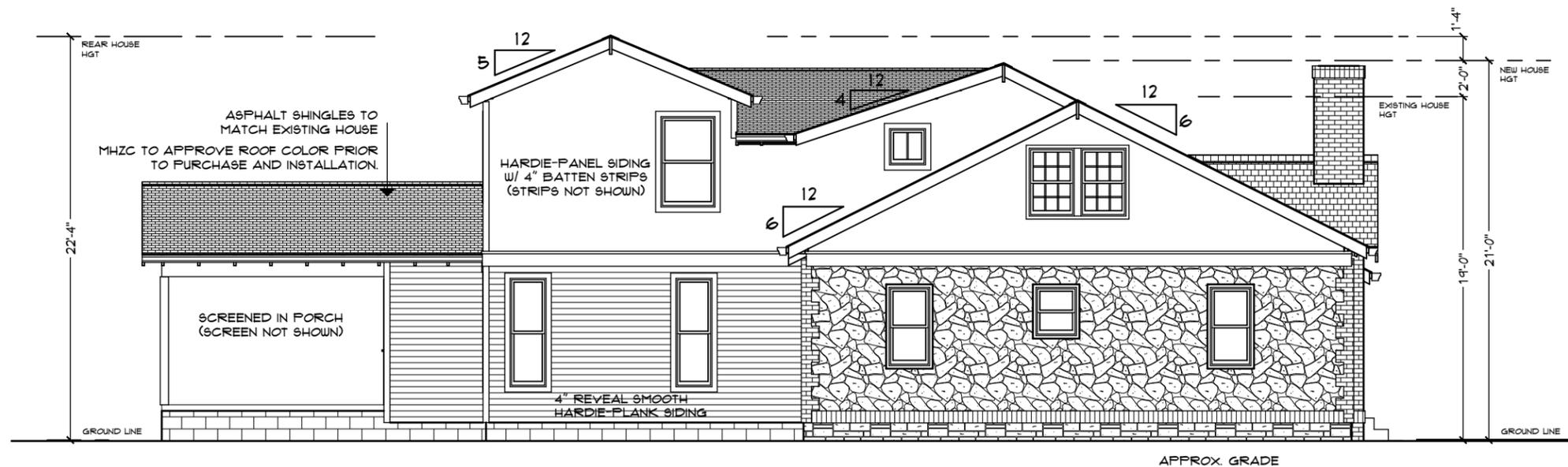
SHEET NO.:
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FRONT / LEFT RENDERING



EXISTING LEFT SIDE ELEVATION



PROPOSED LEFT SIDE ELEVATION

TODAY'S DATE:
10/5/2015

ORIG. DATE:
HISTORICAL PRELIM.: 10/2/15
HISTORICAL PLANS REV.: 10/5/15
HISTORICAL SUB.: 10/5/15

HISTORICAL PLANS REV.:

CONSTRUCTION DRAWINGS:

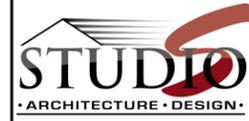
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DRAWN BY:
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PREPARED FOR: MICAH LACHER AND DAVID DORRIS

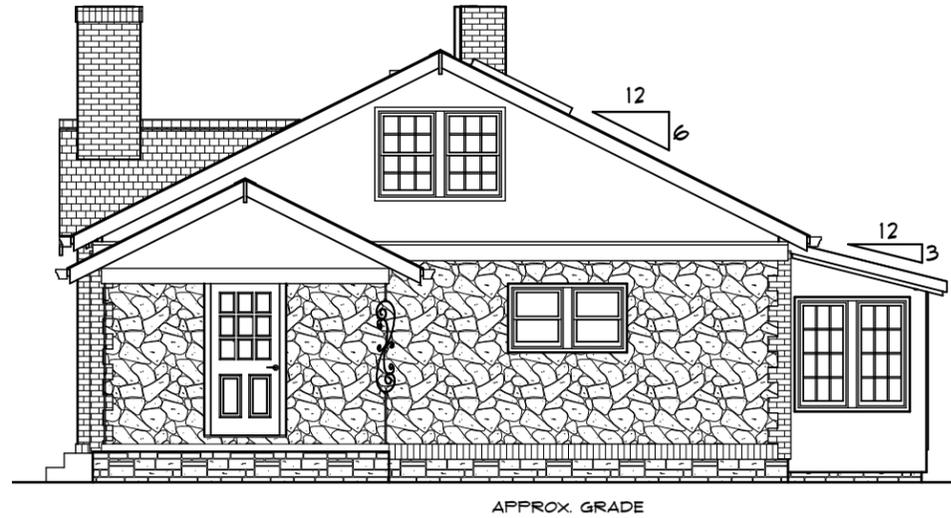
SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

SITE ADDRESS: 1306 BEECHWOOD AVE.
HOUSE PLAN: HISTORICAL ADDITION

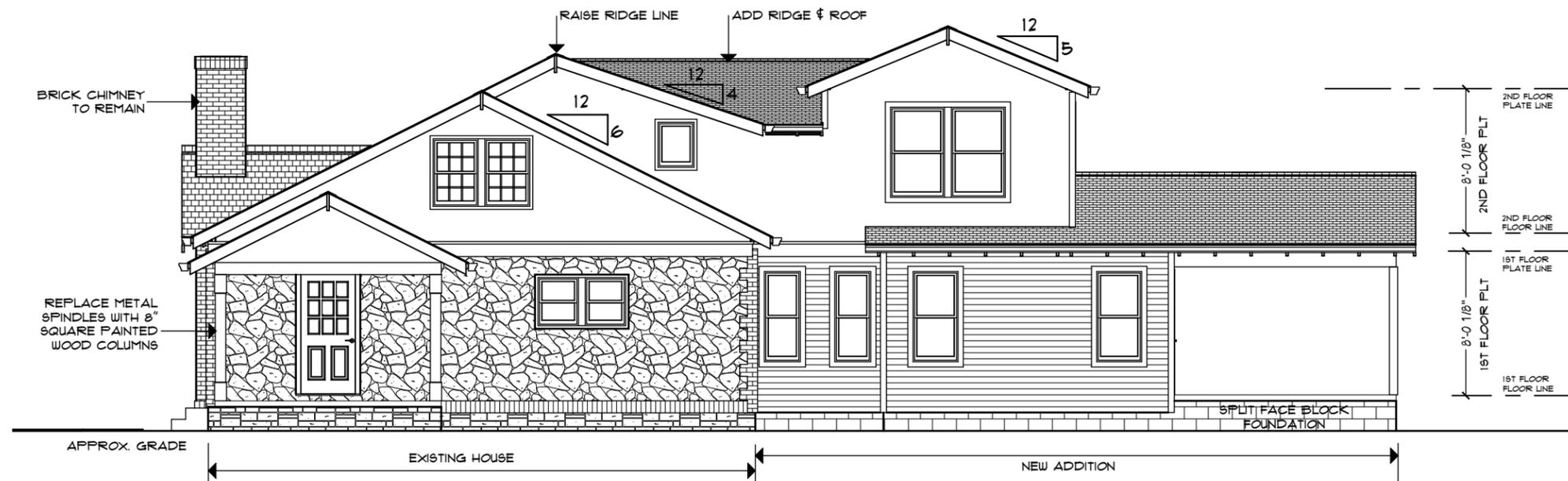


LEFT
ELEVATIONS

SHEET NO.:
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EXISTING RIGHT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION

TODAY'S DATE:
10/5/2015

ORIG. DATE:

HISTORICAL PRELIM.:
10/2/15

HISTORICAL PLANS REV.:
10/5/15

HISTORICAL SUB.:
10/5/15

HISTORICAL PLANS REV.:

CONSTRUCTION DRAWINGS:

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DRAWN BY:

SANDI ADAMS

PREPARED FOR: MICAH LACHER AND DAVID DORRIS

SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: HISTORICAL ADDITION
SITE ADDRESS: 1306 BEECHWOOD AVE.



RIGHT ELEVATIONS

SHEET NO.:

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