

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 1921 19th Avenue South October 21, 2015

Application: New construction- outbuilding; Setback determination
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 10412017200
Applicant: Lynn Taylor
Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

Description of Project: Application is to construct a new one-and-a-half story outbuilding. The request includes a side setback determination of three feet (3') instead of the bulk standard requirement of five feet (5'). The building is not to be used as an accessory dwelling unit.

Recommendation Summary: Staff recommends approval of the outbuilding with the following conditions:

1. Staff approve the final details, dimensions and materials of windows, doors, garage doors and roof color prior to purchase and installation; and,
2. Increase the left side setback to five feet (5').

With these conditions, staff finds that the proposed outbuilding meets the design guidelines for outbuildings in Section II.B. of the *Belmont-Hillsboro Neighborhood Conservation District: Handbook and Design Guidelines*.

Attachments

- A: Photographs
- B: Site Plan
- D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

B. GUIDELINES

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly*

fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- Publicly visible windows should be appropriate to the style of the house.*
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.*
 - Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
 - Stud wall lumber and embossed wood grain are prohibited.*
 - Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the*

principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Background: 1921 19th Avenue South is a brick bungalow constructed c. 1915 (See Figure 1). It is considered to be contributing to the Belmont-Hillsboro National Register Historic District. In 2008, the Commission approved a rear screened porch at this site.



Figure 1. 1921 19th Avenue South

The application for the detached garage was initially submitted as a DADU. However, the existing house is duplex, and the Zoning Code does not permit a DADU on a lot zoned for two-family that has a duplex. The applicant intends to reclassify the existing residence as single-family and convert the detached garage to a DADU in the foreseeable future.

Analysis and Findings:

Application is to construct a new one-and-a-half story outbuilding.

Location, Setback: The proposed accessory structure will be located behind the existing house in the rear yard. The garage will be accessed via the alley and the existing driveway, with garage doors located on the front and rear façades. The garage meets the base zoning requirement for the rear setback but not for the side setback. The structure is proposed to be situated three feet (3') from the left property line and ten feet (10') from the rear property line. The Zoning Code requires a minimum side setback of five feet (5') in the R8 district, and the side setback may be reduced to three feet (3') for accessory structures that are seven hundred square feet (700 SF) or less.

The reason for the setback determination request is because to continue to use the existing driveway, as well as the alley, requires an odd angle for parking. There is the option of abandoning the driveway, since alley access exists or relocating the staircase in the building, so that the driveway access is straighter.

As the proposed outbuilding exceeds the size of a typical outbuilding and will be converted to a DADU, because there are other options than what is proposed and because the lot is larger than the standard lot with both street and alley access, staff recommends

that the outbuilding comply with the required side setback. Staff finds that, with this condition, the location and setbacks for the proposed accessory structures meet Section II.B.c. and II.B.i. of the design guidelines.

Height, Scale: The one-and-a-half story accessory structure is proposed to have a ridge height of approximately twenty-three feet (23') which includes the foundation which is approximately six inches (6") tall. The eave height will be approximately ten feet (10') above grade.

The lot is approximately eleven thousand three hundred and twenty-five square feet (11,325 SF). Because it exceeds ten thousand square feet (10,000 SF), the design guidelines allow for a footprint of up to a thousand square feet (1000 SF). The structure's footprint will be approximately eight hundred and sixty-four square feet (864 sq. ft.), well under the maximum. By comparison, the primary structure has a foot print of approximately one thousand, two hundred, and seventy-five square feet (1,275 sq. ft.), and its ridge height is taller than twenty-three feet (23'). Staff therefore finds that the accessory structure is subordinate in size and does not exceed the height of the primary structure nor the maximum eave and ridge heights specified in the design guidelines.

Staff finds that the accessory structure's height and scale meet Sections II.B.a., II.B.b. and II.B.i. of the design guidelines.

Materials: The proposed materials include smooth-faced cement-fiber siding with a five inch (5") exposure for the primary and dormer field cladding. The roof will be architectural shingles. The color was not indicated so staff recommends administrative approval of the roof color. The foundation will be a concrete slab. The corner boards and trim will be wood. The materials for the windows and doors were not specified, and staff asks to approve the final materials and specifications for all windows and doors prior to purchase and installation. With the recommended conditions, staff finds that the structure's materials meet Sections II.B.d. and II.B.i. of the design guidelines

Roof Form: The structure's primary roof form is a side gable roof with a slope of 12/12. The front and alley-facing façades each have a shed dormer with a slope of 4/12. The dormers are setback two feet (2') off the wall below and do not encompass more than fifty percent (50%) of the roof. Staff finds that the roof form is compatible with that of the house and with surrounding historic structures, and meets Sections II.B.e. and II.B.i. of the design guidelines.

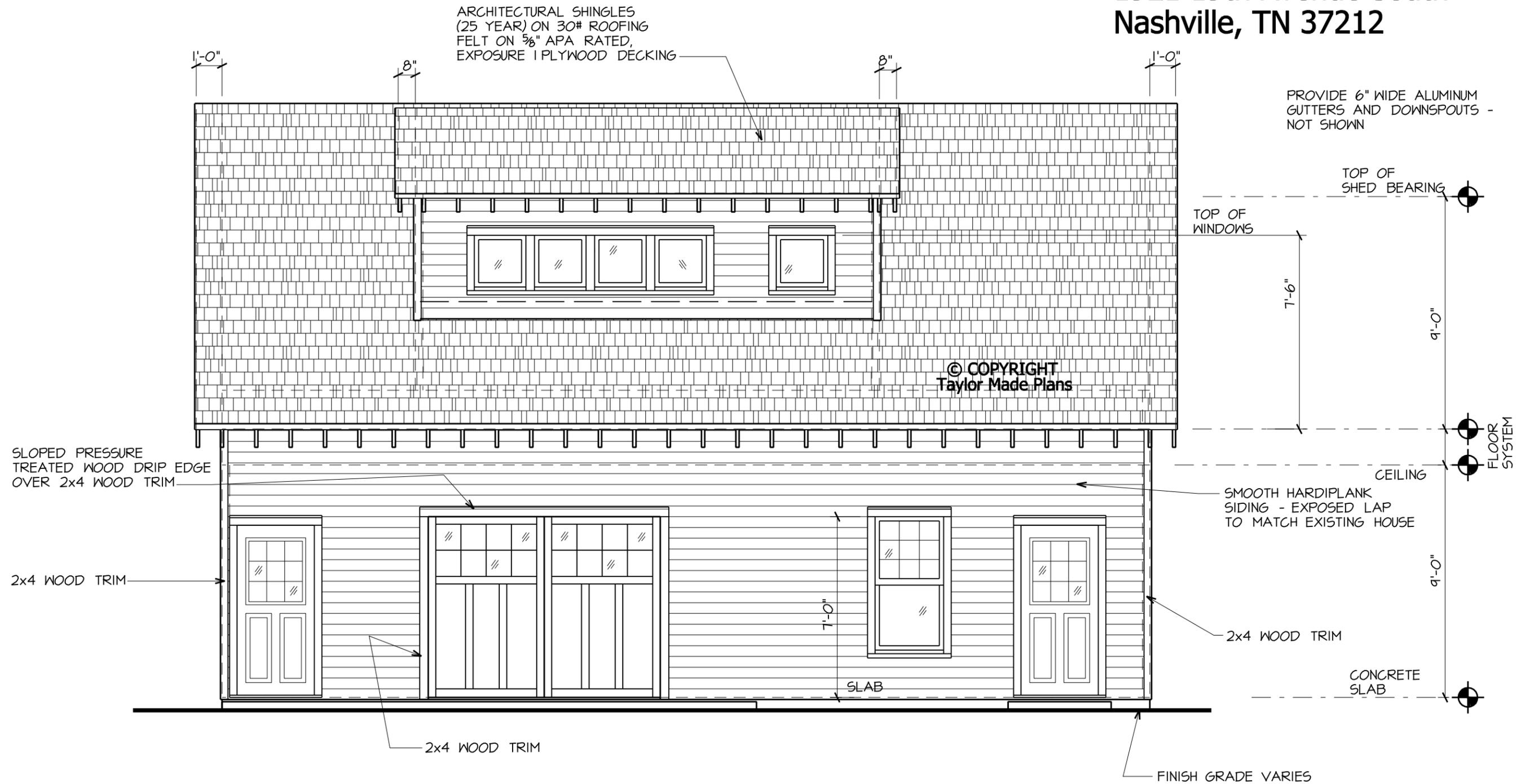
Recommendation: Staff recommends approval of the outbuilding with the following conditions:

1. Staff approve the final details, dimensions and materials of windows, doors and garage doors and roof color prior to purchase and installation; and,
2. Increase the left side setback to five feet (5').

With these conditions, staff finds that the proposed outbuilding meets the design guidelines for outbuildings in Section II.B. of the *Belmont-Hillsboro Neighborhood Conservation District: Handbook and Design Guidelines*.

10/5/2015

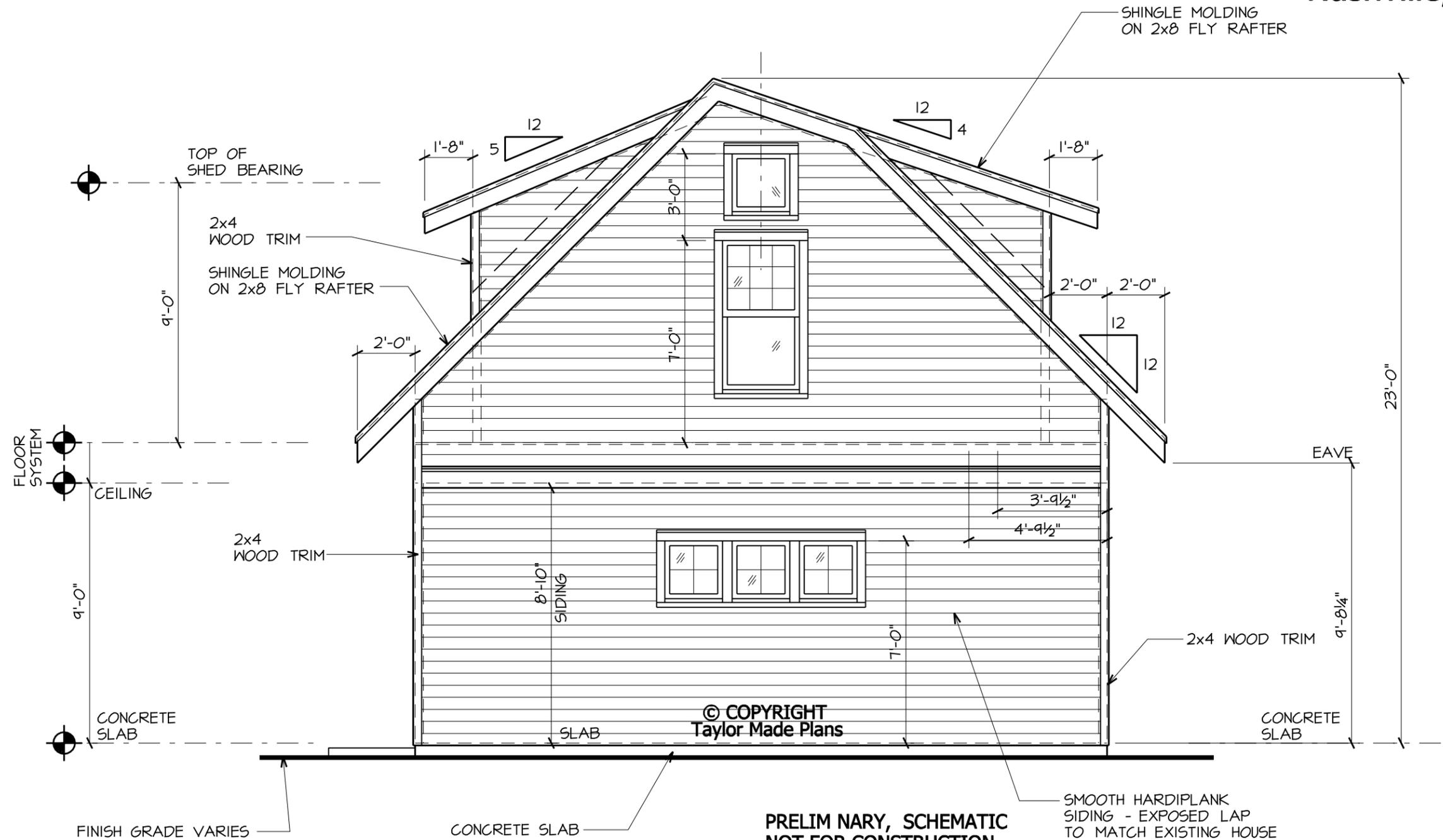
1921 19th Avenue South
Nashville, TN 37212



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

10/5/2015

1921 19th Avenue South
Nashville, TN 37212



TOP TRIM OF DOORS AND WINDOWS:
SLOPED PRESSURE TREATED WOOD DRIP EDGE OVER 2x4 WOOD TRIM OR 5/4" TRIM BOARD - ORDERED WITH WINDOWS

SIDE TRIM OF DOORS AND WINDOWS:
2x4 WOOD TRIM OR 5/4" TRIM BOARD - ORDER WITH WINDOWS

3

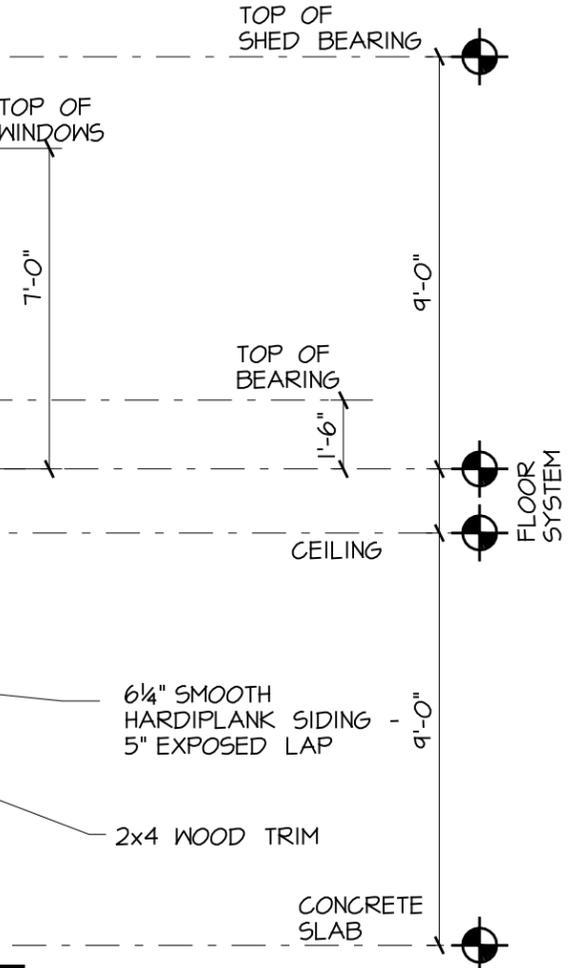
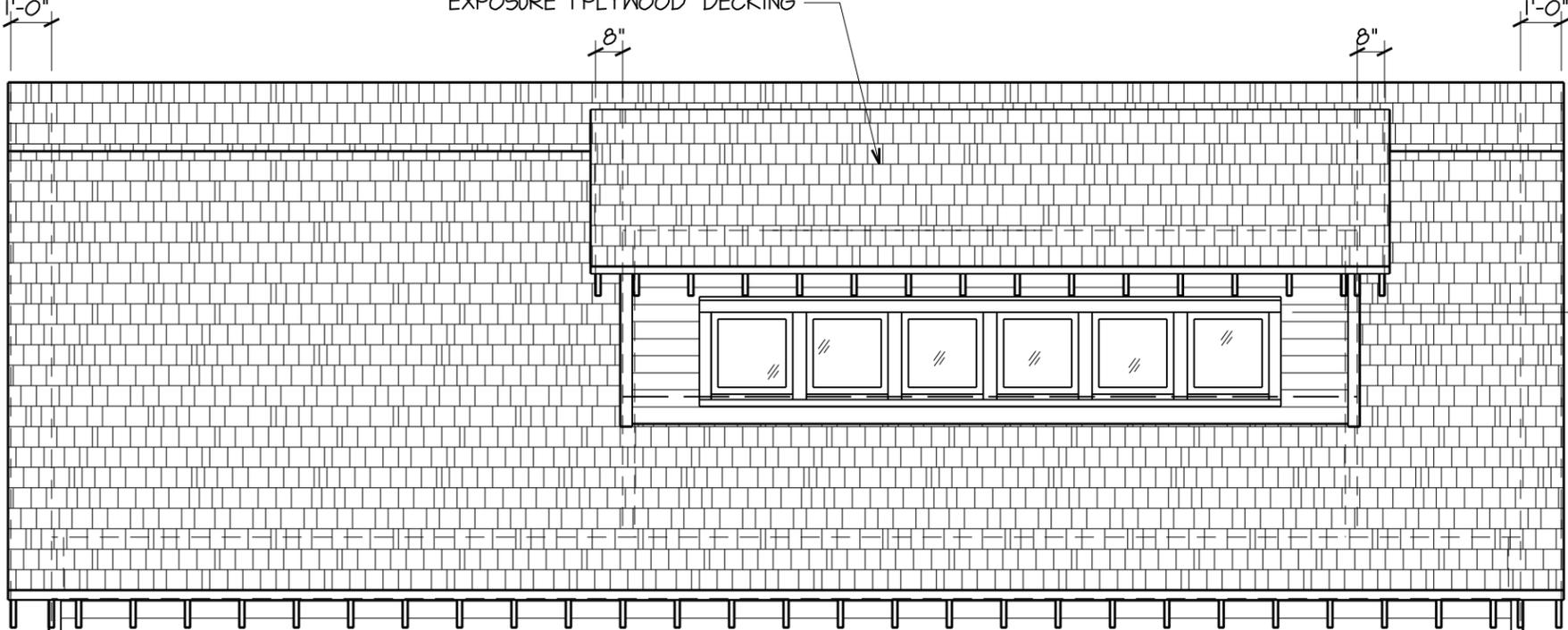
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

10/5/2015

1921 19th Avenue South
Nashville, TN 37212

ARCHITECTURAL SHINGLES
(25 YEAR) ON 30# ROOFING
FELT ON 5/8" APA RATED,
EXPOSURE 1 PLYWOOD DECKING



2x4 WOOD TRIM

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Taylor Made Plans

PRELIM NARY, SCHEMATIC
NOT FOR CONSTRUCTION

FINISH GRADE VARIES

*PROVIDE 6" WIDE ALUMINUM
GUTTERS AND DOWNSPOUTS -
NOT SHOWN

4

REAR ELEVATION

SCALE: 1/4" = 1'-0"