

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 1108 Lillian Street November 18, 2015

Application: Demolition, New construction - infill
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313013300
Applicant: Sandi Adams, Designer
Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

Description of Project: The applicant proposes to demolish the existing non-contributing house and to construct a new two-story duplex at 1108 Lillian Street.

Recommendation Summary: Staff recommends approval of the demolition of the non-contributing building finding that the project meets Section IV.B.2. and does not meet Section IV.B.1. of the design guidelines for demolition.

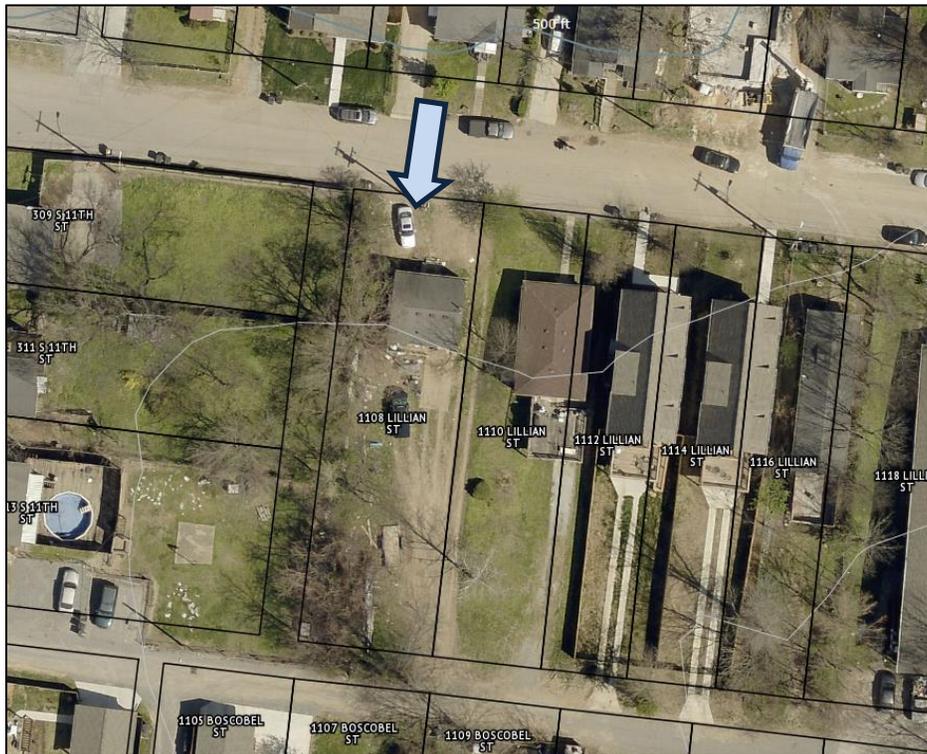
Staff recommends disapproval of the new construction as the property does not meet design guideline sections II.B.1 for height, II.B.2 for scale, II.B. 3 for setbacks and rhythm of spacing, II.B.5 for roof form and II.B.6 for orientation for the Lockland Springs-East End Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.
6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic buildings*.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

IV. B. Demolition

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The house located at 1108 Lillian Street was constructed around 1953 and does not contribute to the character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay (Figure 1). The applicant proposes to demolish the existing non-contributing house and to construct a new two-family residence at 1108 Lillian Street.



Figure 1. 1108 Lillian Street

Analysis and Findings: The applicant is proposing to demolish the existing non-contributing structure and construct a new two story duplex on the lot. The proposed structure has a two thousand, three hundred, fifty-four square feet (2,354 sq. ft.) footprint.

Demolition: The style, form, and detailing of the existing building does not match the historic context of neighborhood. Its low sloped roof, shallow eaves, and details are inconsistent with the predominant historic character of the neighborhood. In addition, the building is not a good example of its period of development. Staff finds that the structure does not contribute to the architectural and historical character and significance of the district. Staff finds that the proposed demolition meets Section IV.B.2. and does not meet Section IV.B.1. of the design guidelines. Therefore, demolition is appropriate in this case.

Height. The new house will be two stories with a basement below grade and will have a roof height of twenty-six feet, eight inches (26' 8") above grade, including a maximum two foot, six inches (2' 6") tall foundation at the front that varies with the change in grade. Although there are no historic houses in the immediate vicinity, recently approved

infill on the street ranges from twenty-four feet (24') to thirty-two feet (32') tall, and staff therefore finds the proposed height to be appropriate.

Although the overall height is appropriate, the tall roof form and tall eaves (13' 7") together result in a home that is really two-stories rather than the one and one-half stories that is more appropriate for this area of the neighborhood.

Address	Stories	Ridge Height	Eave Height
1108 Lillian (proposed)	1.5	26' 8"	13' 7"
1107 Lillian	1.5	27'	12'
1112 & 1114 Lillian	1.5	29'	15'
1113 Lillian		30' 6"	10' 6"
1115 Lillian	1.5	30' 6"	12'

Looking at other infill approved on this block, eave heights have been primarily 12' and under with the exception of 1112 and 1114 which are much smaller homes constructed on narrower lots than the typical lots found in this area. Staff finds that the project does not meet section II.B.1 for height.

Scale: The new structure will have a maximum width of thirty-eight feet, four inches (38' 4"), although at the front, the house will be approximately thirty-six feet, four inches (36' 4") wide. This width of the proposed structure is wider than nearby houses including recent infill. Recently approved infill on this block of Lillian Street has been approximately twenty-five feet to twenty-eight feet (25'-28') wide at the point nearest to the street and then widens to up to thirty-eight feet (38') after stepping back. The structure proposed for 1108 Lillian Street will have most of its bulk at the front setback. As a result, the width of the structure does not meet the historic context.

The proposed form has two different porches. One that is rectangular next to another one that is deeper and square. Typically, duplexes have a shared porch or two different porches or stoops of equal dimensions and design, making the building look like one building. Two different porch dimensions begins to make the house look like two different buildings side-by-side rather than one building as seen historically. In addition the left porch is only five feet (5') deep and the Commission has previously required that porches be at least six feet (6') in depth to provide adequate useable space.

Staff finds that the scale of the proposed two-story structure is not compatible with surrounding residences and does meet Sections II.B.2. of the design guidelines.

Setback & Rhythm of Spacing: The front wall of the infill will be located approximately twenty-three feet (23') from the front property line. By comparison, the front wall of the existing non-contributing house to the left is approximately twenty feet (21') from the front property line. There is no house to compare to on the right. Staff finds that the proposed front setback is appropriate to the context.

The side setbacks will be approximately five feet, ten inches (5' 10") on both sides. This meets bulk zoning requirements; however, the side setbacks are not consistent with the

rhythm established by existing houses and recently approved infill on the street as the proposed structure is wider and is situated closer to the side property lines. Staff finds that the project does not meet Section II.B. 3. of the design guidelines as the proposed structure does not maintain the rhythm of the street.

Materials: The exterior materials will include a split-faced concrete block foundation, smooth-faced Hardie plank siding, and an asphalt shingle roof. The front façade also incorporates Hardie panel siding with batten strips as an accent on the front gable and standing seam metal for the porch roof. The color of the roof is not known. The siding will have a four inch (4") reveal which is appropriate for the context. The exterior trim, including cornerboards, window casings, and porch columns will be wood. The porch floor is concrete. The windows will be Marvin Integrity which has been previously approved. Staff finds that the known materials of the proposal meet Section II.B.4. of the design guidelines.

Roof Shape: The roof form, from the front, appears as a cross-hipped and gable form with a variety of pitches including: 3:12, 4:12, 5:12, 6:12, 8:12, 12:12. In actuality it is a much more complicated form that is atypical of the historic roof forms found in the district (See Figure 2).

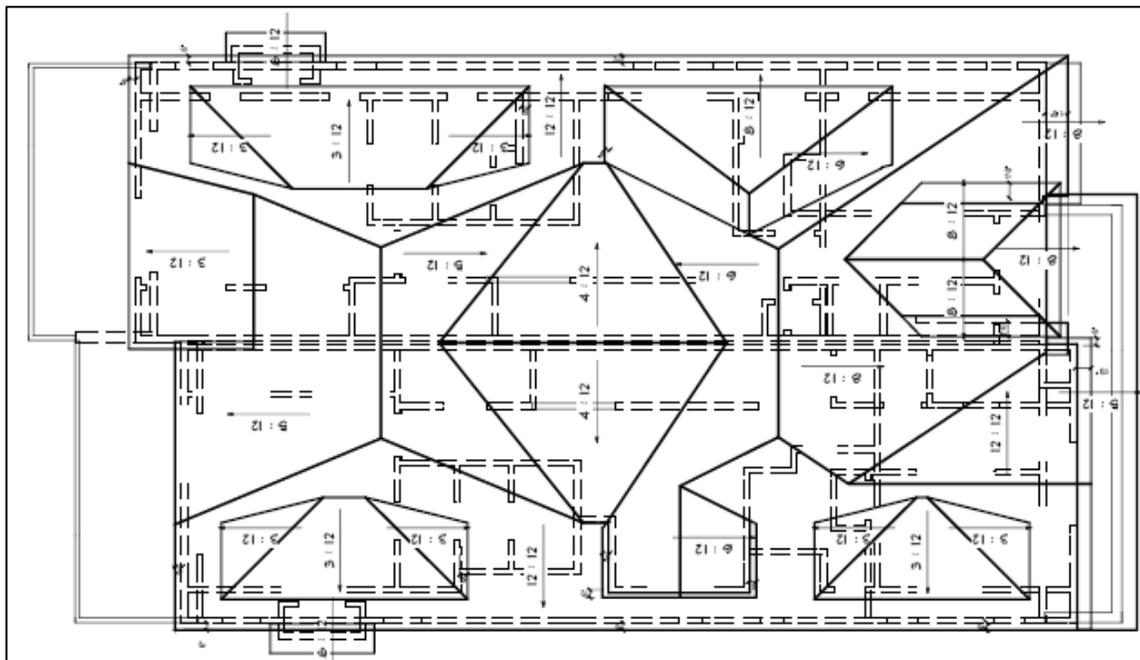


Figure 2. Roof Plan

The form is further complicated by a mix of both gabled and tall-hipped forms that do not correspond with the proposed roof principle roof form. Please see figure 3 for an example.



Figure 3. Dormer configurations compared to proposed primary roof form on the right elevation.

In addition, the front gabled dormer is parallel with the front wall of the structure; the guidelines require that the dormer be inset at least two feet (2') from the wall below.

Staff finds that the proposed roof contrasts greatly with both historic roof forms found throughout the district and recently approved infill and, therefore, is not compatible given the context. Staff finds that the infill does not meet Section II.B.5. of the design guidelines.

Orientation: The proposed structure fronts Lillian Street with the front elevation parallel to the street. Staff finds that the orientation of the building meets Section II.B.6. of the design guidelines.

Rhythm and Proportion of Openings: The windows on the house will be generally twice as tall as they are wide, and the first story windows will be taller than those on the upper story, as seen historically. The windows have four to six inch (4"-6") mullions between them, also as seen historically. Staff finds that the proposal meets Section II.B.7. of the design guidelines.

Appurtenances & Utilities: The location of the HVAC and other utilities are not indicated on the drawings. They should be located on the rear façade or on a side façade beyond the midpoint of the house. Alley access is available on this side of Lillian Street, and the plan incorporate two parking pads off the alley for vehicular access. Staff finds that the proposal could meet section II.B.9.

Recommendation Summary:

Staff recommends approval of the demolition of the non-contributing building finding that the project meets Section IV.B.2. and does not meet Section IV.B.1. of the design guidelines for demolition.

Staff recommends disapproval of the new construction as the property does not meet design guideline sections II.B.1 for height, II.B.2 for scale, II.B. 3 for setbacks and rhythm of spacing, II.B.5 for roof form and II.B.6 for orientation for the Lockland Springs-East End Neighborhood Conservation Zoning Overlay.

PROPOSAL FOR HISTORICAL NEW CONSTRUCTION AT: 1108 LILLIAN ST

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9. ELEVATIONS, CONT.

RENDERINGS ARE ARTIST'S PERCEPTION. PRIMARY COLORS, MATERIALS, AND GRADE WILL VARY.



ELEVATION FRONT



GROUND VIEW 1



GROUND VIEW 2



GROUND VIEW 3

TODAY'S DATE:
11/8/2015

ORIG. DATE:
10/4/15
PRELIMINARY:
10/4/15
HIST. SUB.:
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HIST. SUBMITL.:
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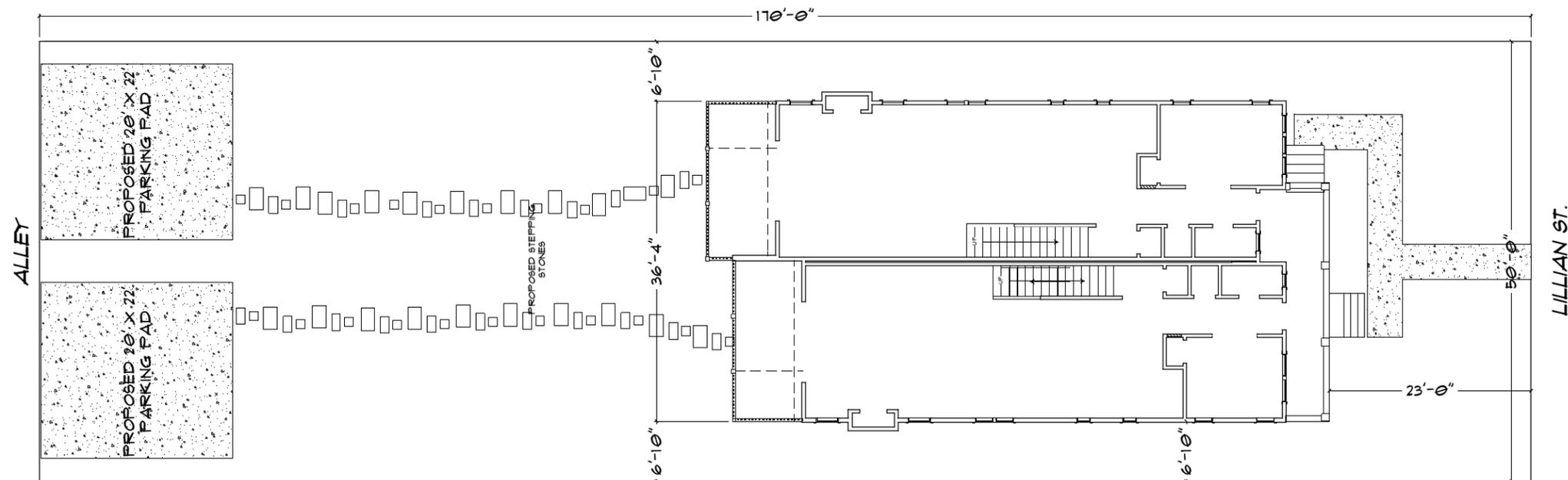
SCALE: 11 X 17 PRINT: 1/8" = 1'-0"
24 X 36 PRINT: 1/4" = 1'-0"

HOUSE PLAN: HISTORICAL ATTACHED
SITE ADDRESS: 1108 LILLIAN ST

STUDIO
ARCHITECTURE • DESIGN

COVER

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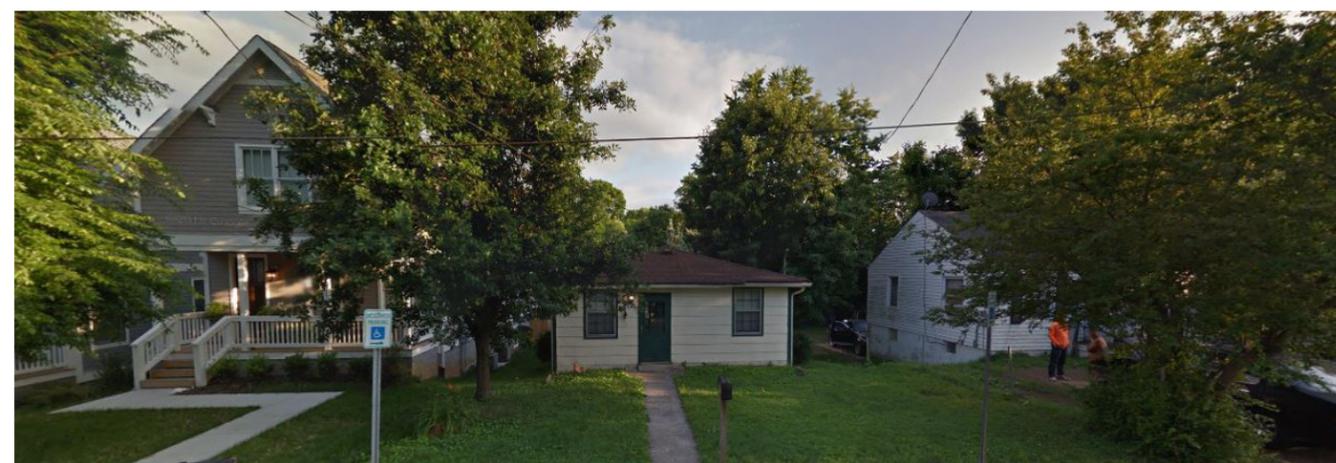
PROPOSED SITE PLAN SCALE: 1/16" = 1'-0"



CURRENT HOUSE ON LILLIAN



CURRENT STREET SCENE 1



CURRENT STREET SCENE 2

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SITE ADDRESS: 1108 LILLIAN ST	

STUDIO ARCHITECTURE • DESIGN	
SITE PICS	
SITE PLAN	
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THIS PLAN SET NOT FINAL FOR CONSTRUCTION

REFERENCE ELEVATIONS FOR 1108 LILLIAN ST

NORTH SIDE OF LILLIAN STREET



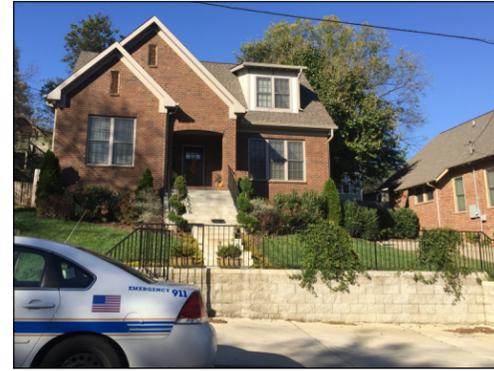
DIRECTLY ACROSS THE STREET



DIAGONALLY ACROSS THE STREET



DIAGONALLY ACROSS THE STREET



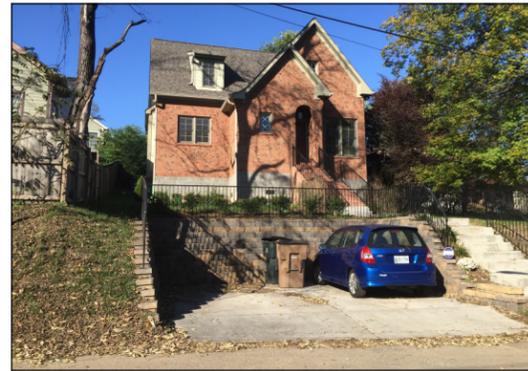
ACROSS & DOWN THE STREET



ACROSS & DOWN THE STREET



ACROSS & DOWN THE STREET



27 STEPS TO THE FIRST FLOOR = APPROX. 19' H FROM STREET TO FINISHED FLOOR



NEW CONSTRUCTION ACROSS & DOWN THE STREET



PROPOSED ATTACHED HOME FOR 1108 LILLIAN

SOUTH SIDE OF LILLIAN STREET



SAME SIDE & DOWN THE STREET



SAME SIDE & DOWN THE STREET



SAME SIDE & DOWN THE STREET



NEIGHBORING HOUSES TO 1108



NEIGHBORING HOUSES TO 1108

BEHIND LILLIAN STREET (ALLEY VIEWS)



REAR OF PROPERTY AT 1108



NEIGHBORING HOUSES TO 1108



TWO STORY ATTACHED HOME DIRECTLY TO THE REAR OF 1108



TWO STORY ATTACHED HOME DIRECTLY TO THE REAR OF 1108

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HOUSE PLAN: 1108 LILLIAN ST

HISTORICAL ATTACHED

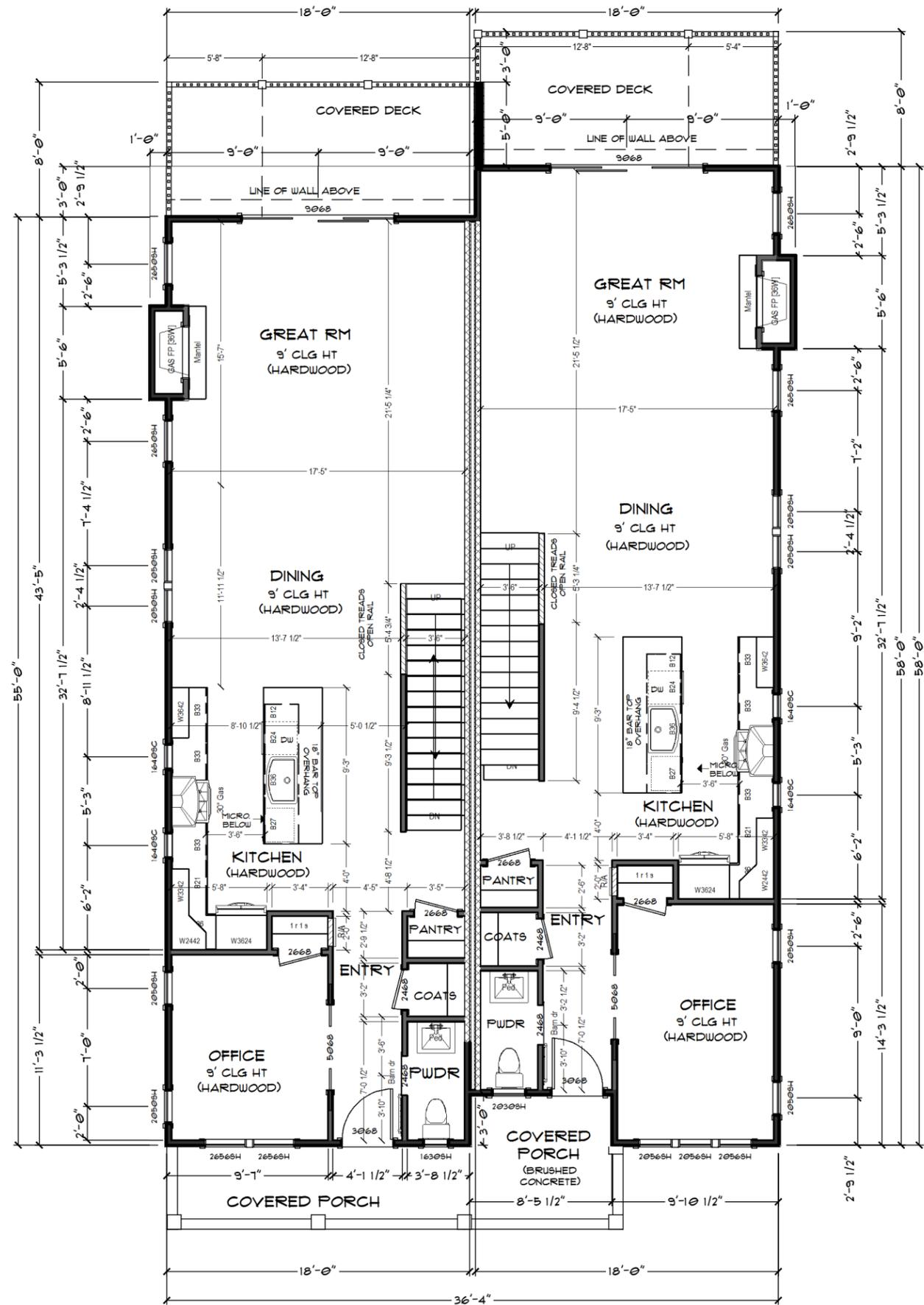


REFERENCE ELEVATIONS

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PLAN NOTES:

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- SQ. FOOTAGE:** SQUARE FOOTAGE IS CALCULATED FROM OUTSIDE FACE OF EXTERIOR STUDS. CANTILEVERS, INCLUDING FIREPLACES ARE INCLUDED IN SQUARE FOOTAGE. INTERIOR STAIRS ARE ONLY COUNTED ONCE.
- DIMENSIONS:** EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL STUD TO OUTSIDE OF WALL STUD. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR WALLS:** ALL EXTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- INTERIOR WALLS:** ALL INTERIOR WALLS TO BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- PLUMBING WALLS:** ALL PLUMBING WALLS TO BE 2X6 @ 16" O.C. AND ARE NOTED ON PLAN.
- ANGLED WALLS:** ALL ANGLED WALLS ARE AT A 45° INCREMENT UNLESS OTHERWISE NOTED.
- FRAMING:** FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED, AND TO BE REVIEWED AND VERIFIED BY LUMBER SUPPLIER AND BUILDER.
- INTERIOR DOORS:** DOOR HEIGHTS MAY VARY AND WILL BE NOTED ON PLAN. ALL DOORWAY OPENINGS ON PLAN TO BE CASED OPENINGS UNLESS OTHERWISE NOTED.
- EMRGNCY EGRESS:** AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF NO LESS THAN 5.7 SQ. FT. W/ THE SILL HGT BEING NO MORE THAN 44" MAX A.F.F.
- PATHWAYS:** THERE IS A 36" MIN. CLEARANCE AT ALL HALLWAYS, STAIRWAYS, TO KITCHEN ISLANDS, ETC.
- CEILING HGTS:** CEILING HEIGHTS VARY PER PLAN. REFER TO FLOOR PLANS AND ELEVATIONS FOR HEIGHTS. ALL HEATED AREAS TO HAVE A FINISHED CLG HEIGHT OF 8'-0" MIN. UNLESS OTHERWISE NOTED.
- HEADER HGTS:** WINDOW HEADERS TO BE PLACED @ 6'-10" UNLESS OTHERWISE NOTED.
- ATTIC ACCESS:** PROVIDE ATTIC ACCESS AS NOTED ON PLAN. TYPICALLY A PULL DOWN STAIR (PDS) ON THE SECOND FLOOR.
- HVAC:** RETURN AIR LOCATION(S) TO BE VERIFIED BY HVAC SUPPLIER.
- EXTERIOR STEPS:** NUMBER OF EXTERIOR STEPS SHOWN AT ANY EXIT OR PORCH ARE APPROX. AND MAY VARY PER LOT.
- SELECTION ITEMS:** SELECTION ITEMS SHOWN ARE FOR REFERENCE ONLY. APPLIANCE SIZES, CABINET SIZES, WINDOW GRID PATTERNS, BUILT-INS, ETC. TO BE DETERMINED BY BUILDER. ALL EXTERIOR COLOR SELECTIONS BY BUILDER. ALL INTERIOR SELECTIONS, SUCH AS HARDWOOD TYPE AND STAIN COLOR, PAINT COLORS, DOOR STYLES, GRANITE, ETC. BY BUILDER.
- ELEVATIONS:** ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. APPROX. GRADE, EXTERIOR STEPS, COLORS, AND MATERIAL LOCATIONS MAY VARY PER BUILDER.
- GRADE:** LOT GRADE AND SLOPE NOTED ON PLAN ARE APPROXIMATE. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY HOUSE HEIGHT RESTRICTIONS.



UNIT A FIRST FLOOR UNIT B

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PREPARED FOR: ODYSSEY CONSTRUCTION

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HOUSE PLAN: HISTORICAL ATTACHED

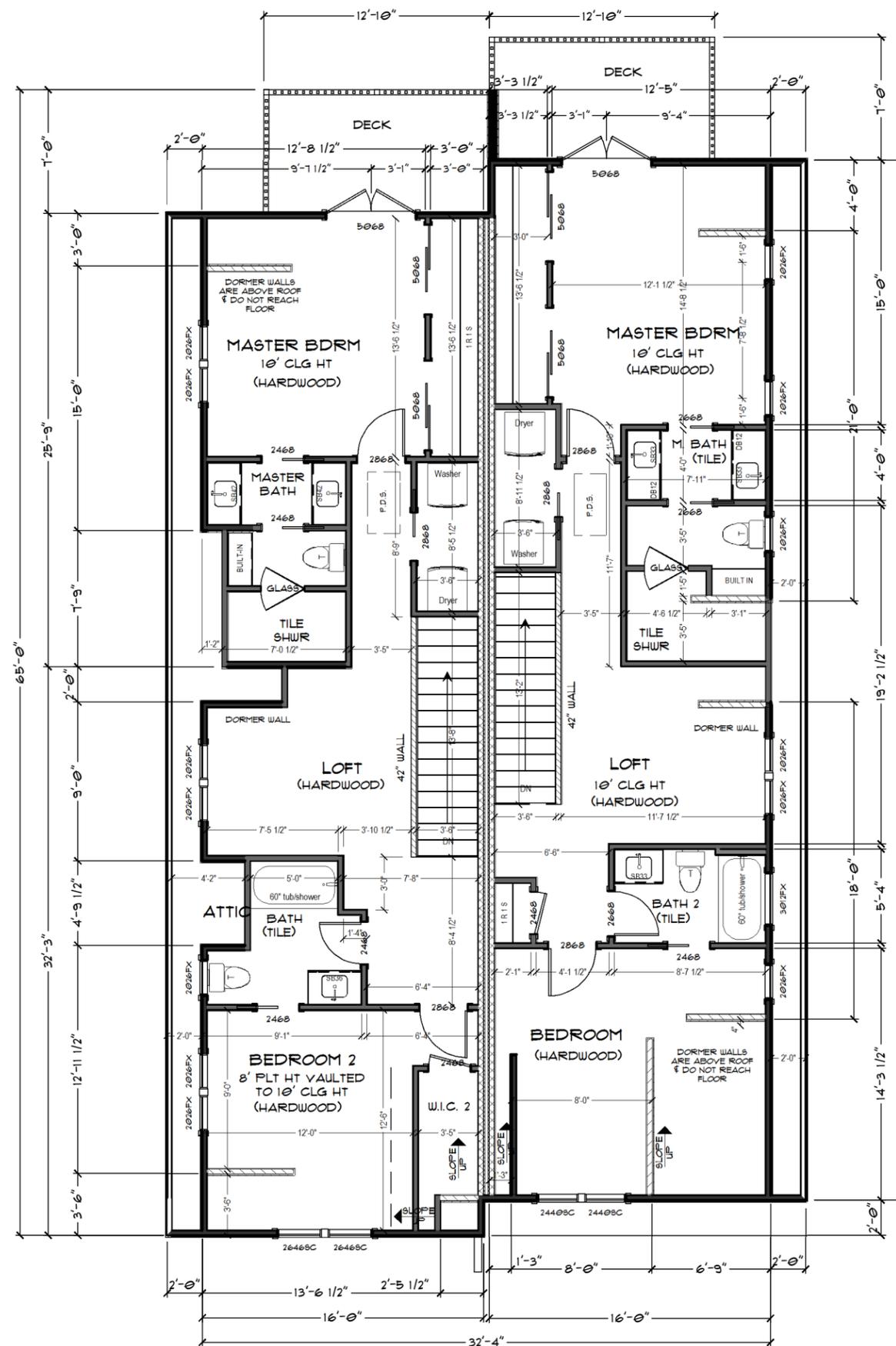
SITE ADDRESS: 1108 LILLIAN ST



NOTES
FIRST
FLOOR PLAN

SHEET NO.:
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UNIT A UNIT B
SECOND FLOOR

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CONSTRUCTION DRAWINGS:	
DRAWN BY: SANDI ADAMS	

PREPARED FOR: ODYSSEY CONSTRUCTION	SCALE: 11 X 17 PRINT: 1/8" = 1'-0" 24 X 36 PRINT: 1/4" = 1'-0"
HISTORICAL ATTACHED	SITE ADDRESS: 1108 LILLIAN ST



SECOND FLOOR PLAN

SHEET NO.:
PAGE # 5 OF 9

THIS PLAN SET NOT FINAL FOR CONSTRUCTION

TODAY'S DATE:
11/8/2015

ORIG. DATE:
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10/4/15

HIST. SUBMITL.:
11/2/15

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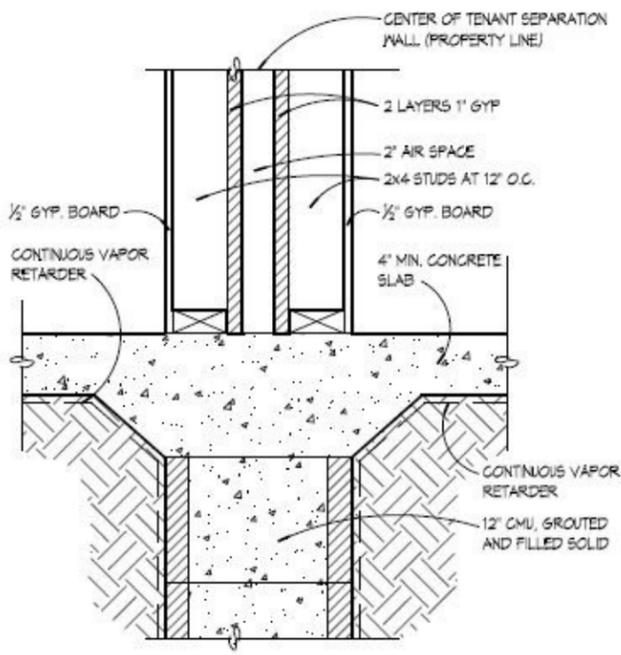
HOUSE PLAN: HISTORICAL ATTACHED

SITE ADDRESS: 1108 LILLIAN ST

STUDIO ARCHITECTURE · DESIGN ·

BASEMENT FOUNDATION

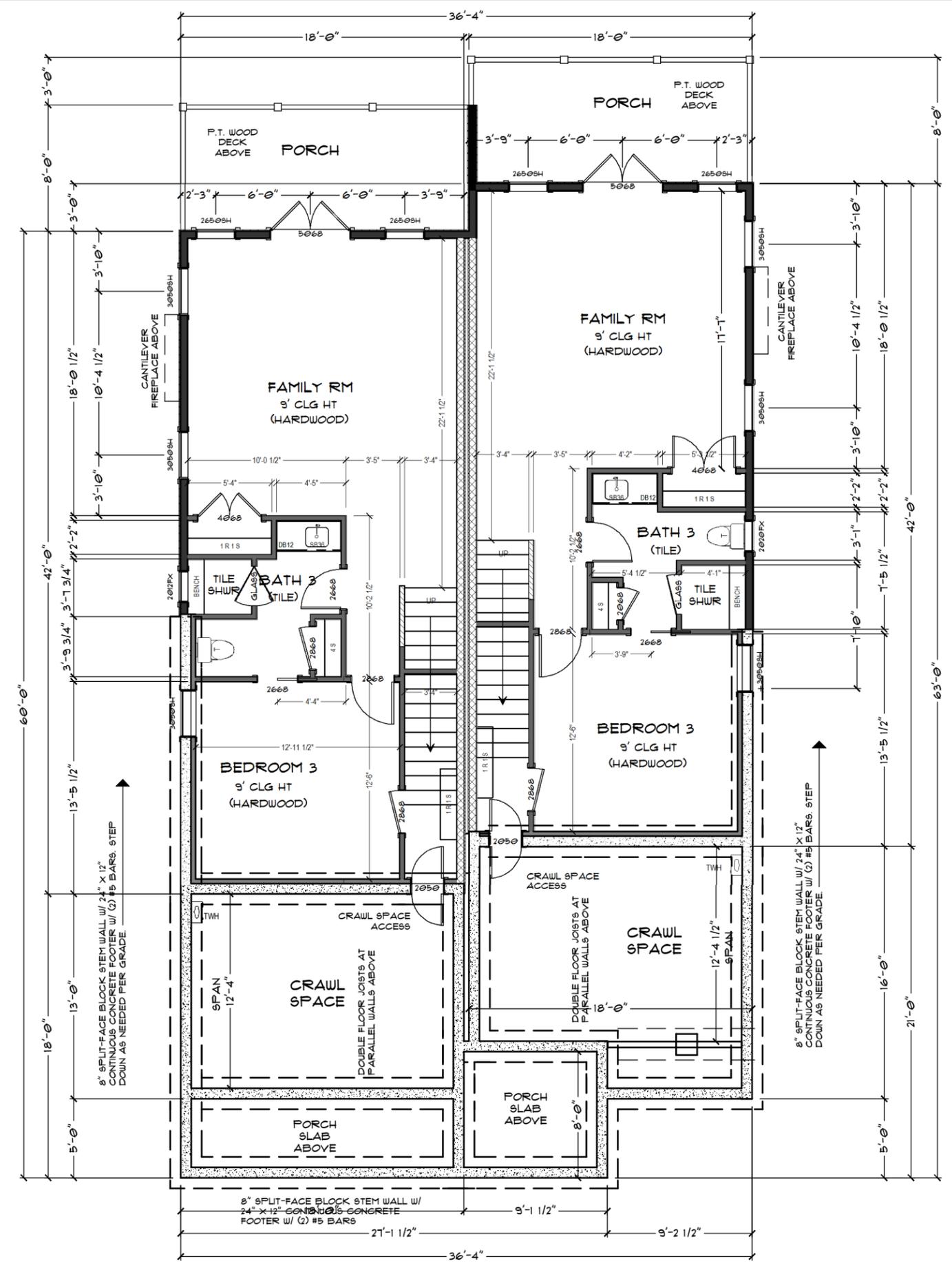
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FIRE WALL DETAIL
(NOT TO SCALE)

FOUNDATION PLAN NOTES:

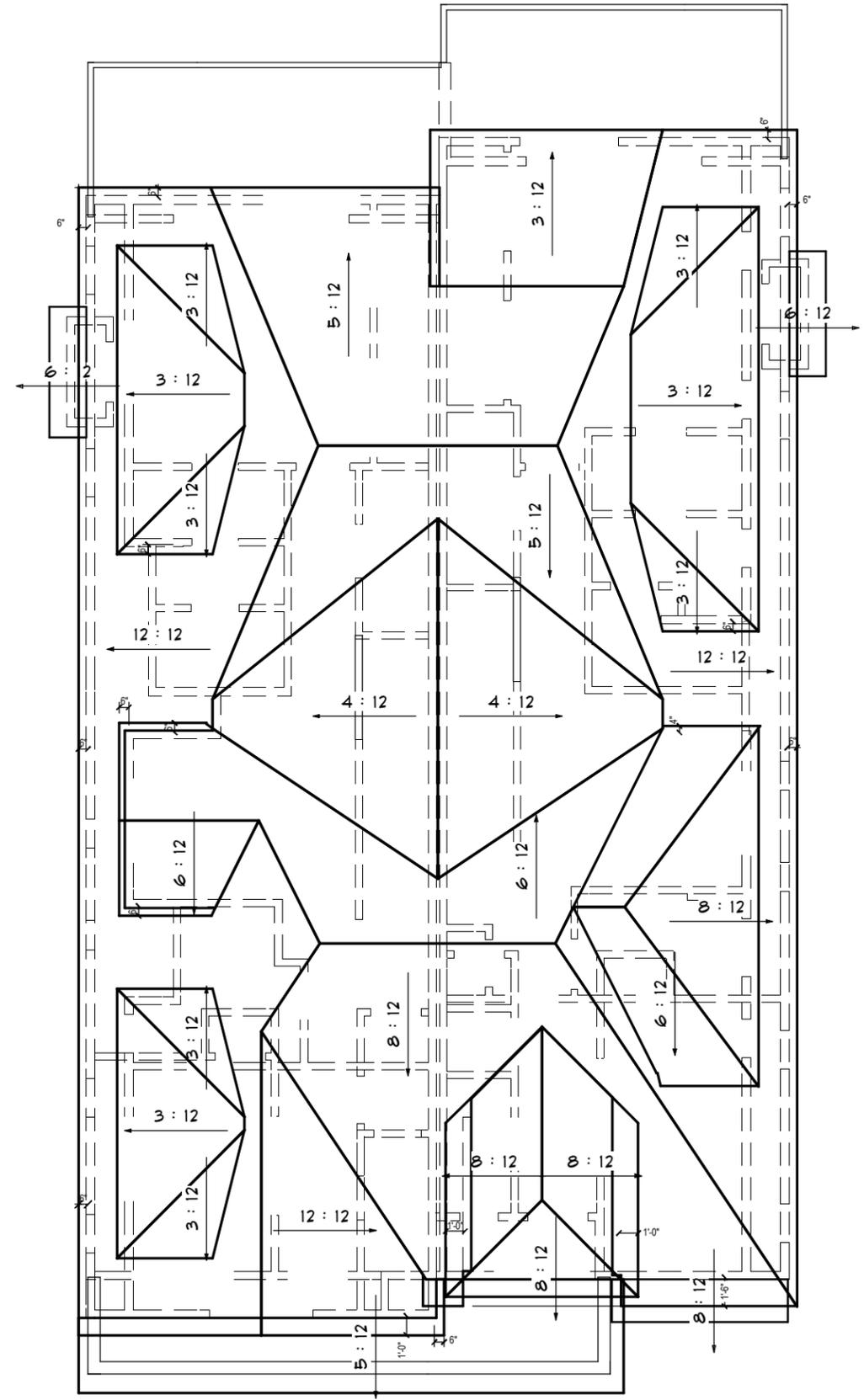
- BUILDER TO SIZE ALL BEAMS AND FRAMING MEMBERS OF ALL FLOORS PRIOR TO CONSTRUCTION.
- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. IT IS THE BUILDER'S RESPONSIBILITY TO HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ACTUAL SITE CONDITIONS TO DESIGN ALL STRUCTURAL ELEMENTS AS NEEDED.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEET OR EXCEED APPLICABLE CODES.
- IF BLOCK COURSES EXCEED SIX BLOCKS IN HEIGHT, BUILDER TO VERIFY WITH LICENSED STRUCTURAL ENGINEER FOR ANY NEEDED ADDITIONAL REINFORCING.
- CRAWL SPACE ACCESS AND VENTS TO BE LOCATED ON SITE.
- PIERS ARE 16" X 16" CONCRETE BLOCK W/ 24" X 24" SLAB FOOTER (MIN) NUMBER OF PIERS FOR THIS PLAN = 20, AND 5 HALF PIERS.
- TYPICAL BEAMS USED ARE (3) 2 X 12'S
- FLOOR SYSTEM SPACING AND JOIST DIRECTIONS ARE NOTED ON PLAN.
- FLOOR SYSTEM TYPICALLY DESIGNED W/ 2 X 10'S @ 16" O.C. UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE LOCATED TO OUTSIDE FACE OF 8" BLOCK, OR OUTSIDE FACE OF 12" BLOCK (BRICK LEDGE)
- DIAGONAL DIMENSIONS ARE FROM CORNER OF BLOCK TO CORNER OF BLOCK.
- APPLIANCES AND FIXTURES SHOWN ARE LOCATED ON THE FLOOR ABOVE.



BASEMENT / FOUNDATION PLAN

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ROOF PLAN

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ROOF PLAN

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STANDARD ELEVATION NOTES

1. ROOF MATERIAL TO BE ASPHALT SHINGLES; COLOR SELECTION BY BUILDER.
2. VENT ROOF WITH RIDGE VENTS.
3. FASCIA BOARDS TO BE 1 X 8 W 5" GUTTERS & DOWNSPOUTS.
4. CORNER BOARDS TO BE 4" X 3/4" UNLESS OTHERWISE NOTED.
5. 8" X 3/4" TRIM BAND AROUND HOUSE, LOCATIONS PER ELEVATIONS.
6. WINDOW MANUFACTURER AND TYPE TO BE DETERMINED BY BUILDER.
7. WINDOWS TO BE TRIMMED IN 3/4" WINDOW WRAP
8. WINDOW HEADER HEIGHTS TO BE 84" UNLESS OTHERWISE NOTED.
9. WINDOW SHUTTERS, WHEN APPLIED, TO BE FUNCTIONING WITH HARDWARE.
10. FOUNDATION TO BE 8" SPLIT FACE BLOCK BELOW HARDIE SIDED EXTERIOR WALLS AND 12" SPLIT FACE BLOCK BELOW BRICK SIDED EXTERIOR WALLS.
11. FRONT AND REAR PORCH FLOOR MATERIAL WILL VARY, SEE FLOOR PLAN OR FOUNDATION PLAN TO VERIFY.
12. ALL FRONT PORCHES CONSTRUCTED W 12" PORCH RACKS. PORCH RACK TO BE CENTERED OVER COLUMNS BELOW.
13. HANDRAILS ON FRONT AND BACK PORCHES IF FINISHED GRADE IS BELOW 30" FROM FINISHED FLOOR.
14. CEILING HEIGHTS ARE 9' ON FIRST FLOOR, 8' ON SECOND FLOOR. SECOND FLOOR VAULTED TO 10' OR 11' WHERE POSSIBLE. BASEMENT WALL HEIGHT IS 9' WHEN APPLICABLE.
15. ACTUAL FRONT DOOR STYLE WILL VARY. DOOR STYLE TO BE SELECTED BY BUILDER.
16. WHEN APPLICABLE, STANDARD OVERHEAD GARAGE DOOR SIZE IS 16' X 7'.
17. NUMBER OF EXTERIOR CORBELS AND LOCATIONS, PER ELEVATION.
18. GRADE IS APPROXIMATE AND DOES NOT ACCOUNT FOR FINAL BACKFILL.

MHZC TO APPROVE ROOF COLOR OF ASPHALT SHINGLES PRIOR TO PURCHASE AND INSTALLATION.

HARDIE-PANEL SIDING W/ 2" BATTEN STRIPS MARVIN INTEGRITY WINDOWS

STANDING SEAM METAL ROOF W/ OPEN TAIL RAFTERS

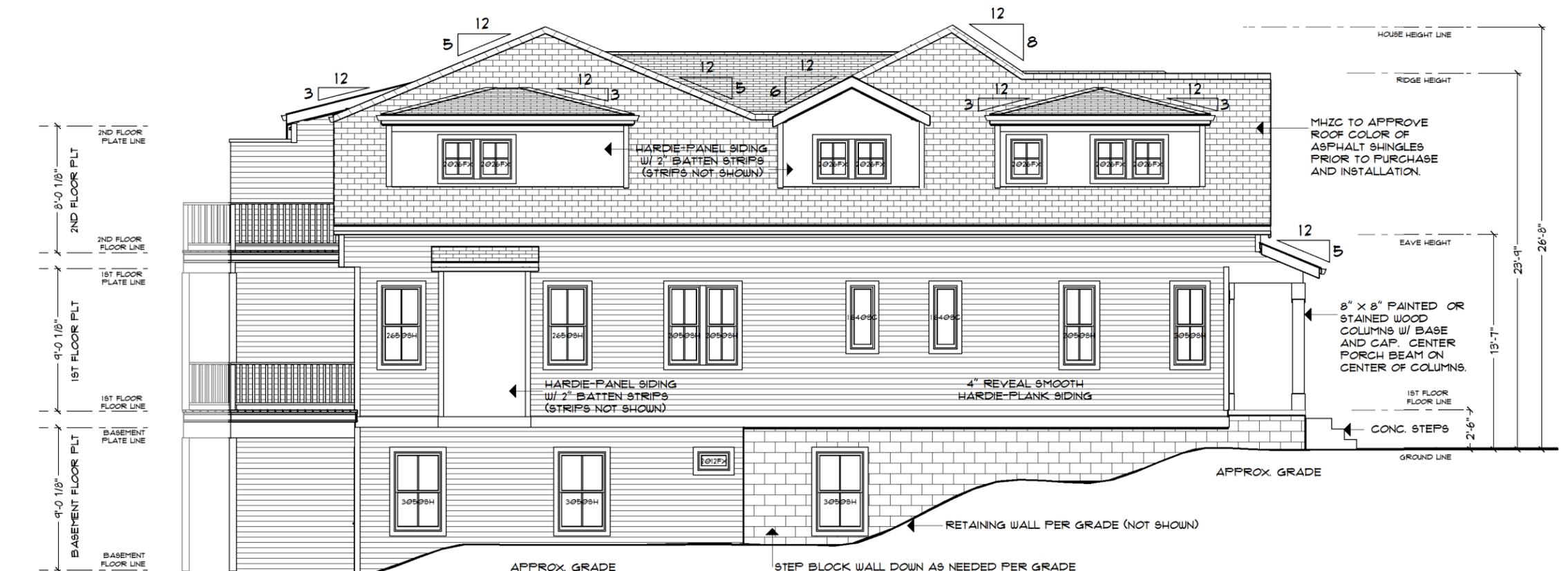
8" X 8" PAINTED OR STAINED WOOD COLUMNS W/ BASE AND CAP. CENTER PORCH BEAM ON CENTER OF COLUMNS.

4" REVEAL SMOOTH HARDIE-PLANK SIDING

BRUSHED CONCRETE PORCH FLOOR - W/ SPLIT FACE BLOCK FNDTN BELOW



FRONT ELEVATION



LEFT SIDE ELEVATION

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FRONT
LEFT
ELEVATIONS

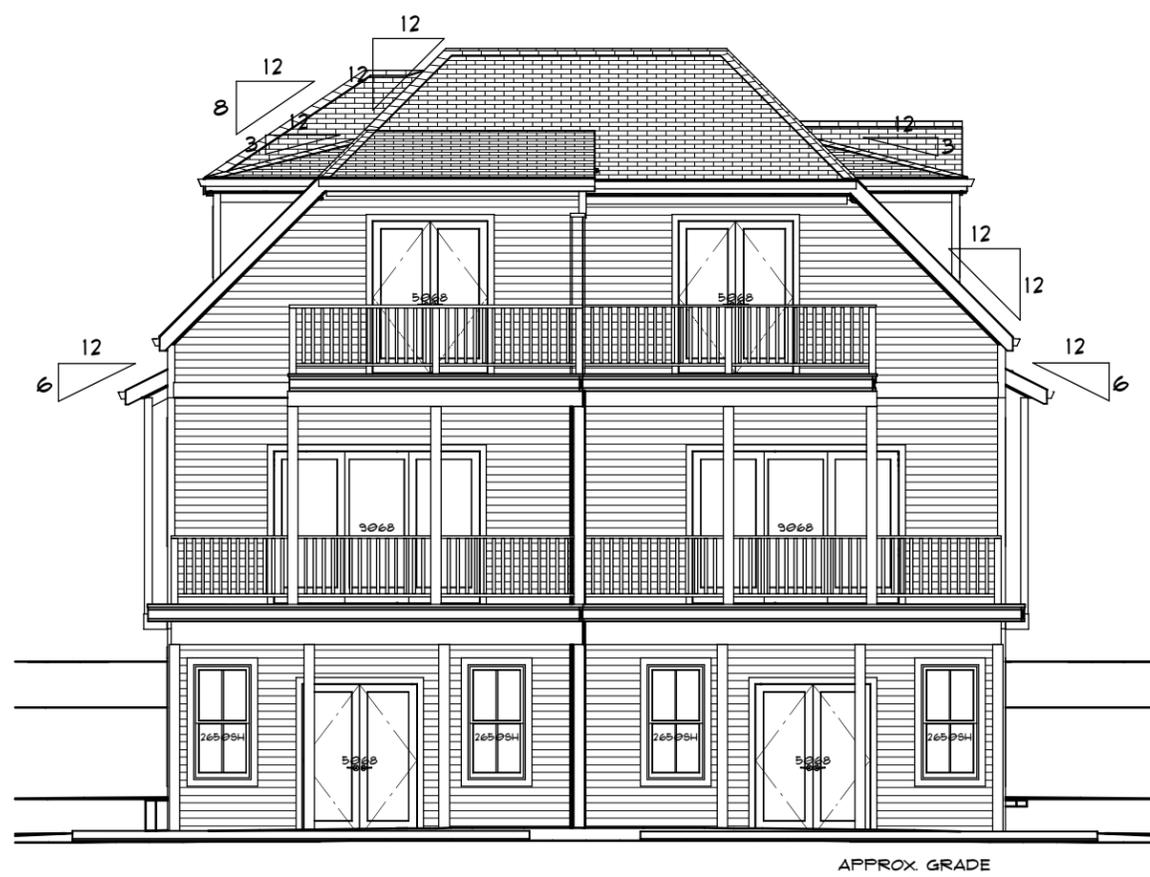
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RIGHT SIDE ELEVATION



REAR ELEVATION

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REAR
RIGHT
ELEVATIONS

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