

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1519 McKennie Avenue November 18, 2015

Application: Demolition; New construction - infill
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08302023700
Applicant: Scott Nicodemus, Developer
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to demolish a non-contributing house and to construct a new one and one half-story duplex.

Recommendation Summary: Staff recommends approval of the proposal to demolish the existing building and construct a new duplex with the conditions that:

- Staff verifies that the floor height is compatible with surrounding historic houses;
- The window and door selections are approved by Staff;
- The roof color is approved by Staff;
- The HVAC is located behind the structure or on the sides, beyond the mid-point of the structure.

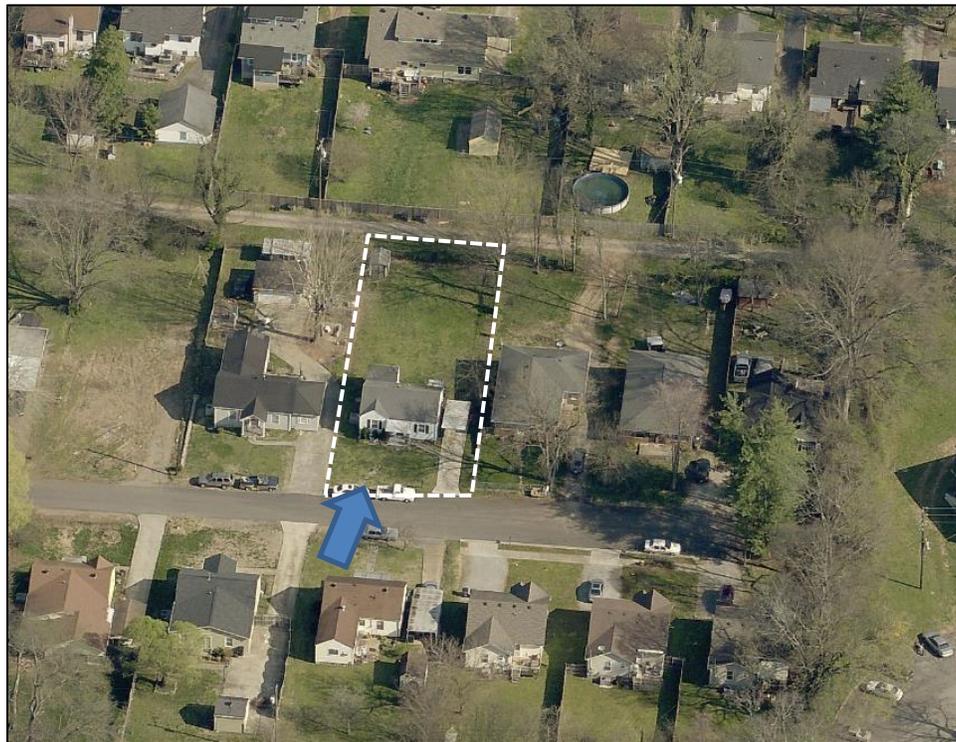
Meeting those conditions, Staff finds that the proposal meets the applicable design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux

shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall..

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

Background: 1519 McKennie Avenue was constructed c.1950 and does not contribute to the historic character of the district.

Analysis and Findings: The applicant proposes to demolish the non-contributing building and construct a new one and one-half story duplex.

Demolition: The existing building at 1519 McKennie Avenue is not compatible with the style, form, materials and detailing typical of the historic context of the neighborhood. Its synthetic exterior materials, one-over-one windows, and shallow eaves, are inconsistent with the predominant historic character of development for the neighborhood. Staff



therefore finds that the structure does not contribute to the architectural and historical character of the district, and that its demolition meets Section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

Height & Scale: The new building will be a one and one-half story duplex with a form similar to that of a side-gabled Craftsman house. The roof peak will be twenty-seven feet (27') above the finished floor level. With a twenty-four inch (24") tall foundation and a twelve inch (12") water table, the floor level would be three feet (3') above grade. These heights are compatible with nearby historic houses, which range from twenty-two feet (22') to thirty feet (30') tall from grade. During construction, Staff will verify that this floor height is compatible with surrounding historic houses.

The front façade of the building will be thirty-six feet (36') wide, with projecting bays on both sides expanding the total width to forty feet (40'). The majority of historic houses nearby range between thirty feet (30') and thirty-nine feet (39') wide; however, the context on this block of McKennie is more recent than the rest of the neighborhood, with wider lots and wider buildings than areas with stronger historic character.

Staff finds that the height and width of the proposed infill is appropriate and that the project meets sections II.B.1.a and II.B.1.b of the design guidelines.

Setback & Rhythm of Spacing: The front setback of the building will be approximately twenty-seven feet (27') to the leading edge of the porch, averaging the front setbacks of nearby houses. The side setbacks for the infill will be ten feet (10') on each side, although from the street it will appear as though they are greater because the building is four feet (4') narrower at the front than at the rear.

Staff finds that the new building will maintain the rhythm of spacing established by existing buildings on the street and that the project will meet section II.B.1.c of the design guidelines.

Materials: The new building will primarily be clad in smooth-faced cement fiberboard with a reveal of five inches (5"), and with cement-fiber board-and-batten siding as an accent material. The trim will be cement-fiberboard. The foundation will be split-faced concrete block and the roof will be asphalt shingles in a gray or brown color. The porch stairs and floor will be concrete, and the porch columns and railings will be wood. The windows and doors will be wood or aluminum-clad, and staff asks to approve the final window and door selections prior to purchase and installation. With the staff's final approval of the roof color and the windows and doors, staff finds that the known materials meet section II.B.1.d of the design guidelines.

Roof form: The primary roof of the building will be a side-oriented gable with a pitch of 7:12, with smaller gables projecting to the sides near the rear of the building. A pair of gabled dormers will be on the front slope of the roof, sitting four feet (4') below the primary ridge and two feet (2') back from the leading edge of the building as is typical of

historic dormers. Staff finds these roofs to be compatible with those of historic houses nearby and that the project meets section II.B.1.e of the design guidelines.

Orientation: The new building will face the street with a full-width porch with a pair of walkways leading to the right-of-way. A pair of uncovered paved parking pads will be constructed at the rear of the lot, accessed from the alley behind. Staff finds that this orientation of features is compatible with surrounding historic houses and that the project meets section II.B.1.f of the design guidelines.

Proportion and Rhythm of Openings: The windows on the proposed new building are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities: The location of the HVAC and other utilities was not indicated on the site plan. With a condition that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the structure, staff finds that the project meets section II.B.1.i of the design guidelines.

Recommendation:

Staff recommends approval of the proposal to demolish the existing building and construct a new duplex with the conditions that:

- Staff verifies that the floor height is compatible with surrounding historic houses;
- The window and door selections are approved by Staff;
- The roof color is approved by Staff;
- The HVAC is located behind the structure or on the sides, beyond the mid-point of the structure.

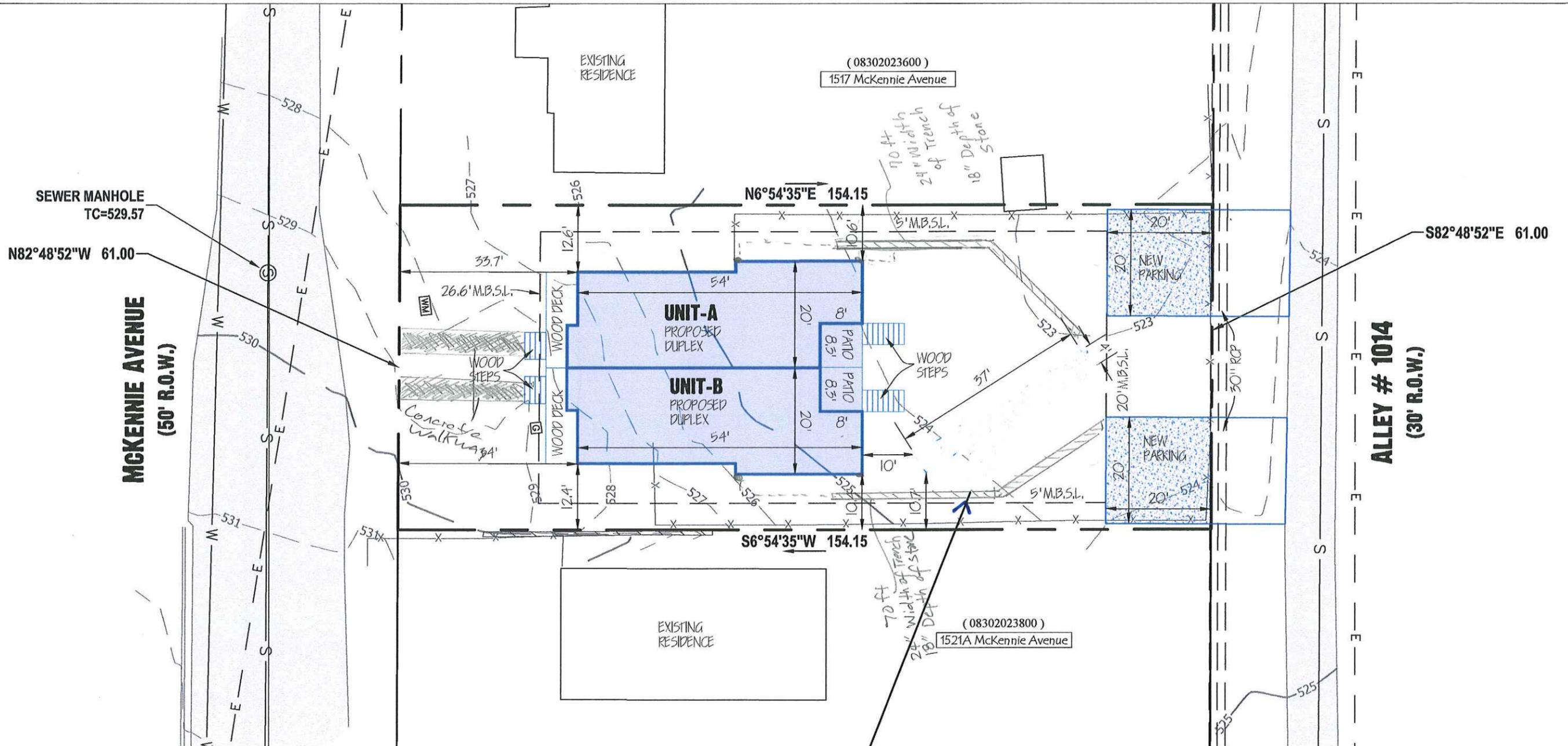
Meeting those conditions, Staff finds that the proposal meets the applicable design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.



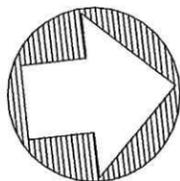
1519 McKennie Avenue, front.



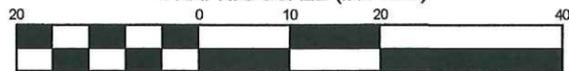
1517, 1519, 1521, and 1523 McKennie Avenue.



MODIFIED FRENCH DRAIN SYSTEM
 (2.0' x 74' @ 18" LOWER STONE DEPTH)
 DIVERT ALL ROOF DRAINAGE TOWARD MFD.
 DAYLIGHT DOWNHILL END OF PERFORATED PIPE.



GRAPHIC SCALE (IN FEET)



CLINT T. ELLIOTT
REGISTERED LAND SURVEYOR
 7930 Hwy 70 South, Nashville Tn, 37221
 p| (615) 533-2054
 e| clint@clintelliottsurvey.com

Site Plan
1519 A&B McKennie Avenue
Nashville, Davidson County, Tennessee

Sheet No.

V-2.1

GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO FIELD LOCATE ALL UTILITIES. LOCATIONS OF UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. UTILITIES SHOWN DO NOT NECESSARILY REPRESENT ALL UTILITIES, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION.
- THIS PROJECT IS GOVERNED BY THE 2006 INTERNATIONAL BUILDING CODE AS ADOPTED BY DAVIDSON COUNTY, ALONG WITH ALL OTHER DEVELOPMENT CODES SET FORTH BY DAVIDSON COUNTY, THE LOCAL SEWER AUTHORITY, THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE REQUIRED TO OBTAIN ALL NECESSARY PERMITS, APPROVALS AND SATISFY ALL OF THE CODES APPLICABLE TO THE PROJECT.
- VERIFY ALL DIMENSIONS, CONDITIONS AND UTILITY LOCATIONS ON THE JOB PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF MAINS AND/OR SERVICE STUBS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS FOR CLARIFICATION FROM THE ARCHITECT.
- EXISTING TOPOGRAPHY IS BASED ON A FIELD SURVEY BY CLINT T. ELLIOTT.
- THROUGHOUT CONSTRUCTION THE CONTRACTOR SHALL INSTALL AND MONITOR SEDIMENT BARRIERS AND OTHER SEDIMENT CONTROL MEASURES, CLEANING THEM OUT AS NECESSARY TO PREVENT THE RELEASE OF SEDIMENT FROM THE SITE AND TO FULLY COMPLY WITH ANY OFF-SITE DISCHARGE REQUIREMENTS OF THE REQUISITE JURISDICTION AND/OR PERMITTING AGENCY.
- ALL UTILITIES SHALL BE BURIED UNDERGROUND USING A COMMON TRENCH, WHERE APPLICABLE.
- BUILDING ORIENTATION AND LOCATION TO BE FIELD VERIFIED ON SITE BY THE ARCHITECT AND THE OWNER PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL SURVEYED PLACEMENT OF THE BUILDING(S) AND ASSOCIATED STRUCTURES AND FACILITIES ON THE SITE.
- PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY, ALL LANDS DISTURBED BY CONSTRUCTION NEED TO BE RAKED AND RESEED TO MATCH EXISTING PRE-CONSTRUCTION VEGETATION.
- SLOPE FINISH GRADE AWAY FROM BUILDINGS/STRUCTURES AT A MINIMUM 1/2 INCH PER FOOT AND A MAXIMUM SLOPE OF 1:2.
- CONTRACTORS/BIDDERS ARE REQUIRED TO VISIT THE SITE AND VERIFY CONDITIONS PRIOR TO SUBMITTING BIDS.
- INSTALLATION AND MAINTENANCE OF CONSTRUCTION FENCING IN ACCORDANCE WITH THIS PLAN IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- PRIOR TO SITE CLEARING AND GRADING, THE SITE'S VEGETATION SHALL BE SURVEYED AND LOCATED RELATIVE TO THE BUILDING'S ROOF PLAN FOOTPRINT EXTENDED OUTWARD AN ADDITIONAL FIVE (5) FEET IN ALL DIRECTIONS. VEGETATION WITHIN THIS FOOTPRINT SHALL BE REMOVED TO FACILITATE CONSTRUCTION. VEGETATION OUTSIDE THIS FOOTPRINT SHALL BE REVIEWED BY THE OWNER TO DETERMINE NECESSARY PROTECTIVE MEASURES (SELECTIVE THINNING, FENCING, ETC.) DURING CONSTRUCTION AND INCORPORATION OF THIS VEGETATION INTO THE SITE REGARDING REGRADING AND LANDSCAPING. TREES SHALL BE FENCED TO A MINIMUM POINT CONSISTENT WITH THE TREE CROWN'S DRIP LINE. GROUND AREA WITHIN THE DRIP LINE SHALL BE PROTECTED AND SHALL NOT BE COMPACTED BY VEHICULAR TRAFFIC OR BY STORAGE OF CONSTRUCTION MATERIALS.
- ALL SITE PLAN INFORMATION PROVIDED BY THE SURVEYOR SHALL BE CONSIDERED VERIFIED AS ACCURATE AND COMPLETE BY THE SURVEYOR. THE ARCHITECT TAKES NO RESPONSIBILITY SHOULD THE INFORMATION THAT THIS SITE PLAN WAS BASED ON BE INACCURATE.
- THE GENERAL CONTRACTOR SHALL PROVIDE DRAINAGE SWALES TO ACCOMMODATE EXISTING NATURAL DRAINAGE AS WELL AS ANY DRAINAGE INCREASES CREATED BY THE NEW GRADE CHANGES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY DISCREPANCY EXISTS BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO MOVING FORWARD. FAILING TO GIVE NOTICE SHALL RELIEVE ARCHITECT OF ALL RESPONSIBILITY.
- ALL CONTENT CONTAINED HEREIN IS THE SOLE PROPERTY OF GARRETT BJORK, AND SHALL NOT BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF GARRETT BJORK.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSIONS AT ALL TIMES. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR CLARIFICATION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCY EXISTS BETWEEN URBAN LOT DIMENSIONS TO GRADENOTED DIMENSIONS. RELIEVE THE ARCHITECT OF ALL RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT OR STRUCTURAL ENGINEER.
- SUBSTITUTIONS FOR ANY OF THE ITEMS OR PRODUCTS SPECIFIED HEREIN FOR ITEMS OF EQUIVALENT VALUE MAY BE MADE WITH WRITTEN CONSENT FROM THE ARCHITECT AND OR STRUCTURAL ENGINEER.
- THE RESOLUTION OF ANY ISSUE DESCRIBED HEREIN WHICH IMPACTS EITHER THE PROJECT'S BUDGET OR SCHEDULE MUST BE APPROVED VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. ANY WORK THAT IS EXECUTED TO ENDS CONTRARY TO THE INFORMATION CONTAINED IN THESE DRAWINGS AND WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT IS UNAUTHORIZED AND RELEASES THE ARCHITECT FROM ALL RESPONSIBILITY OF ANY CONSEQUENCES OF SUCH ACTIONS.
- THE INSTRUCTIONS CONTAINED IN THESE DRAWINGS DO NOT INCLUDE PROVISIONS FOR WORKER SAFETY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE EXECUTION OF THIS PROJECT MEETS ALL APPLICABLE REGULATIONS AND LAWS FOR CONSTRUCTION SAFETY.
- CONTRACTOR SHALL DIRECTLY FOLLOW THE MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS FOR THE PROPER USE AND INSTALLATION OF ALL BUILDING MATERIALS ASSOCIATED WITH THIS PROJECT. INSTALLATION OR USE CONTRARY TO THE MANUFACTURERS' RECOMMENDATIONS IS UNAUTHORIZED AND RELEASES THE ARCHITECT FROM ALL RESPONSIBILITY OF ANY CONSEQUENCES OF SUCH ACTIONS.
- GEOTECHNICAL EXPLORATION STUDY IS HEREBY INCORPORATED BY REFERENCE INTO THIS SET OF CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS, CONDITIONS AND SPECIFICATIONS CONTAINED IN THIS STUDY.
- THE SUMMIT SUSTAINABLE BUILDING CODE CHECKLIST FOR THIS PROJECT IS HEREBY INCORPORATED BY REFERENCE INTO THIS SET OF CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS CONTAINED IN THE CHECKLIST. NO VARIATIONS ARE AUTHORIZED WITHOUT REVIEW AND APPROVAL BY ARCHITECT.
- THE CONTRACTOR WARRANTS TO GARRETT BJORK, THAT HE/SHE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ARCHITECTURAL SERVICES, AND, FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OWN COMPETENCE, THE CONTRACTOR OR OWNER HAS RESTRICTED GARRETT BJORK, IN SCOPE OF PROFESSIONAL SERVICES, IN RELIANCE ON THE CONTRACTOR'S WARRANTY AND AT THE EXPRESS REQUEST OF THE CONTRACTOR OR OWNER, GARRETT BJORK, HAS UNDERTAKEN A LIMITED SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTOR'S QUALIFICATIONS. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDER'S PLANS". IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR THE OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE SHALL IMMEDIATELY NOTIFY GARRETT BJORK. FAILURE TO GIVE NOTICE SHALL RELIEVE GARRETT BJORK OF RESPONSIBILITY FOR THE CONSEQUENCES. ANY DISCREPANCY OR AMBIGUITY DISCOVERED BY THE USE OF THESE PLANS SHALL BE IMMEDIATELY REPORTED TO GARRETT BJORK. CHANGES TO THESE PLANS BY ANY PARTY OTHER THAN GARRETT BJORK ARE UNAUTHORIZED, AND SHALL RELIEVE GARRETT BJORK OF RESPONSIBILITY FOR CONSEQUENCES.



LEGEND:

	ELEVATION DATUM LOCATION ELEVATION
	SITE ELEVATION DATUM
	FLOOR ELEVATION CHANGE
	FLOOR MATERIAL CHANGE
	BUILDING SECTION IDENTIFICATION DETAIL NUMBER SHEET NUMBER
	DETAIL IDENTIFICATION DETAIL NUMBER SHEET NUMBER
	STRUCTURAL GRID COLUMN NUMBER
	FROST PROOF HOSE BIB
	6" CONCRETE WALL
	5 1/2" WOOD FRAMED WALL
	3 1/2" WOOD FRAMED WALL
	1 1/2" WOOD FRAMED WALL
	WOOD FRAMED HALF WALL
	8" CONCRETE WALL WITH 6" STONE VENEER
	5 1/2" WOOD FRAMED WALL WITH 6" STONE VENEER

DOOR AND WINDOW SCHEDULE:

LOWER LEVEL DOOR SCHEDULE UNIT A					LOWER LEVEL DOOR SCHEDULE UNIT B				
DOOR	DIMENSION (WxH)	STYLE	SWING	QUANTITY	DOOR	DIMENSION (WxH)	STYLE	SWING	QUANTITY
A	3'-0" x 6'-8"	EXTERIOR CRAFTSMAN	RH	2	B	3'-0" x 6'-8"	EXTERIOR CRAFTSMAN	LH	2
C	2'-6" x 6'-8"	INT. STANDARD	LH	2	D	2'-6" x 6'-8"	INT. STANDARD	RH	2
E	2'-6" x 6'-8"	INT. STANDARD	RH	2	F	2'-6" x 6'-8"	INT. STANDARD	LH	1
G	5'-0" x 6'-8"	STANDARD DOUBLE		1	G	5'-0" x 6'-8"	STANDARD DOUBLE		1

UPPER LEVEL DOOR SCHEDULE UNIT A					UPPER LEVEL DOOR SCHEDULE UNIT B				
DOOR	DIMENSION (WxH)	STYLE	SWING	QUANTITY	DOOR	DIMENSION (WxH)	STYLE	SWING	QUANTITY
C	2'-6" x 6'-8"	INT. STANDARD	LH	2	D	2'-6" x 6'-8"	INT. STANDARD	RH	2
D	2'-6" x 6'-8"	INT. STANDARD	RH	2	E	5'-0" x 6'-8"	STANDARD DOUBLE		1
G	5'-0" x 6'-8"	STANDARD DOUBLE		1	H	2'-6" x 6'-8"	INT. POCKET		2

LOWER LEVEL WINDOW SCHEDULE UNIT A				LOWER LEVEL WINDOW SCHEDULE UNIT B			
WINDOW	DIMENSION (WxH)	STYLE	QUANTITY	WINDOW	DIMENSION (WxH)	STYLE	QUANTITY
1	2'-6" x 4'-0"	DOUBLE HUNG	3	1	2'-6" x 4'-0"	DOUBLE HUNG	3
2	2'-0" x 4'-0"	DOUBLE HUNG	2	2	2'-0" x 4'-0"	DOUBLE HUNG	2
3	3'-0" x 4'-0"	DOUBLE HUNG	2	3	3'-0" x 4'-0"	DOUBLE HUNG	2
4	3'-0" x 6'-8"	FIXED TRANSOM	2	4	3'-0" x 6'-8"	FIXED TRANSOM	2
6	3'-0" x 6'-8"	DOUBLE HUNG DIV. LIGHT	2	6	3'-0" x 6'-8"	DOUBLE HUNG DIV. LIGHT	2

UPPER LEVEL WINDOW SCHEDULE UNIT A				UPPER LEVEL WINDOW SCHEDULE UNIT B			
WINDOW	DIMENSION (WxH)	STYLE	QUANTITY	WINDOW	DIMENSION (WxH)	STYLE	QUANTITY
1	2'-6" x 4'-0"	DOUBLE HUNG	4	1	2'-6" x 4'-0"	DOUBLE HUNG	4
5	2'-0" x 2'-0"	FIXED	1	5	2'-0" x 2'-0"	FIXED	1
7	2'-6" x 4'-0"	DOUBLE HUNG DIV. LIGHT	2	7	2'-6" x 4'-0"	DOUBLE HUNG DIV. LIGHT	2

SHEET INDEX:

T-1.0	COVER SHEET & GENERAL INFORMATION
A-1.0	FOUNDATION PLAN
A-1.0	LOWER LEVEL PLAN
A-1.1	UPPER LEVEL PLAN
A-1.1	ROOF PLAN
A-2.0	EXTERIOR ELEVATIONS
A-2.1	EXTERIOR ELEVATIONS

MATERIAL SCHEDULE:

SIDING AND TRIM MATERIALS AND COLORS TO BE DECIDED BY OWNER AND INTERIOR DESIGN TEAM

PROJECT TEAM:

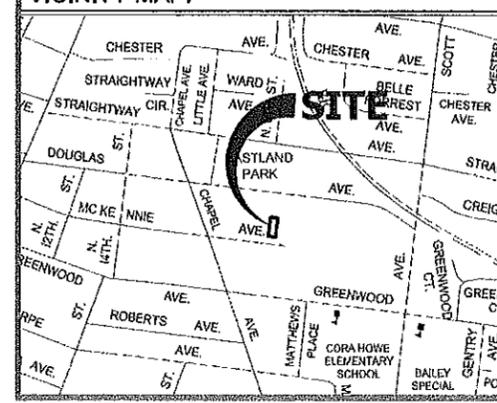
ARCHITECTURAL DESIGNER
 GARRETT BJORK
 3514 HEWLETT DR.
 NASHVILLE, TN 37211
 970.977.1091
 garrett.bjork@gmail.com

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 scott@franklinmercer.com

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 REGISTERED LAND SURVEYOR
 7930 HWY 70 SOUTH
 NASHVILLE, TN 37221
 615.533.2054
 clintellott@comcast.net

VICINITY MAP:



1519 MCKENNIE AVE
 NASHVILLE, TN 37206
 HISTORICAL 2-FAMILY RESIDENCE

DESIGN FOR:
 FRANKLIN MERCER DEVELOPMENT

DESIGN BY:
 GARRETT BJORK
 ARCHITECTURAL DESIGN AND DRAFTING
 970.977.1091
 garrett.bjork@gmail.com

OWNER:
 FRANKLIN MERCER DEVELOPMENT
 2550 MERIDIAN BLVD. #200
 FRANKLIN, TN 37067
 615.495.4460
 scott@franklinmercer.com

CONTRACTOR:
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PROJECT NUMBER:
2015-09.1

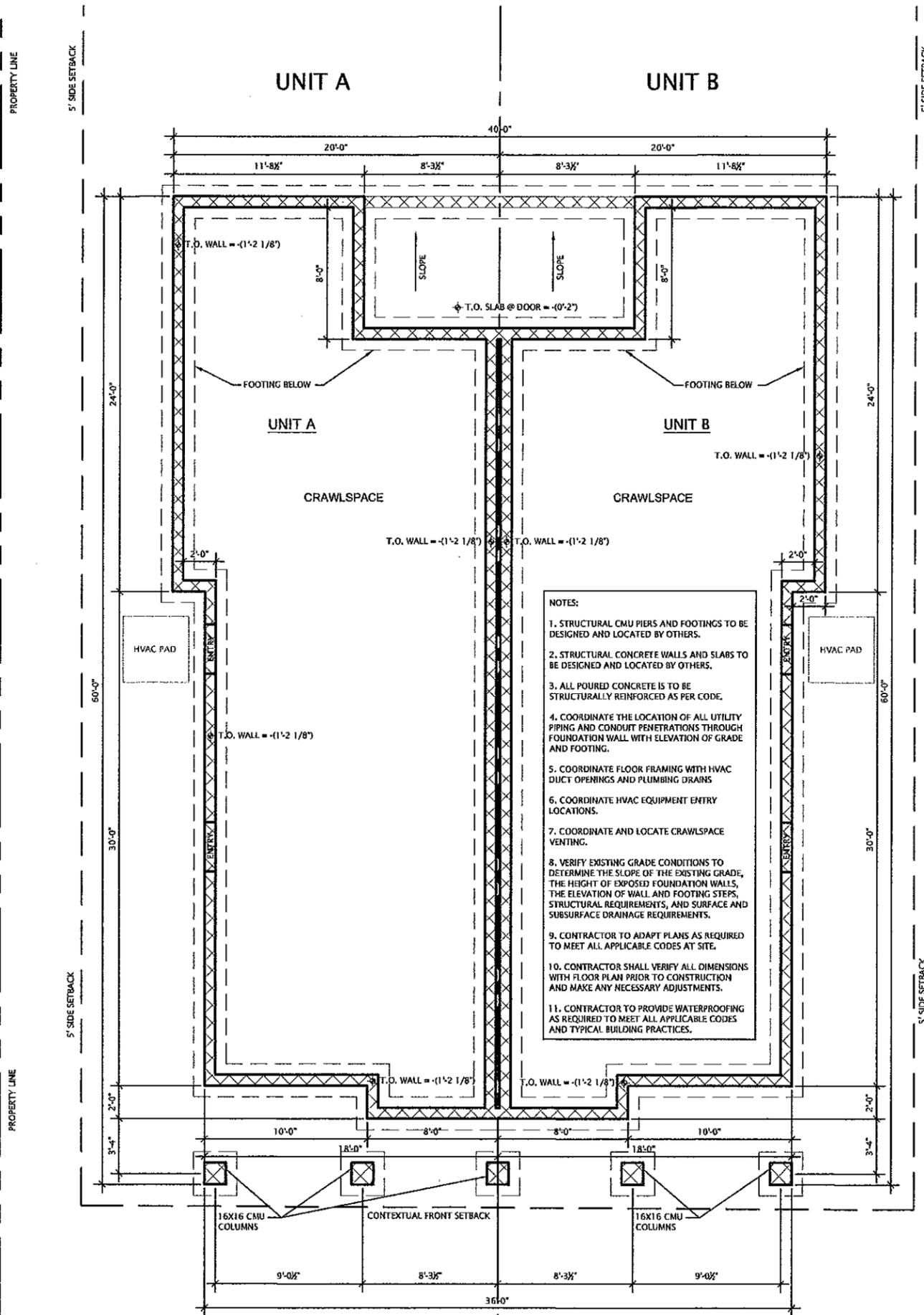
REVISIONS

NO.	DESCRIPTION	DATE

PROJECT PHASE:
CONSTRUCTION DOCUMENTS 100%

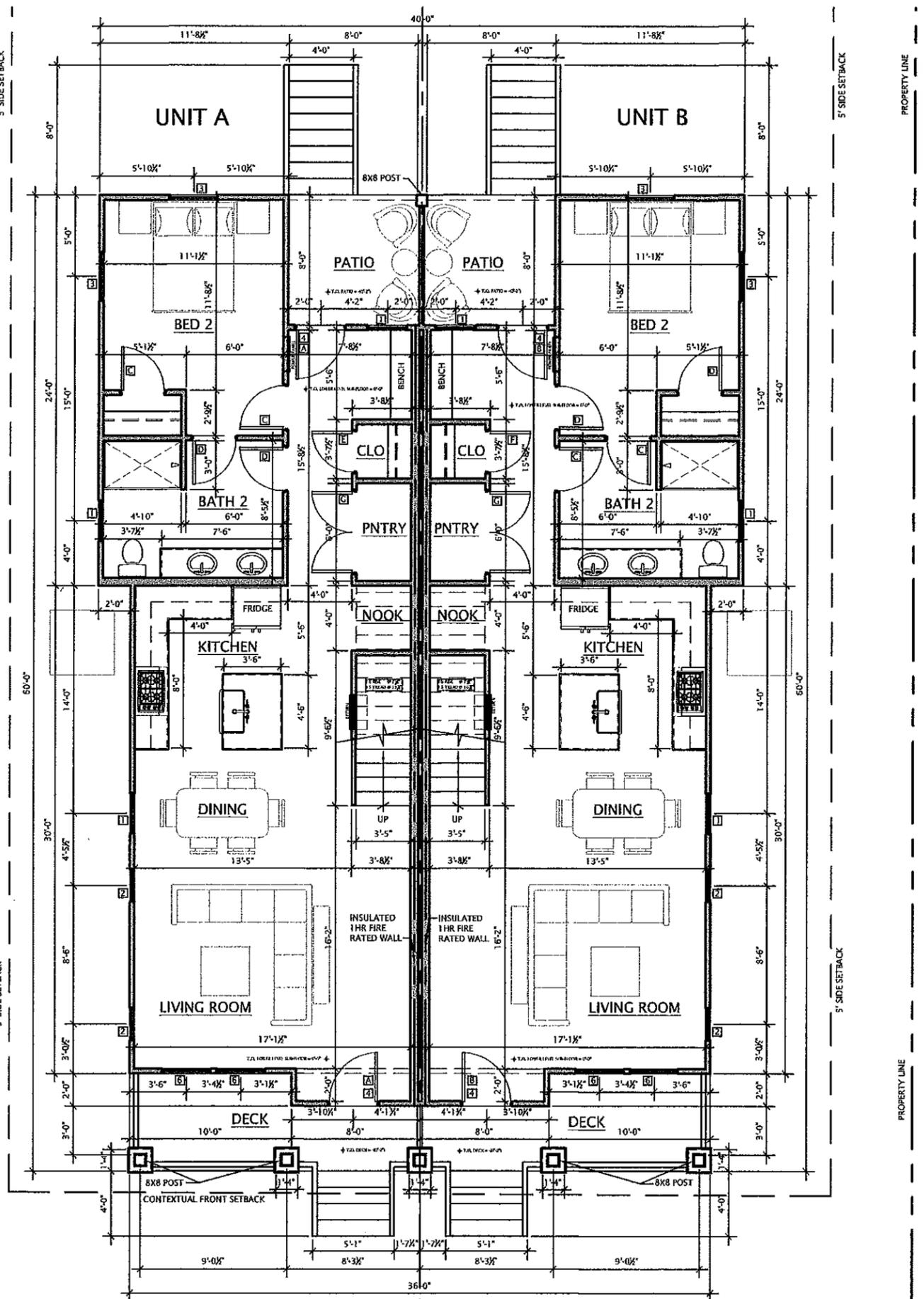
DATE: 10.23.15

T-1.0



1 FOUNDATION PLAN

A-1.0 1/8" = 1' 0"



2 LOWER LEVEL PLAN

A-1.0 1/8" = 1' 0"



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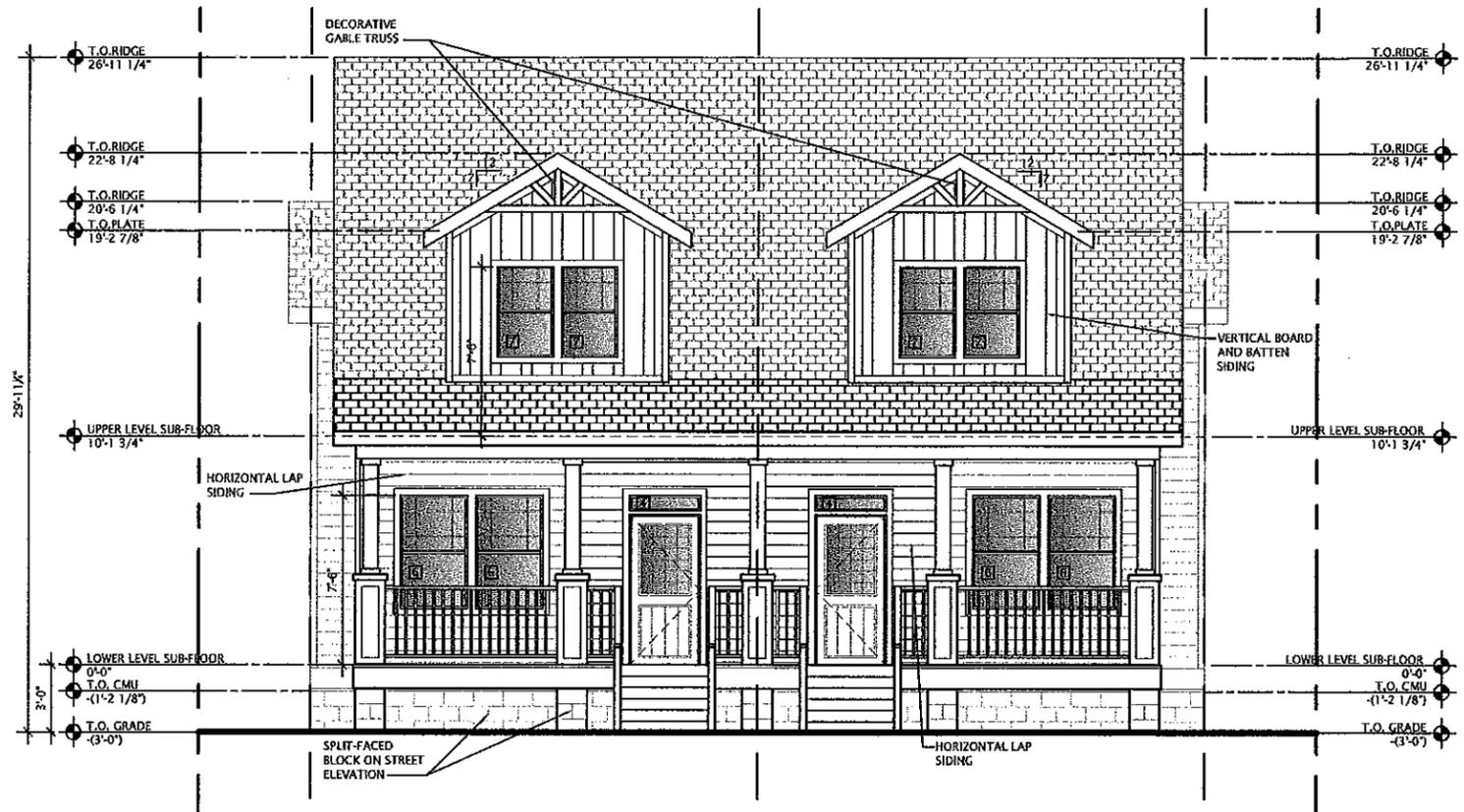
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#	DESCRIPTION	DATE

PROJECT PHASE:
CONSTRUCTION DOCUMENTS 100%

DATE: 10.23.15

A-1.0



1 | SOUTH ELEVATION
A-2.0 | 1/8" = 1' 0"



2 | NORTH ELEVATION
A-2.0 | 1/8" = 1' 0"



1519 MCKENNIE AVE
NASHVILLE, TN 37206
HISTORICAL 2-FAMILY RESIDENCE

DESIGN FOR:
FRANKLIN
MERCER
DEVELOPMENT

DESIGN BY:
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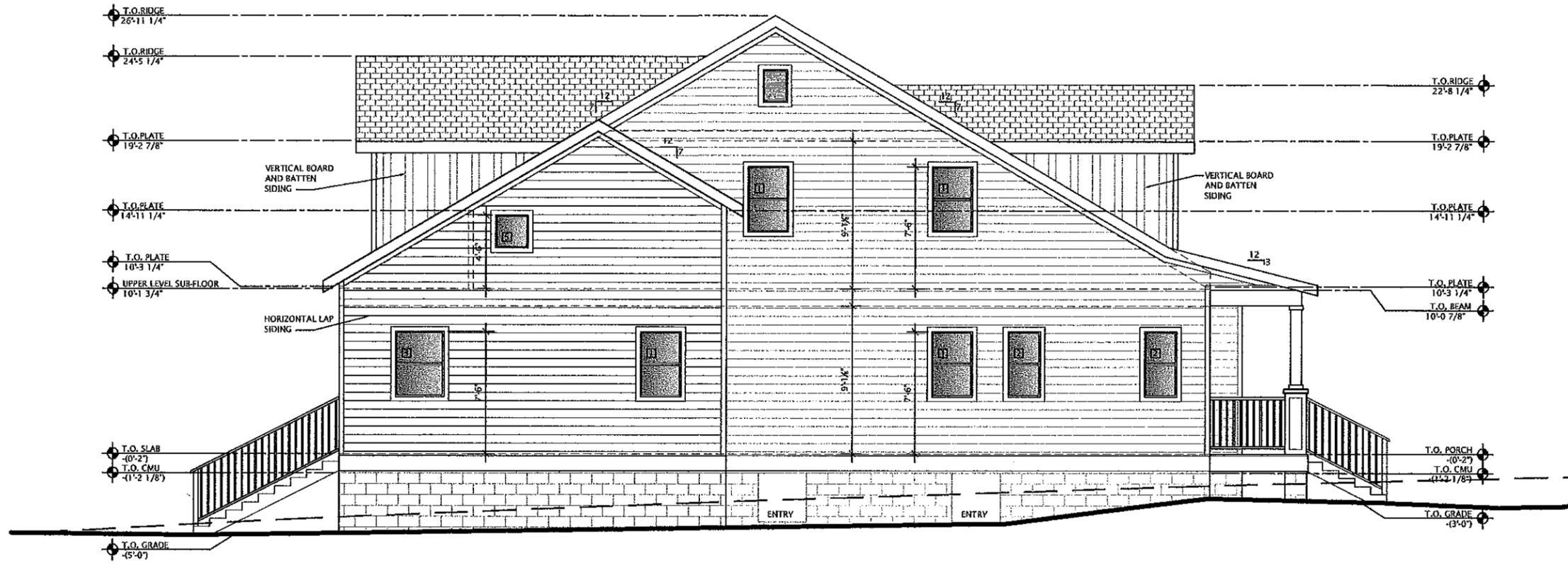
PROJECT NUMBER:
2015-09.1

REVISIONS		
#	DESCRIPTION	DATE

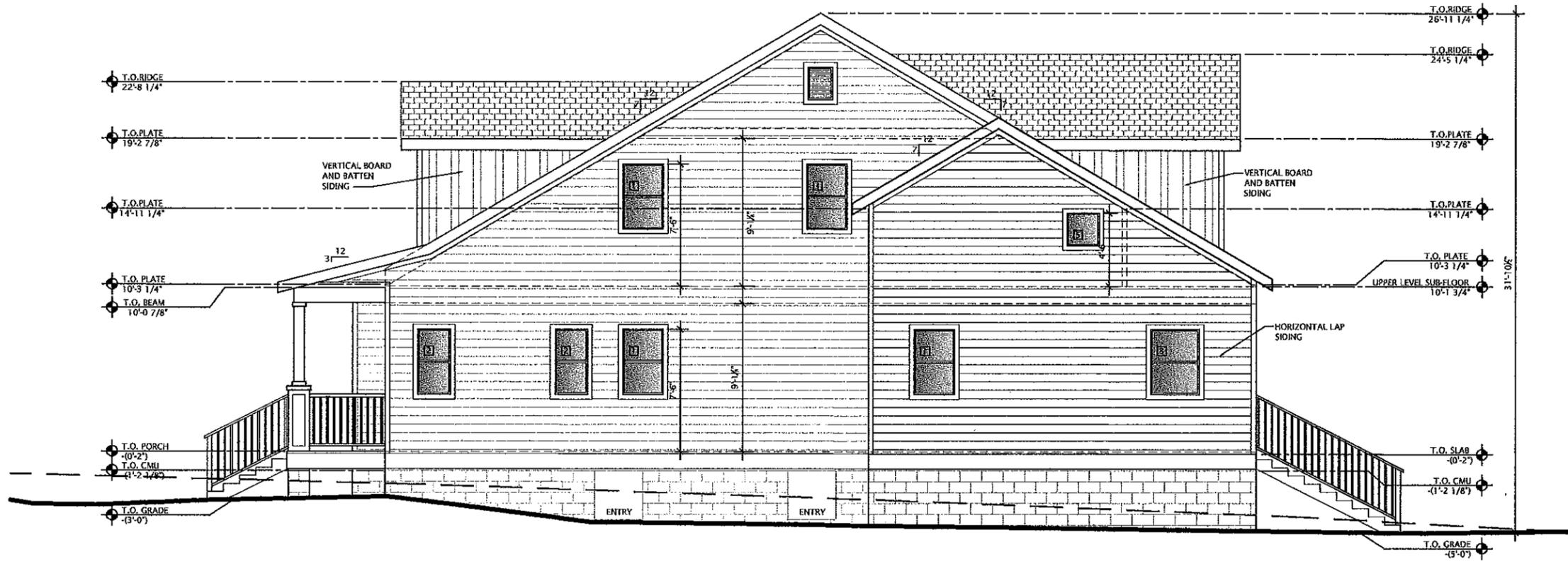
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CONSTRUCTION DOCUMENTS
100%

DATE: 10.23.15

A-2.0



1 | WEST ELEVATION
A-2.1 | 1/8" = 1' 0"



2 | EAST ELEVATION
A-2.1 | 1/8" = 1' 0"



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HISTORICAL 2-FAMILY RESIDENCE

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2015-09.1

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PROJECT PHASE:
CONSTRUCTION
COMPLETION
100%

DATE: 10.23.15