



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
1521 Fatherland Street
November 18, 2015

Application: New construction—infill; Setback determination
District: Lockland Springs – East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313040400
Applicant: John Root
Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

Description of Project: The applicant proposes to construct a new two-story house on a vacant lot. The request includes a setback determination to reduce a portion of the side setback on South 16th Street from ten feet (10') to seven feet, six inches (7' 5"). The garage shown on the site plans is not a part of the current request.

Recommendation Summary: Staff recommends approval of the application with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
4. Staff approve the roof color.

With these conditions, Staff finds that the proposed demolition and infill will meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

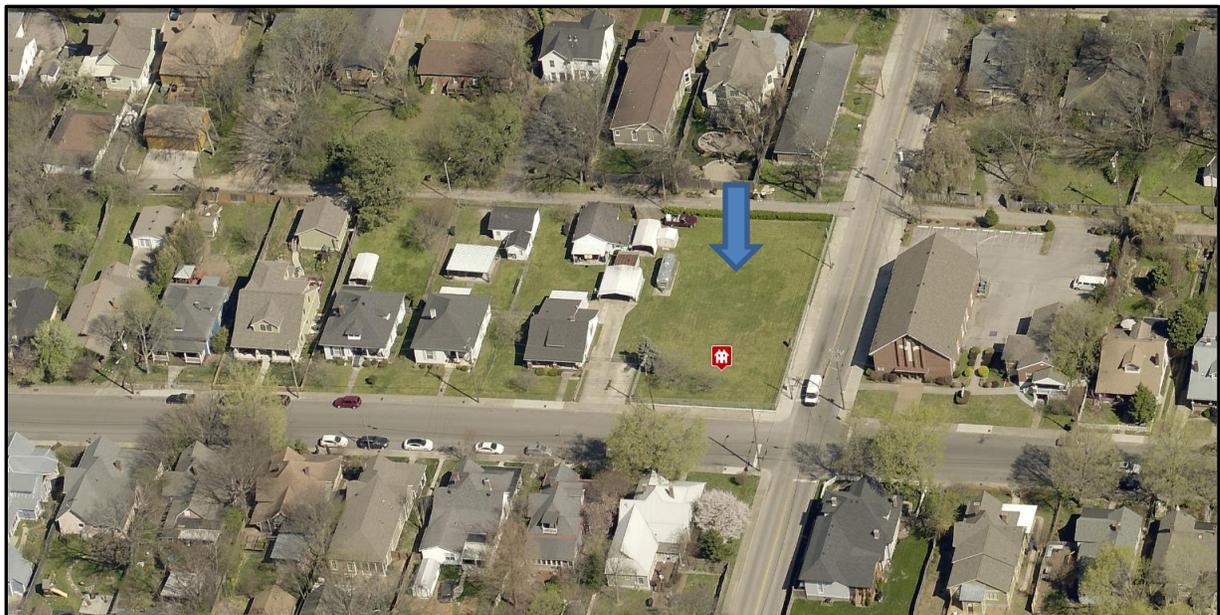
Attachments

- A:** Photographs
- B:** Public Comment
- C:** Site Plan
- D:** Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

1. Height

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.

2. Scale

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

3. Setback and Rhythm of Spacing

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.
6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*

- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

5. Roof Shape

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic* buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Background: The applicant proposes a new single-family residence at 1521 Fatherland street. The lot is currently vacant located at the southwest corner of the intersection of South Sixteenth Street and Fatherland Street (See Figure 1). The lot is a corner lot with rear alley access and is served by an existing sidewalk network. On October 1, 2015, a final plat was recorded that subdivided the existing lot into two lots.



Figure 1. 1521 Fatherland Street, vacant lot

The Commission disapproved a plan for this site at the October 2015 meeting, finding that the massing was larger than the historic residential context. The plan has been revised to reduce the overall height and eave heights of the house so that the house is one and one-half stories, as opposed to the previously proposed two stories. Also, the depth of the house has been reduced so that it does not appear as off-center from the side street.

Analysis and Findings:

Height & Scale: The proposed building is one and one-half stories and twenty-five feet, nine inches (25' 9") tall from the finished floor. The foundation height ranges from approximately twelve inches (12") to thirty inches (30") at the front. Homes in the immediate context range between sixteen and twenty-eight feet (16'-28') from grade and are primarily one to one and one-half stories.

The proposed width of the house is eighteen feet (18') at the closest point to the street and increases to twenty-three feet, six inches (23' 6") at the front setback. The maximum width of the house is thirty-four feet (34') and steps back approximately forty feet (40') from the front property line. Staff finds that this is compatible with the immediate contextual area, where building widths range from twenty-eight feet (28') to forty-five feet (45').

Staff finds that the height and scale of the proposed one-and-a-half story house is compatible with surrounding buildings and meets Sections II.B.1 and II.B.2. of the design guidelines.

Setback & Rhythm of Spacing: The front setback of twenty-four feet (24') is consistent with the setback of existing homes on the street. The side setbacks are five feet (5') on the left side, and seven feet, five inches (7' 5") on the right side, at its closest point. As the house is located on a corner lot, the minimum setback on the side street is ten feet (10'). Staff finds that reducing this side setback to seven feet, five inches (7' 5") is appropriate for several reasons. The proposed side setback is consistent with the existing structure

located across the alley at the rear of the site, and the part of the building located closest to South Sixteenth Street is located approximately one hundred feet (100') from the front property line along Fatherland Street. For these reasons, staff finds that the requested setback reduction is consistent with the surrounding context and will not have a significant impact given the location. The building will be approximately sixty feet (57') from the rear property line. The project meets base setback requirements and section II.B.1.c of the design guidelines.

Materials: The exterior materials will include a split-faced concrete block foundation and lap siding. The primary roofing material will be asphalt shingles, and the porch roof is standing seam metal roofing. The plan incorporates a cypress siding accent on both sides of the front door as well as part of the right side façade which is visible from Fatherland Street. The color of the roof is not known. The siding will have a twelve inch (12") reveal on the lowest six courses, with the remaining majority of the siding having a five inch (5") reveal. Although a five inch (5") reveal is typically required, the Commission has approved greater reveals when used as an accent. The exterior trim, including corner boards, window casings, and porch columns will be cement board and steel. The porch floor is concrete. The windows will be Ultrex or metal clad wood, which is a fiberglass material, and is appropriate. The proposed chimney will be clad in brick. With a condition that the roof color, masonry and the final selections of windows and doors are approved administratively, Staff finds that the known materials of the proposal meet Section II.B.4. of the design guidelines.

Roof Shape: The roof form will be cross-gable. The front-facing gable will have a 12:12 pitch, and the rear and side facing gables will also have a 12:12 pitch. The front shed dormer will have a pitch of 4:12. These roof forms are compatible with those of surrounding houses. Staff finds that the infill meets Section II.B.5. of the design guidelines.

Rhythm and Proportion of Openings: The windows on the house will be generally twice as tall as they are wide. Paired windows have four to six inch (4"-6") mullions between them, also as seen historically. The plan does not include any expanse greater than eleven feet (11') without an opening on any of the primary elevations. Staff finds that the proposal meets Section II.B.7. of the design guidelines with the condition recommended by Staff.

Orientation: The house will be oriented with its front porch parallel to the street, but shifts so that the house is off-center on the lot in order to provide useable rear yard. Staff finds that this configuration is appropriate as the house will be orientated to Fatherland Street, and the portion of the house in the rear that is closest to South Sixteenth Street will be obscured by the bump-out closer to the front of the house. For these reasons, it is unlikely that the off-center orientation will have a significant visual impact from the street. The front porch will have a minimum depth of six feet, four inches (6'4"). Vehicular access will be via the alley located at the rear of the property. The garage shown on the site plan is not part of this request and may be submitted in the future. A walkway will connect the house to the street. The project meets section II.B.1.f.

Appurtenances & Utilities: The location of the HVAC and other utilities was not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. With this condition the project meets section II.B.1. i.

Recommendation Summary: Staff recommends approval of the application with the following conditions:

1. The finished floor height be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
3. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
4. Staff approve the roof color.

With these conditions, Staff finds that the proposed demolition and infill will meet Section II.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Context Photos:



1515 and 1520 Fatherland Street, across the street from 1521 Fatherland Street



1515 and 1517 Fatherland Street, to the left of 1521 Fatherland Street on the same blockface



Church located at 1601 Fatherland Street, across South 16th Street from 1521 Fatherland Street

PUBLIC COMMENT

Members of Metropolitan Historic Zoning Commission
c/o Robin Zeigler, Historic Zoning Administrator.

RE: 1521 Fatherland Street Revision s

Members of the Commission,

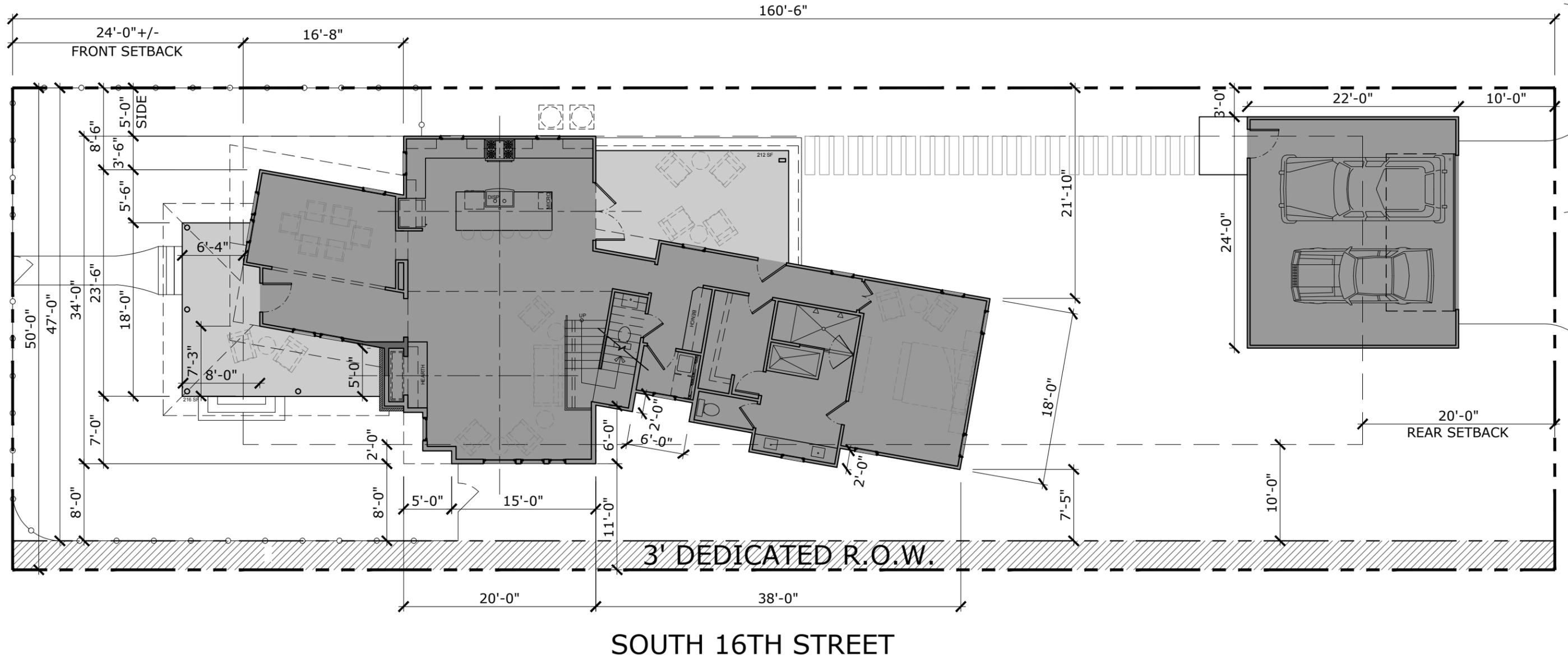
Revisions were circulated to me, and others, and these are my comments:

1. I can't tell from the drawings, without the surrounding context, how the height issue has been addressed, so I trust y'all will make that determination with Mr. Root, the Architect. .
2. The catty-wompus location violates the design Guidelines for "orientation". Though not an official architectural or historic term, I think you get what I'm referring to: the skewed orientation does NOT support the rhythm of the street, as established by the existing structures. It's not your fault there isn't enough room in the back yard for the seating arrangement Mr. Root has included when the orientation is corrected. But it IS your responsibility to enforce the Guidelines.
3. The siding reduction from 12" down to 4" is not consistent to the design Guidelines that is limited to 7" exposure. There is no historic evidence of this type application, and it's very unsettling visually, even if it's considered an "accent". Please stop this before there is any more allowed—again, enforcing the Guidelines.

Keep up the good work, y'all. We depend on each and every one of you to enforce the Guidelines for all our Districts.

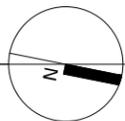
Carol Norton
Historic Edgefield

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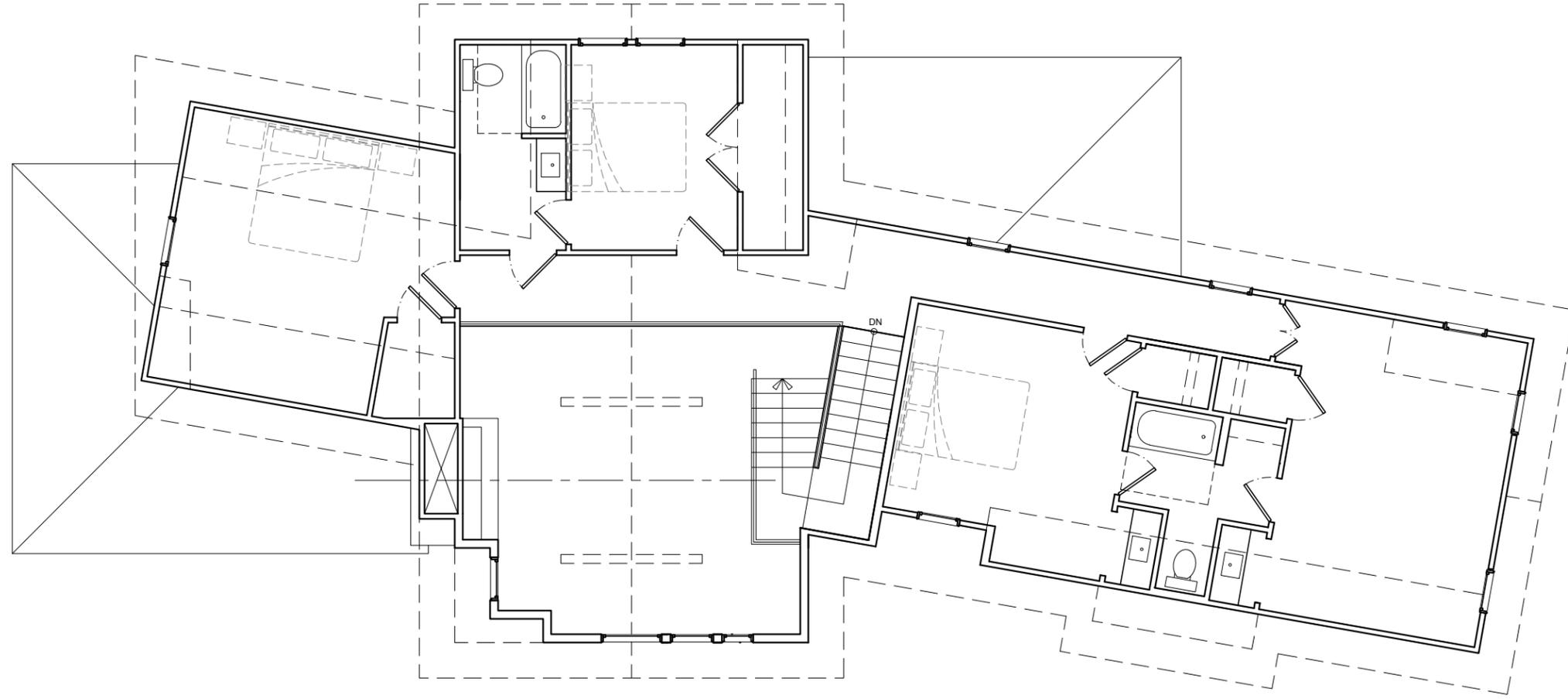


SITE PLAN

3/32" = 1'-0"

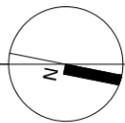


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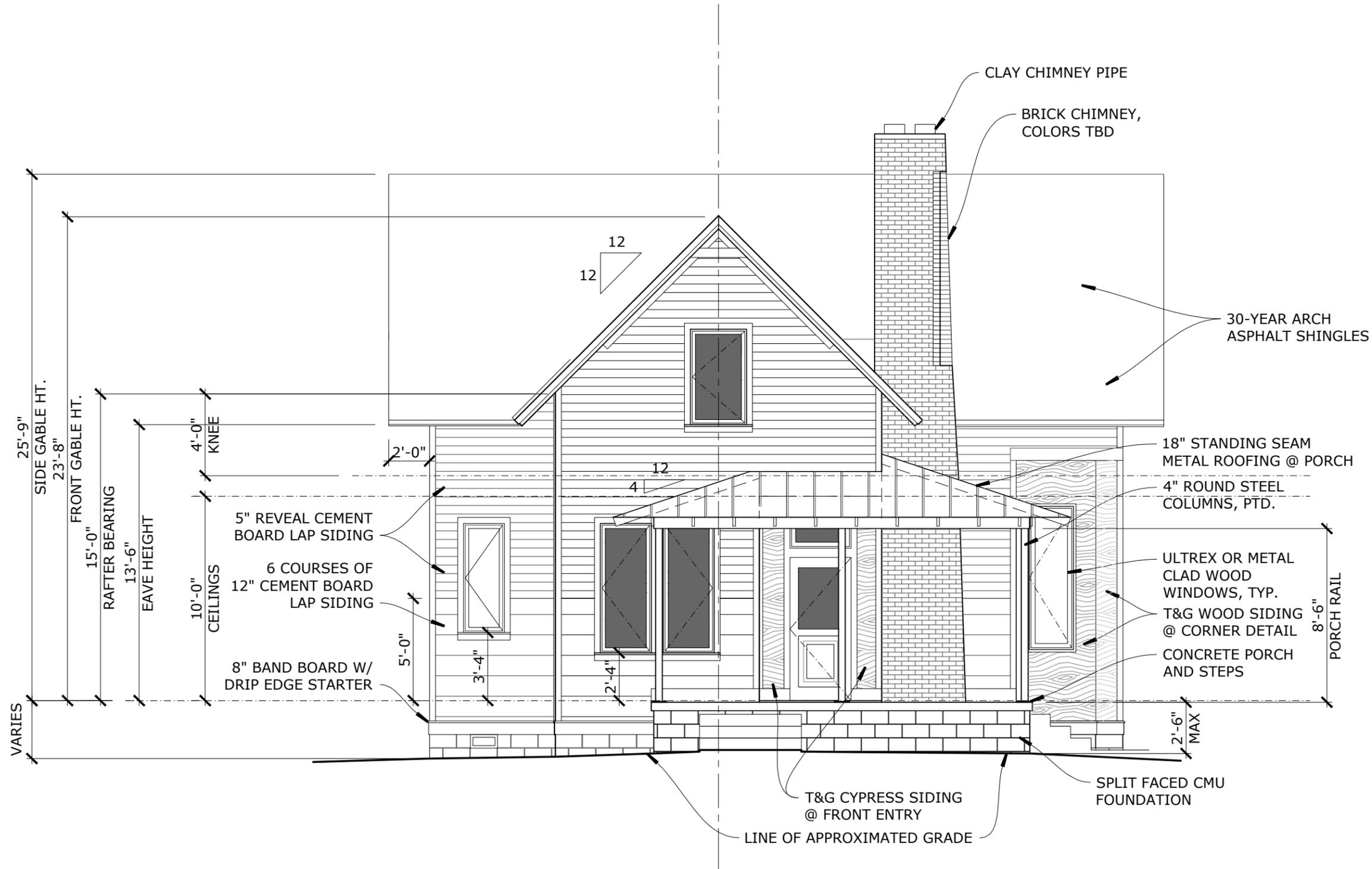


SECOND FLOOR PLAN

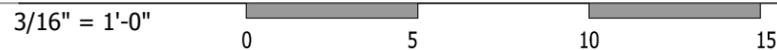
1/8" = 1'-0"



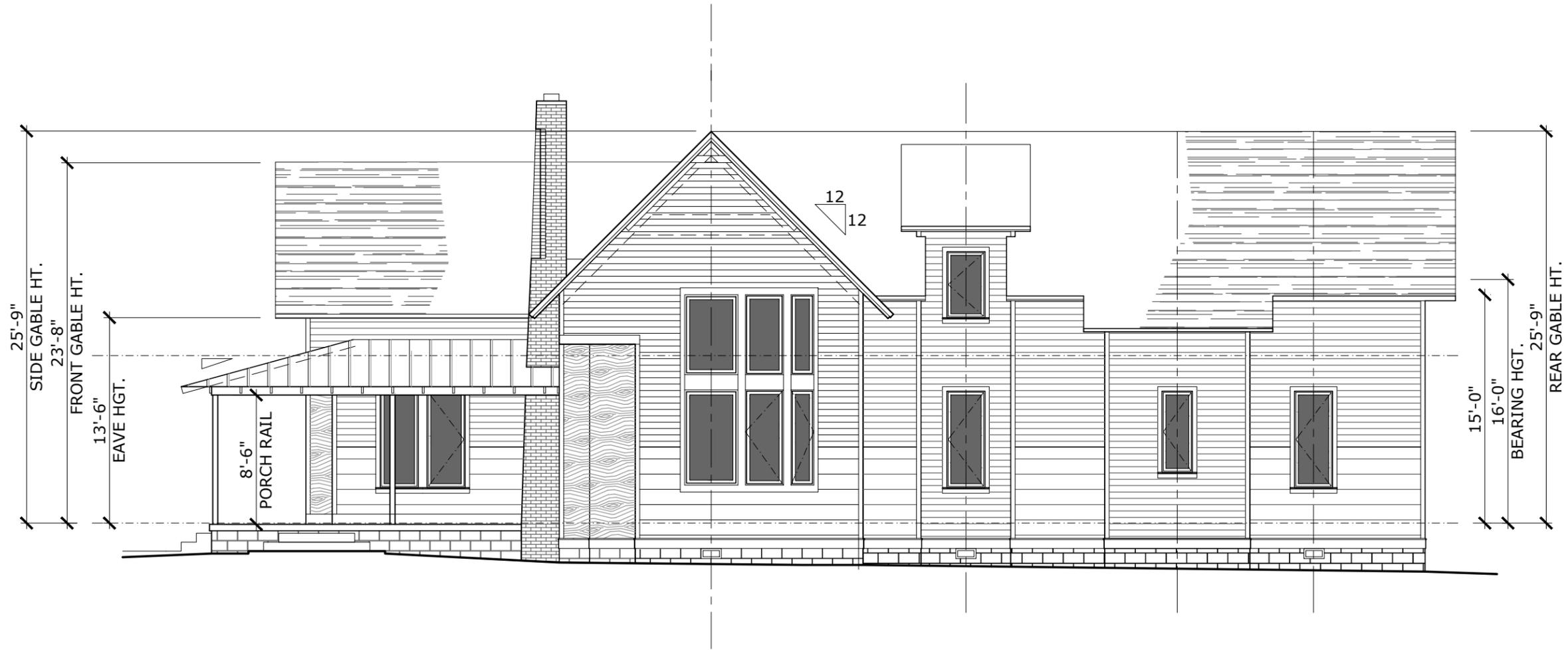
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SOUTH ELEVATION



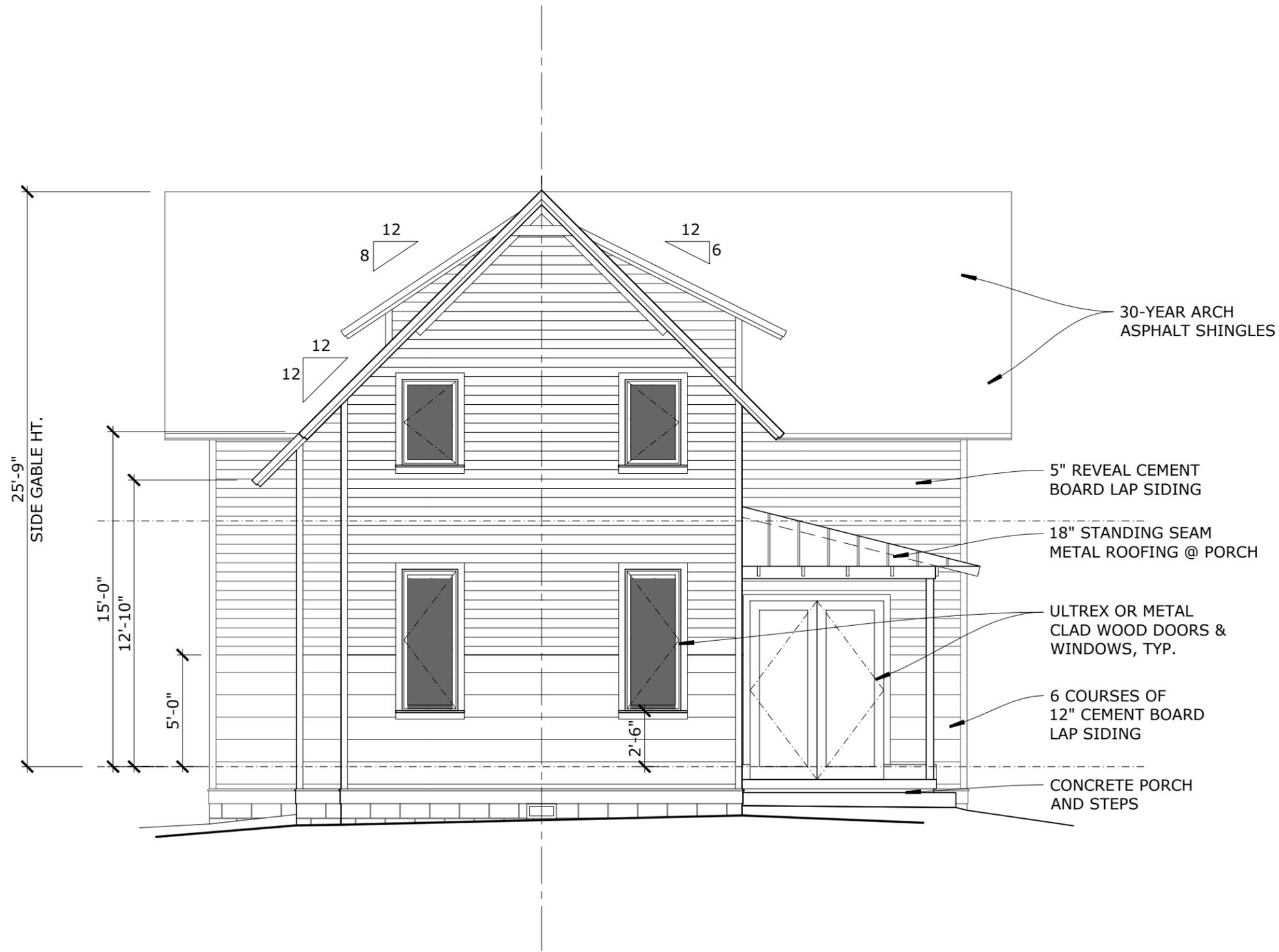
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EAST ELEVATION



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30-YEAR ARCH ASPHALT SHINGLES

5" REVEAL CEMENT BOARD LAP SIDING

18" STANDING SEAM METAL ROOFING @ PORCH

ULTREX OR METAL CLAD WOOD DOORS & WINDOWS, TYP.

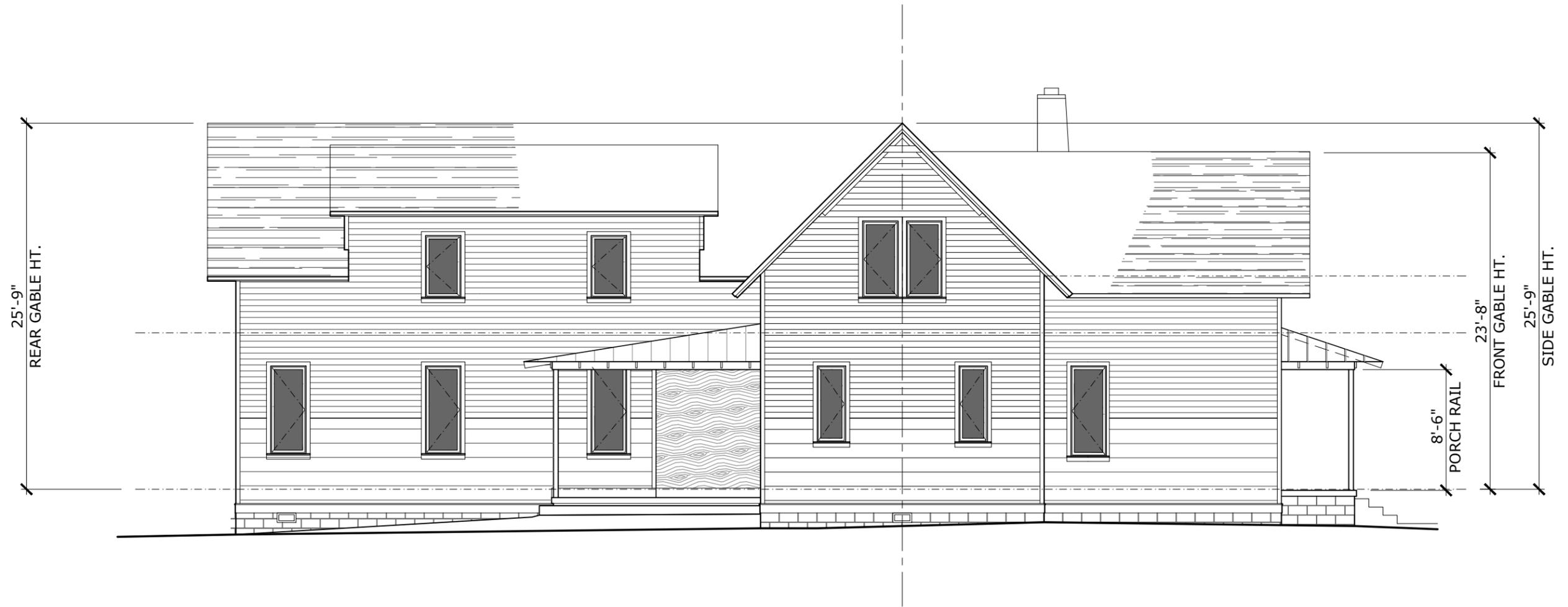
6 COURSES OF 12" CEMENT BOARD LAP SIDING

CONCRETE PORCH AND STEPS

NORTH ELEVATION



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WEST ELEVATION







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