



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 2312 White Avenue March 18, 2015

Application: New construction – addition; Setback determination
District: Woodland in Waverly Historic Preservation Zoning Overlay
Council District: 17
Map and Parcel Number: 10514023200
Applicant: Josh Spence, Kennon Calhoun Workshop
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct a rear addition. The addition requires a setback determination as it will be situated less than ten feet (10') from the Cathey Avenue property line.

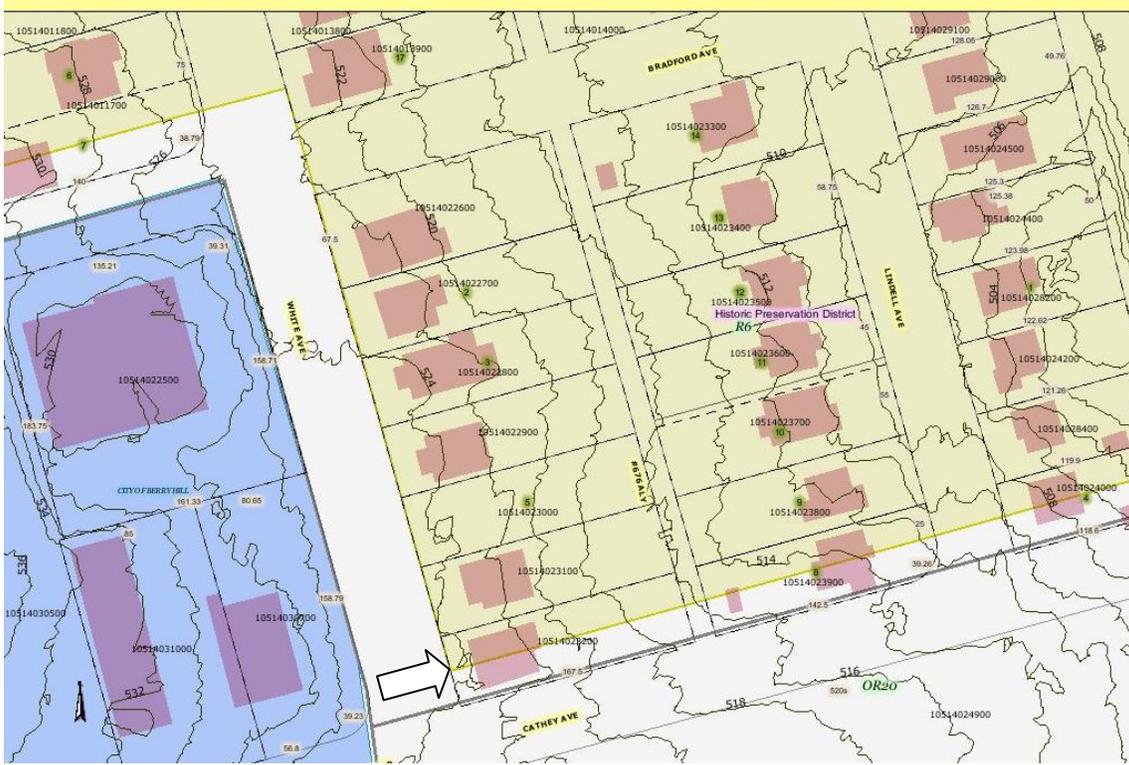
Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. All existing window openings, including the window on the back of the north/left façade, remain as is;
2. The addition's roof tie into the existing roof in a manner that preserves the historic roof form;
3. The applicant seek permission from MHZC staff to make any alterations to the exterior of the historic house, including, but not limited to, window replacement, re-roofing, and siding replacement in whole or part;
4. Any deck not extend any wider than the historic house's side walls, and staff approve the final design and material choices for the deck.
5. The dormer on the north/left elevation be setback two feet (2') from the wall below;
6. Staff approve window and door specifications, roof color, and a masonry sample prior to purchase and installation of these materials;
7. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
8. Staff approve any permanent landscape features, including, but not limited to, fences, parking pads, and walkways.

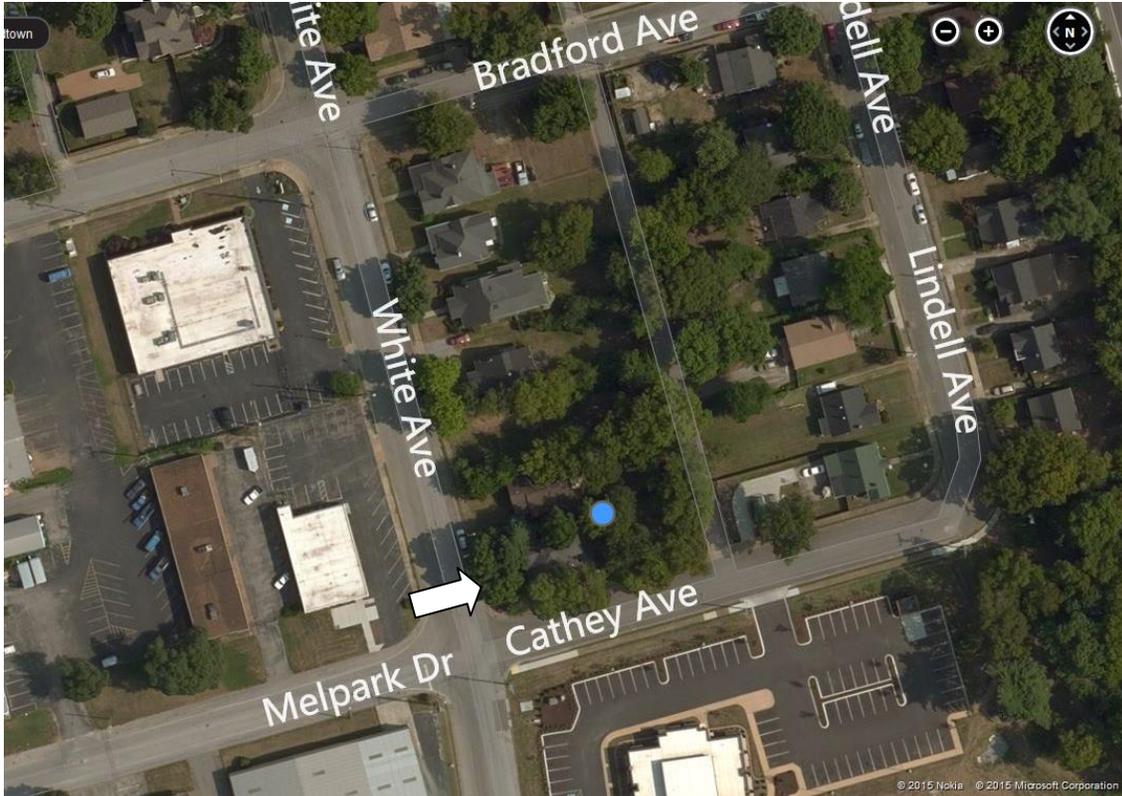
With these conditions, staff finds that the project meets Sections II.B., III.B., IV. B., and V.B. of the *Woodland in Waverly Historic Preservation Overlay: Handbook and Design Guidelines*.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 Roof Form and Roofing Materials

- a. Original roof pitch and configuration should be maintained.
- b. The original size and shape of dormers should be maintained. Dormers generally should not be introduced where none existed originally.
- c. Original roof materials and color should be maintained. If replacement is necessary, original materials should be used. Asphalt/fiberglass shingles may be substituted for original roofing when it is not economically feasible to repair or replace with original materials or when the original roof is beyond repair. The color and texture of asphalt/fiberglass shingles should be appropriate to the architectural style and period of the house. Generally, wood shakes are not appropriate.

Original roofing materials may include, but are not limited to, slate, metal, and, on twentieth century buildings, asphalt shingles.

Roof elements may include, but are not limited to, eaves, cornice, rafters, cresting, gutter systems, brackets, finials, pendants, vents, and chimneys.

New roof dormers are considered additions because they increase the habitable space of a building. Please see the additions section for further information.

II.B.3 Windows

- a. The original size and shape of windows should be maintained.
 - b. The original number and arrangement of panes should be maintained.
 - c. The characteristic window shape in the district is rectangular with a vertical proportion-- taller than it is wide. Horizontally proportioned windows are generally not appropriate.
 - d. Unpainted raw aluminum storm windows are not appropriate. "Blind stop" storm windows, painted or anodized, are appropriate.
- A "blind stop" storm window is attached to the inside of a window jamb (frame) rather than to the face of a window casing (trim). In this way, a storm window obscures as little of original features of a window as possible.*
- e. Shutters, unless appropriate to the style of the building, should not be added. Where appropriate, shutters should be of a height and width that if they were closed, the window opening would be covered.
 - f. New window openings should not be introduced unless they match the existing window configuration and their placement harmonizes with the existing rhythm of openings.
 - g. Original window openings should not be filled in.

Window elements may include, but are not limited to, sash, casings (trim), aprons, number and configuration of lights (panes), hoods, lintels, mullions and muntins.

III. B. NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS

1. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions should tie-in at least 6" below the existing ridge.

In order to assure that an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*
 - An extreme grade change*
 - Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be higher and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Side Additions

When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

- b. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

- c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
- d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

- e. Additions should follow the guidelines for new construction.

2. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic

buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

V.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

V.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

Background: 2312 White Avenue is a c. 1920 transitional Victorian house that contributes to the historic character of the Woodland-in-Waverly Historic Preservation Overlay (Figure 1).



Figure 1. 2312 White Avenue

Analysis and Findings: Application is to construct a rear addition. The addition requires a setback determination as it will be situated less than ten feet (10') from the Cathey Avenue property line, but no closer to the property line than the historic building already is.

Alterations to Historic House:

The applicant is proposing two alterations to the historic house. On the north/left elevation, the applicant is proposing to alter an historic window opening towards the back of the house (Figure 2). Section II.B.3.a. of the design guidelines states, “The original size and shape of windows should be maintained.” Staff therefore finds that altering this window opening does not meet the design guidelines.



Figure 2. Window proposed to be altered

The applicant is also altering the historic roof form in order to tie the addition into the historic roof. Staff recognizes that hipped roofs with multiple forms like this roof can be difficult to add on to; however, the applicant’s proposal involves eliminating two of the historic house’s ridges on the north/left elevation. The new roof form raises the height of the back gable’s ridge and eliminates the most of the distance between the taller central hip form and the lower back hipped roof. With this proposal, this portion of the historic roof form would be permanently and irreversibly altered. Section II.B.1.a. of the design guidelines states, “a. Original roof pitch and configuration should be maintained.” Staff

therefore finds that the proposed alteration to the roof form on the north/left elevation does not meet the design guidelines. Staff asks that a condition of approval be that the addition's roof tie into the existing roof in a manner that preserves the historic roof form.

No other alterations to the historic house were noted on the drawings. Staff reminds the applicant that all exterior changes, including, but not limited to, re-roofing, window replacement, and siding replacement, require the review and approval of the MHZC staff to ensure that these changes meet Section II.B. of the design guidelines.

Partial Demolition: The applicant is proposing to demolish a portion of the rear of the house (Figure 3). The area to be demolished has a shed roof that breaks the eave of the rear façade. It is possibly a former porch that was enclosed. Staff finds that this portion of the house, with its lower shed roof form, does not contribute to the overall historic character of the house and that its demolition would not significantly impact the house's historic integrity. Staff therefore finds that the demolition of the rear portion of the house meets the design guidelines' Section V.B.2. for appropriate demolition and does not meet Section V.B.1. for inappropriate demolition.



Figure 3. Portion of the rear to be demolished.

Height and Scale: The proposed addition is no taller and no wider than the historic house, and it is inset appropriately. On the Cathey Avenue/right elevation, the addition steps in two feet (2') from the back wall of the historic house, and will be in a similar location to the back part of the house that will be demolished. After a distance of six feet, ten inches (6'10"), the addition steps back out to match the line of the house. On the north/left elevation, the addition is inset one foot (1') from the back wall of the house for a depth of four feet (4'), after which it steps back out to match the line of the house. The addition's maximum width matches that of the house, and its depth will be approximately thirty-six feet (36').

A future deck is planned and shown on the elevations, but not the site plan. Staff recommends approval of the deck with the conditions that the materials are administratively approved and the deck does not extend beyond the side wall of the house.

The historic house is one story, and the addition will be one and a half stories. The majority of the addition's eave height will be approximately eighteen inches (18") lower than the eave height of the historic house, although a portion of the eave height on the south/Cathey Street elevation will match that of the historic house. The addition's foundation will also be about eighteen inches (18") lower than that of the historic house. The ridge height of the structure will be six inches (6") lower than that of the historic

house. Staff finds that the addition's height and scale meet Section III.B.1., III.B.2.a., and III.B.2.b. of the design guidelines.

Location and Removability: The addition is located entirely behind the historic house, which is appropriate. As mentioned under "Alterations to Historic House," the manner in which the roof of the addition ties into the roof of the historic house inappropriately alters the historic roof form. In the proposed design, the historic roof form can no longer be discerned, and if the addition were to be removed in the future, the historic roof form would no longer be there. Staff asks that a condition of approval be that the addition's roof tie into the historic roof in a manner that preserves the historic roof form. With this condition, staff finds that the addition meets Section III.B.1. of the design guidelines.

Design: The addition is distinguished from the historic house with an inset and the lower heights of the roof ridge, eave, and foundation. At the same time, the addition's materials, scale, and proportion and rhythm of openings are compatible with the historic character of the existing house. If the addition's roof form is altered so that it preserves the historic house's roof form, staff finds that the addition meets Section III.B.1. of the design guidelines.

Setbacks and Rhythm of Spacing: The addition requires a setback determination for the south/Cathey Avenue elevation. On corner lots, base zoning requires a ten foot (10') setback from the side street property line. In this case, the existing house is located less than ten feet from the Cathey Street property line; it is approximately five feet, eleven inches (5'11") from the property line. Since the addition will be no wider than the existing house and will not encroach further into the setback, staff finds that the proposed setback on the south/Cathey Avenue side is appropriate.

The addition will be nine feet (9') from the north/left property line, and will be over sixty feet (60') from the rear property line, thereby meeting those base zoning setbacks. Staff finds that the proposed setbacks meet Section III.B.1. and III.B.2.c. of the design guidelines.

Materials, Texture, and Details and Material Color: No changes to the historic house's materials were indicated on the drawings. Since this house is in an historic preservation overlay, any changes to the exterior of the historic house's materials, including re-roofing, replacing any siding, replacing any windows, etc., must be reviewed and approved by MHZC.

The addition will primarily be clad in wood or smooth face cement fiberboard lap siding with a reveal to match that of the historic house. The trim will be wood or cement fiberboard. The foundation will be masonry, and staff asks to approve the masonry sample. The roof will be asphalt shingles, and staff asks to review the shingle color if it does not match that of the historic house. The dormers and a portion of the north/left façade will be clad in board-and-batten. The materials of the windows and doors were not specified, and staff asks to approve the final window and door selections prior to purchase and installation. A portion of the addition at the rear will be a screened porch.

The deck will be wood. With the staff's final approval of the windows and doors, shingle color, and a masonry sample, staff finds that the known materials meet Section III.B.1. and III.B.2.d. of the design guidelines.

Roof Form: The historic house has several hipped and gable forms, all with pitches of approximately 7/12. As mentioned under the "Alterations to the Historic House" section, the addition's roof ties in inappropriately to the historic house's roof form on the north/left elevation. The addition's primary roof form is a combination of a hip and a gable with a slope of 7/12. The addition includes two gabled dormers, both with 8/12 pitches. The dormer on the south/Cathey Street elevation is set back two feet (2') from the wall below, but the dormer on the north/left elevation is not setback from the wall below. Staff asks that a condition of approval be that the dormer on the north/left elevation be setback two feet (2') from the wall below.

With the conditions that the addition ties into the historic roof in a manner that preserves the historic roof form and that the dormer on the north/left elevation be set back two feet (2') from the wall below, staff finds that the addition's roof form meets Sections III.B.1. and III.B.2.e. of the design guidelines.

Orientation: The addition will not alter the orientation of the historic house towards White Avenue. Vehicular access to the site will be via the alley, which is appropriate. Staff finds that the addition meets Sections III.B.1. and III.B.2.f. of the design guidelines.

Proportion and Rhythm of Openings: There are no large expanses of wall space on the addition without a window or door opening. The addition does include several square windows that are approximately two feet by two feet (2' X 2'). Although they are not taller than they are wide, staff finds them to be appropriate since they are located on the addition and not on the historic house. Staff finds the addition's proportion and rhythm of openings meet Section III.B.2.g. of the design guidelines.

Outbuilding: No outbuilding is proposed as part of this application. The site plan includes a dotted line indicating the site of a potential future garage, but that garage is not currently under the Commission's consideration.

Permanent Landscape Features/Fences: No plans for a fence or other changes to the site's appurtenances were indicated on the drawings. Staff reminds the applicant that all fencing and permanent landscape features, including but not limited to parking pads and walkways, must be reviewed and approved by MHZC. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. All existing window openings, including the window on the back of the north/left façade, remain as is;

2. The addition's roof tie into the existing roof in a manner that preserves the historic roof form;
3. The applicant seek permission from MHZC staff to make any alterations to the exterior of the historic house, including, but not limited to, window replacement, re-roofing, and siding replacement in whole or part;
4. Any deck not extend any wider than the historic house's side walls, and staff approve the final design and material choices for the deck.
5. The dormer on the north/left elevation be setback two feet (2') from the wall below;
6. Staff approve window and door specifications, roof color, and a masonry sample prior to purchase and installation of these materials;
7. The HVAC be located behind the house or on either side, beyond the mid-point of the house; and
8. Staff approve any permanent landscape features, including, but not limited to, fences, parking pads, and walkways.

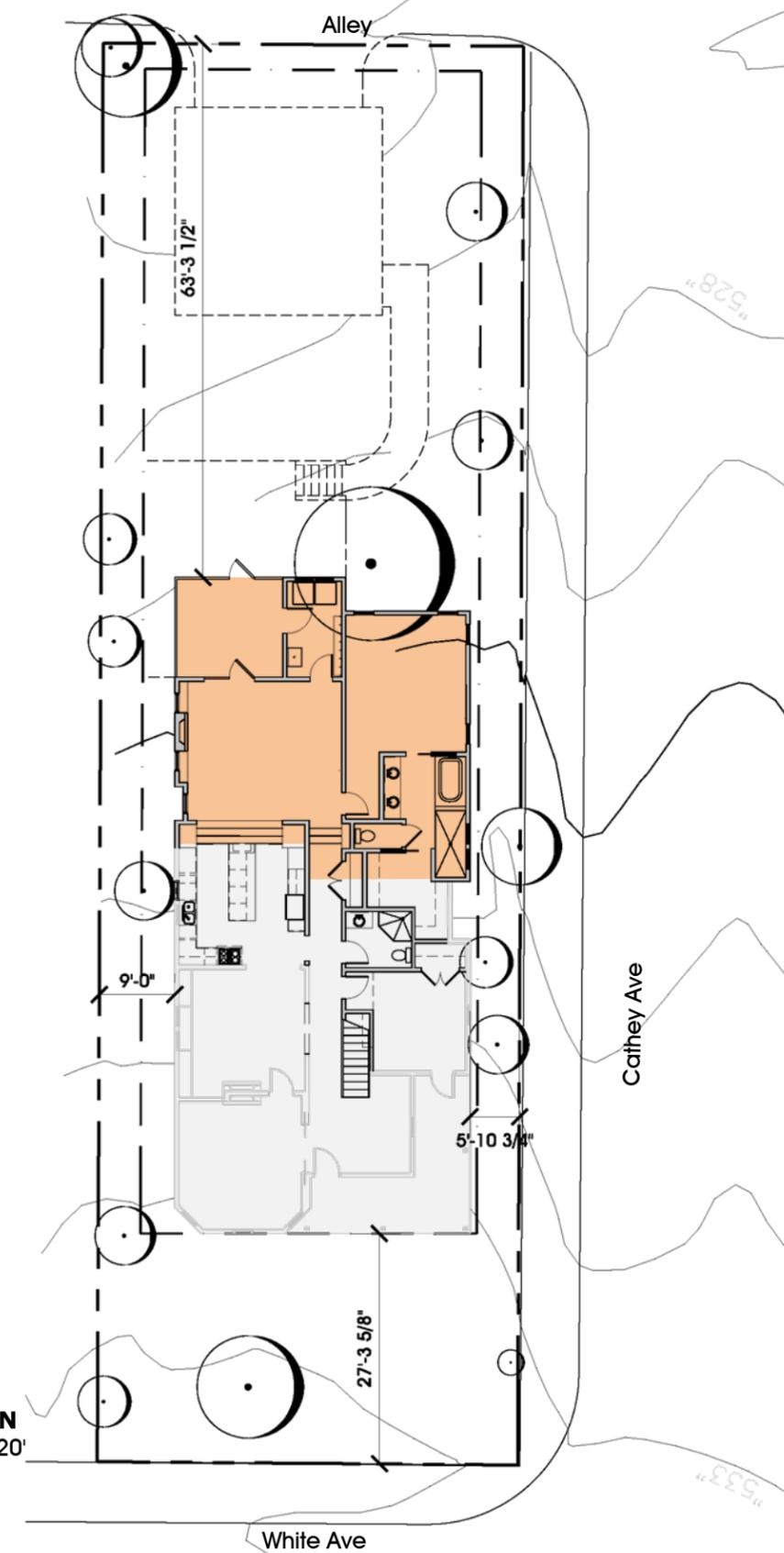
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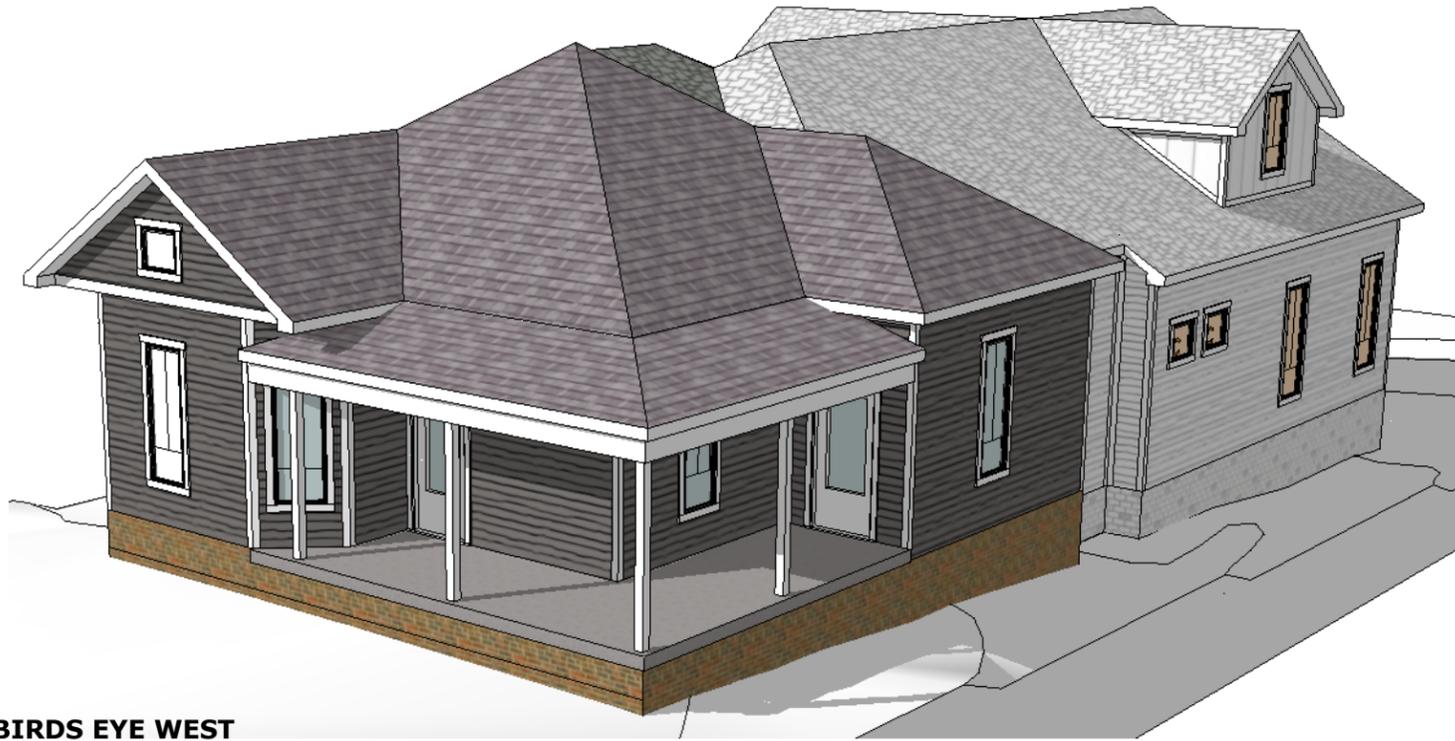
Additional Photos:





SITE PLAN
scale: 1" = 20'





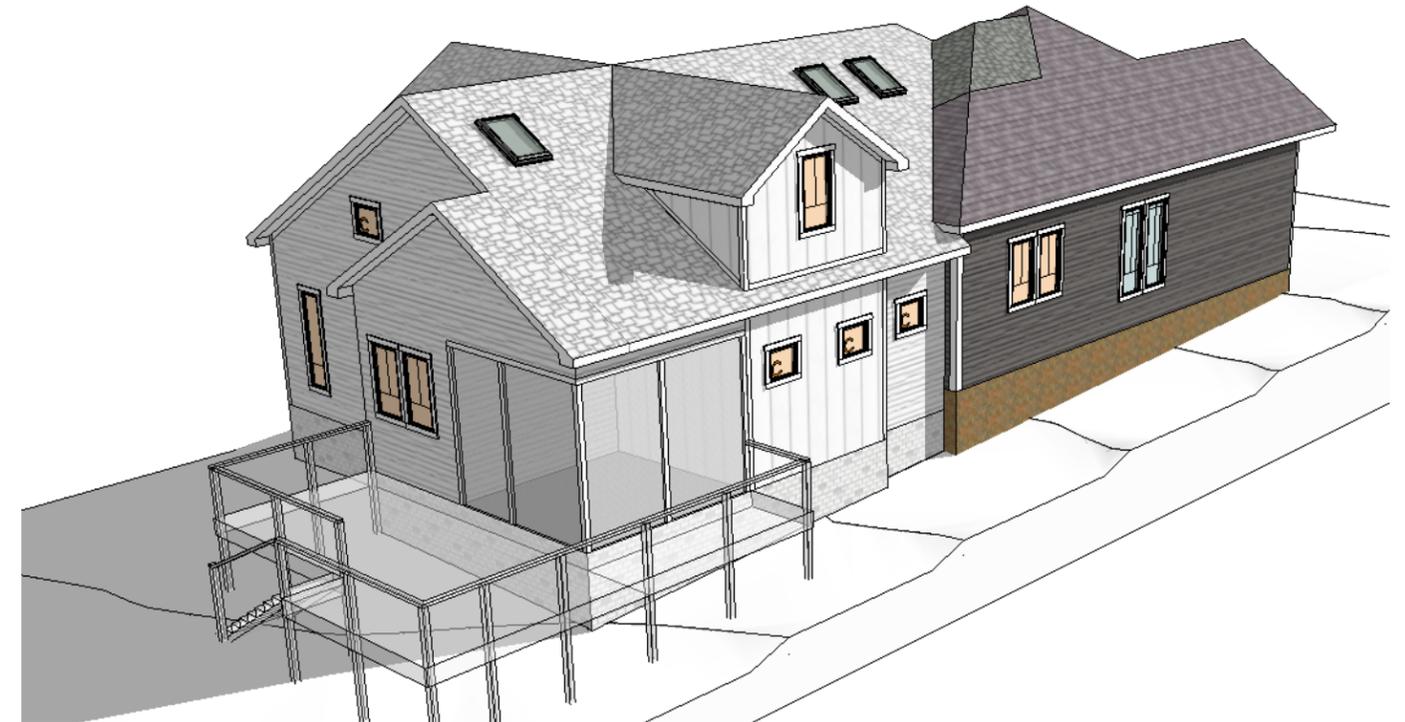
BIRDS EYE WEST



BIRDS EYE SOUTH



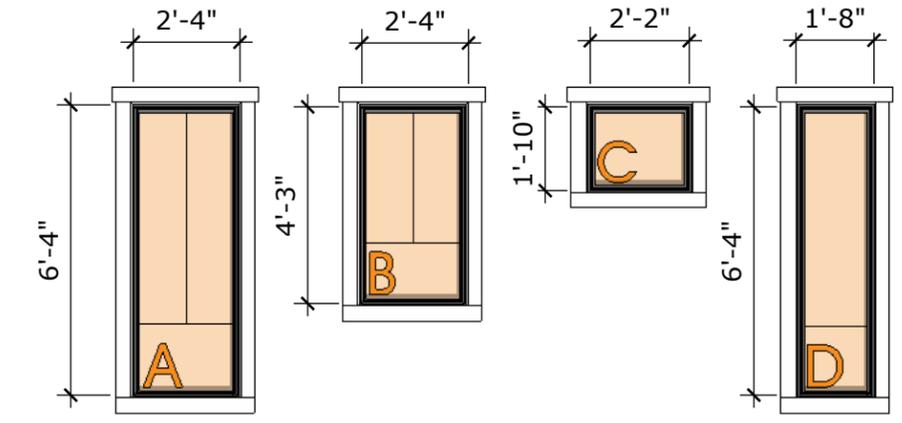
BIRDS EYE NORTH



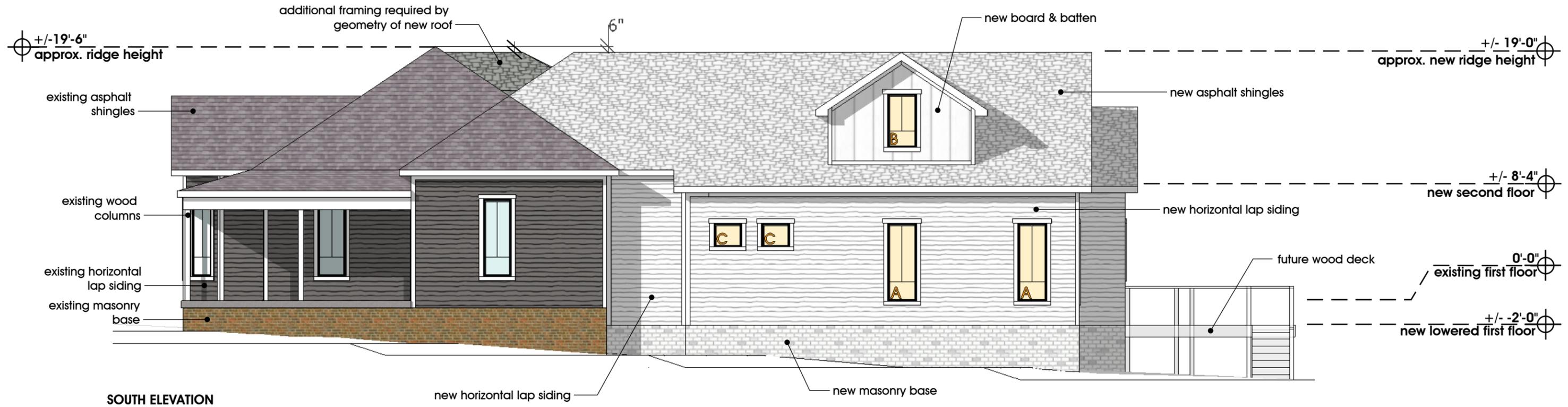
BIRDS EYE EAST



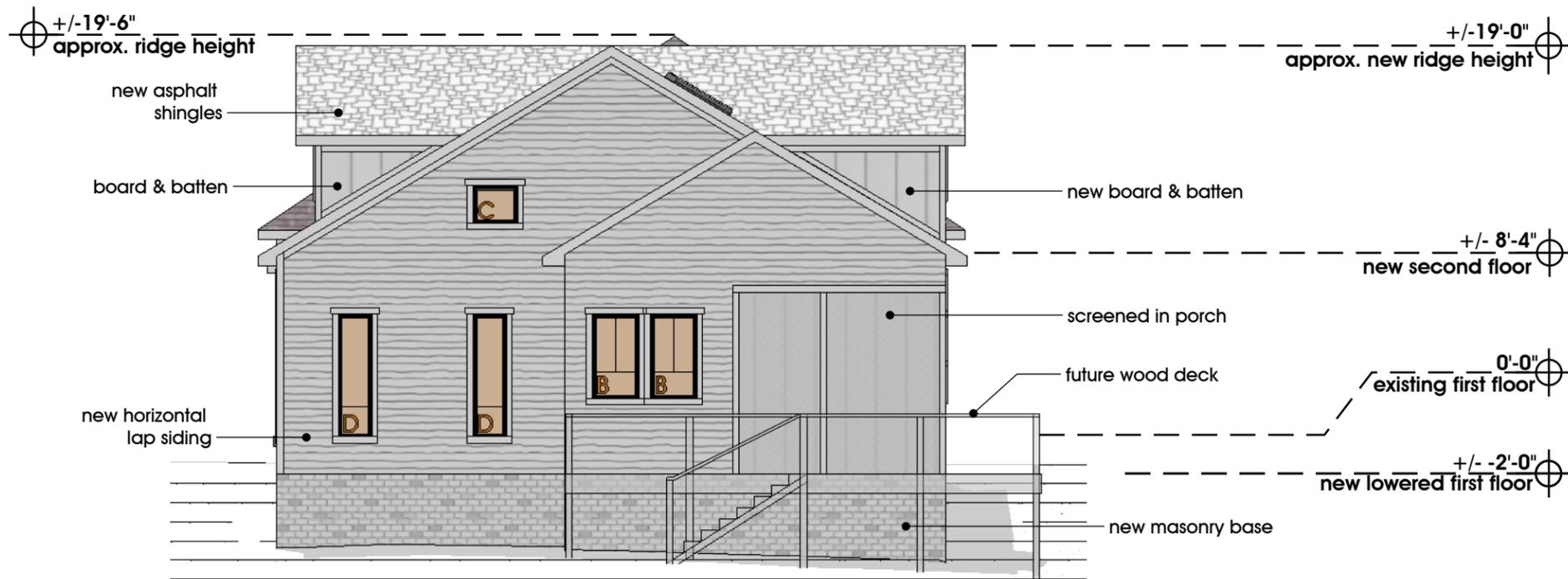
WEST ELEVATION
scale: 1/8" = 1'-0"



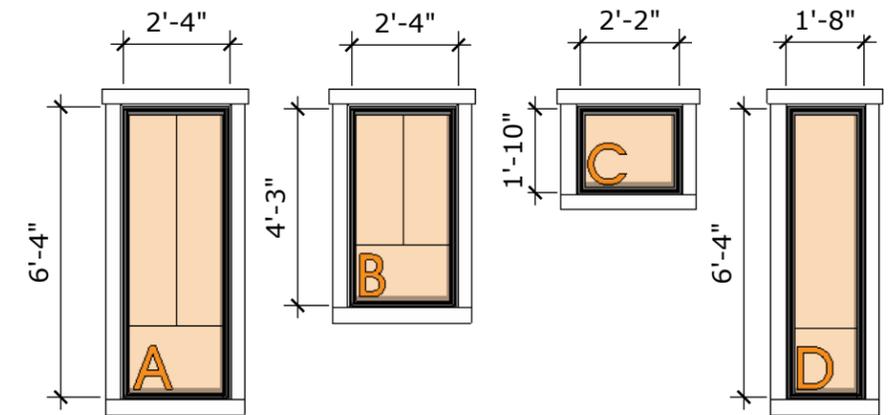
NEW WINDOW SIZES
scale: 1/4" = 1'-0"
*new windows shaded orange for clarity



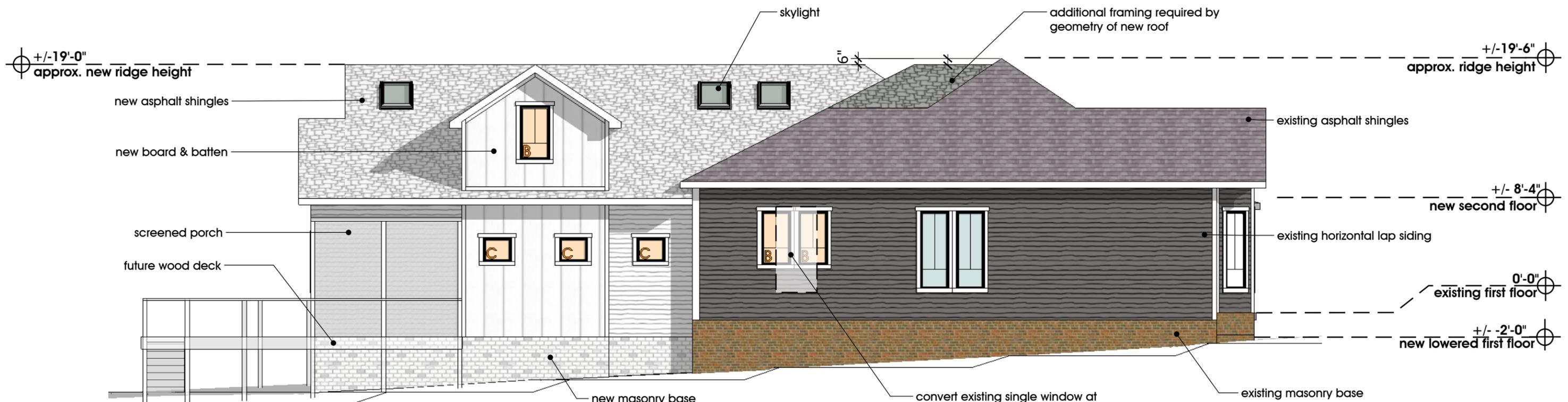
SOUTH ELEVATION
scale: 1/8" = 1'-0"



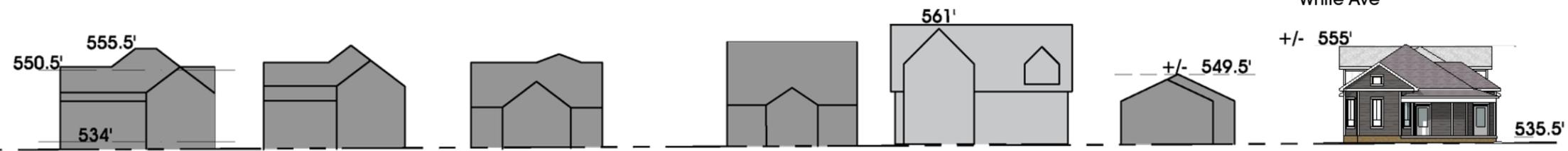
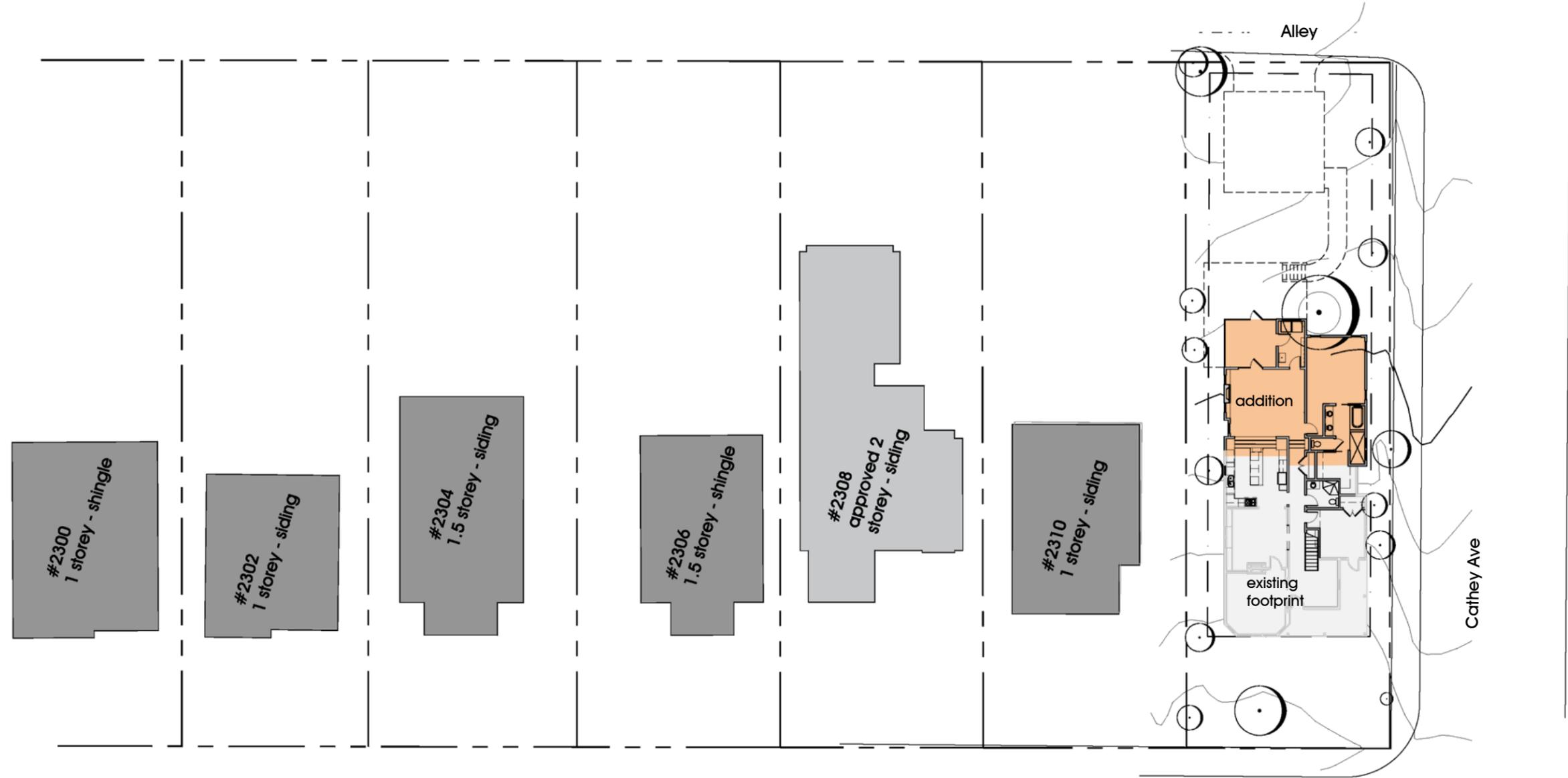
EAST ELEVATION
scale: 1/8" = 1'-0"



NEW WINDOW SIZES
scale: 1/4" = 1'-0"
*new windows shaded orange for clarity



NORTH ELEVATION
scale: 1/8" = 1'-0"



SITE ELEVATION
scale: 1" = 30'



FIRST FLOOR AREA (gross)

existing foot print

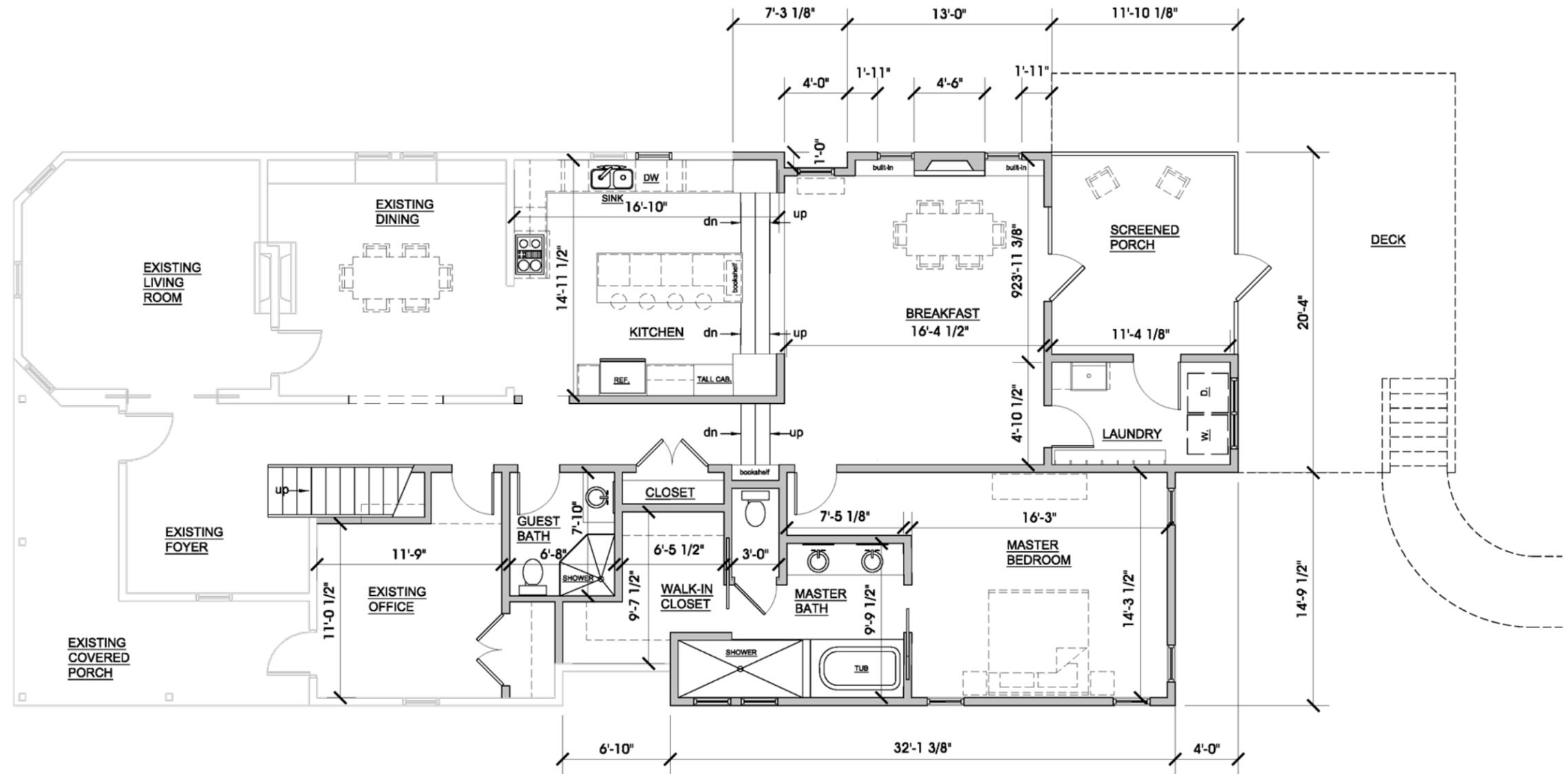
conditioned: 1,307 sf
 un-conditioned: 212 sf
 total: 1,519 sf

proposed foot print

conditioned: 998 sf
 un-conditioned: 152 sf
 total: 1,150 sf

total first floor

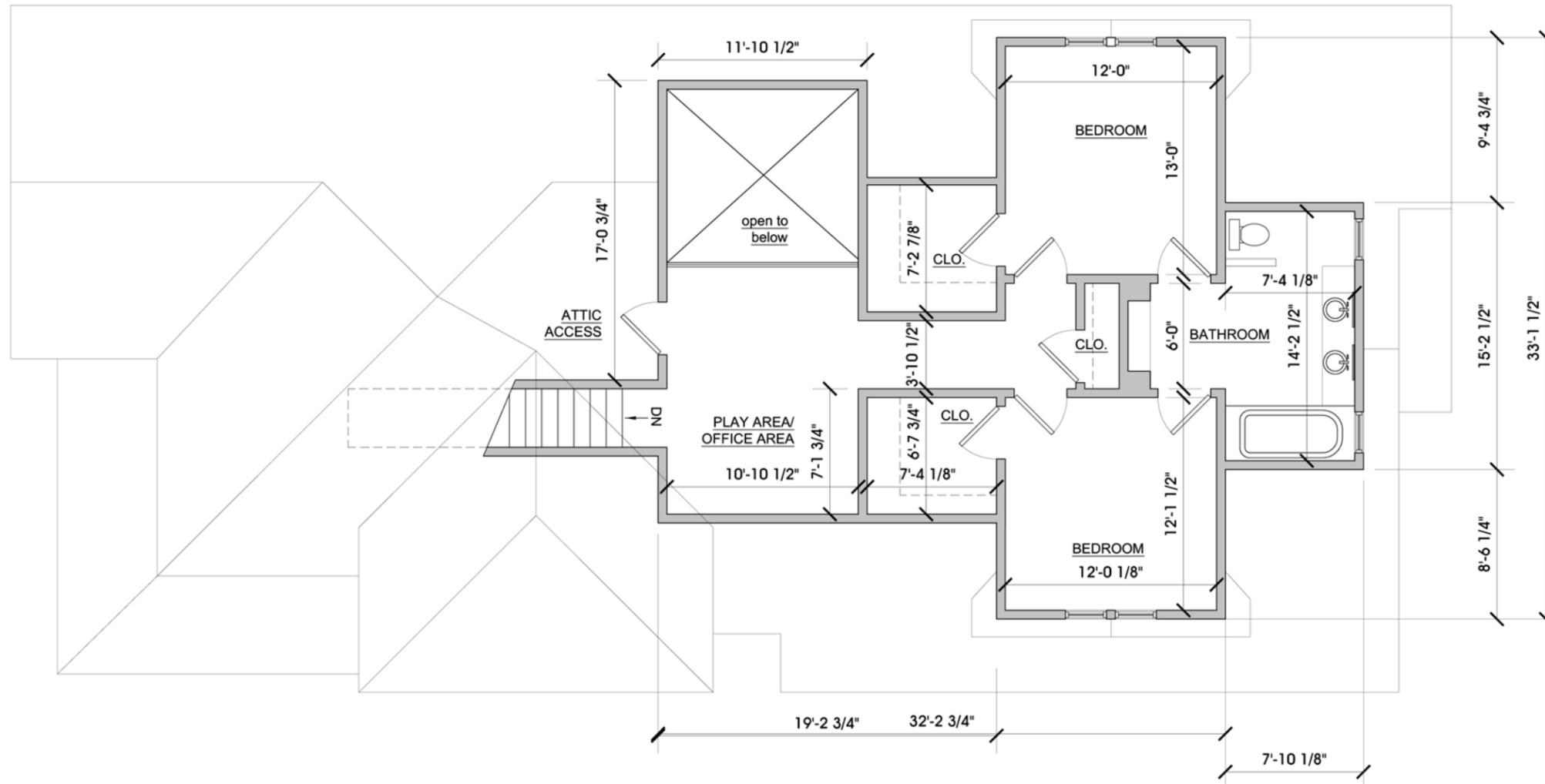
conditioned: 2,305 sf
 un-conditioned: 364 sf
 total: 2,669 sf



FIRST FLOOR PLAN
 scale: 1/8" = 1'-0"

SECOND FLOOR AREA (gross)

existing foot print 0 sf
 proposed foot print 994 sf
 total: 994 sf



SECOND FLOOR PLAN
 scale: 1/8" = 1'-0"