



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**  
**305 Scott Avenue**  
**March 18, 2015**

**Application:** New construction-infill  
**District:** Eastwood Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 083020E90000CO  
**Applicant:** David Baird, architect  
**Project Lead:** Robin Zeigler, robin.zeigler@nashville.gov

<p><b>Description of Project:</b> The project is for a one and one-half story duplex.</p> <p><b>Recommendation Summary:</b> Staff recommends approval with the conditions that:</p> <ul style="list-style-type: none"> <li>• The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;</li> <li>• Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;</li> <li>• The HVAC shall be located behind the house or on either side, beyond the mid-point of the house; and</li> <li>• Staff approve the roof color and masonry color, dimensions and texture.</li> </ul> <p>With these conditions, staff finds the project to meet the design guidelines for new construction in the Eastwood Neighborhood Conservation Zoning Overlay.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations</p>
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## **Applicable Design Guidelines:**

### **II.B. GUIDELINES**

#### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

#### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **e. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall..*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

##### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

##### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

##### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **h. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

##### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

##### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

##### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

##### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than*

*one large door to accommodate more than one bay.*

*Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- *Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

***i. Utilities***

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

***j. Public Spaces***

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

**Background:** The project is for a one and one-half story duplex. Because the previous building was non-contributing it was administratively approved for demolition on October 31, 2014. (MHZC Permit # 2014-00421)

**Analysis and Findings:**

Height & Scale: The building is proposed to appear as one and one half stories, as seen from the street, and to be thirty-feet (30') tall, which is similar to the tallest historic building in the immediate vicinity and on a similarly sized lot. The proposed width of thirty feet eight feet and five inches (38' 5") is also similar to a couple of two-story homes in the immediate contextual area. The depth of the building at eighty-four (84') is far greater than the historic context; however, its massing is mitigated by stepping back portions of the side walls and by bringing the rear of the home down from a full two-stories to one and one-half stories. The drawings assumes a flat lot, which is not likely, therefore staff recommends review during construction to assure that the finished floor height be consistent with the finished floor heights of the adjacent historic houses. With this condition, the project meets section II.B.1.a. and b.

Setback & Rhythm of Spacing: The front setback is halfway between the two buildings to either side, and so is appropriate. The rear setback is approximately thirty-five feet (35'), more than meeting the required minimum of twenty-feet (20'). The side setbacks are more than fifteen feet (15'), more than meeting the minimal requirement of five feet (5'). The project meets section II.B.1.c.

Materials: The roofing is asphalt shingles, the siding is fiber cement with a four inch (4") lap as well as board-and-batten, and the foundation is split faced CMU. Staff recommends review of the roof color. Staff recommends review of the windows, doors and garage doors, as these elements were not noted in the plans. The trim and porch elements are fiber cement and wood. There is a fence down the center of the property which will be six feet (6') tall and wood. The project meets section II.B.1.d

Roof form: The principle roof form is a side-gable roof with a 6/12 pitch and two front gable dormers with 8/12 pitches. The front porches have a 3/12 pitch. The roof forms are similar to neighboring historic buildings and have been approved in the past. The project meets section II.B.1.e.

Orientation: The home is oriented to the street with two front entrances/porches facing Scott Avenue and two walkways leading from the front porch to the street. The vehicular access is from the alley. The project meets section II.B.1.f.

Proportion and Rhythm of Openings: The windows are primarily twice as tall as they are wide with some exceptions of smaller windows on the side where they will be minimally visible from the street. There are no expanses greater than ten feet (10') without an opening or other type of break. Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities: The location of the HVAC and other utilities was not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. The project meets section II.B.1. i.

Outbuildings: The project includes two single-bay carports that include a garage door on the alley side and a parking pad to each side. Each covered section is approximately two hundred and sixty square feet (260 sq. ft.). The carports are approximately twelve feet (12') with eave heights of nine feet (9'). The overall massing and scale of the structures are well under the maximum measurements allowed for a lot of this size. The materials match those of the house. The project meets section II.B.1.h of the design guidelines.

**Recommendation:**

Staff recommends approval with the conditions that:

- The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
- Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
- The HVAC shall be located behind the house or on either side, beyond the midpoint of the house; and
- Staff approve the roof color and masonry color, dimensions and texture.

With these conditions, staff finds the project to meet the design guidelines for new construction in the Eastwood Neighborhood Conservation Zoning Overlay.



# PRESERVATION PERMIT APPLICATION

## METROPOLITAN HISTORIC ZONING COMMISSION

3000 Granny White Pike, Nashville, TN 37204

615-862-7970, 615-862-7974 fax, [histlap1@nashville.gov](mailto:histlap1@nashville.gov), <http://nashville.gov/Historical-Commission.aspx>

**DEADLINE:** Complete applications must be received a minimum of 16 days prior to the next MHZC hearing which takes place on the third Wednesday of the month. Please visit [www.nashville.gov](http://www.nashville.gov) for the schedule. Incomplete applications will not be scheduled until all information has been received.

**PROPERTY ADDRESS:** 305 SCOTT AVE, NASHVILLE, TN 37206

**APPLICANT** (All communication by phone, fax, email or mail will be with the applicant.)

Name DAVID BAIRD, ARCHITECT

Mailing Address 5007 WYOMING AVE,

City NASHVILLE Zip Code 37209

Contact Phone 555-9410 Fax Number \_\_\_\_\_ Email D BAIRD @ BUILDING-IDEAS.NET

Owner  Contractor  Architect/Designer  Other \_\_\_\_\_

**PROPERTY OWNER** (If different from applicant.)

Name PANTHEON DEVELOPMENT PARTNERS, LLC c/o JAMIE REEDY

Mailing Address 1389 MOONLIGHT TRAIL

City BRENTWOOD Zip code 37027

Contact Phone 519-0771 Fax Number \_\_\_\_\_ Email JAMIE@PANTHEONDEVCO.COM

**TYPE OF WORK**  New Construction (Addition)  Demolition  Renovation  Other \_\_\_\_\_

(Only exterior projects are reviewed.)

**DESCRIPTION OF WORK** (Please use a separate sheet of paper for longer descriptions.)

NEW 1 1/2 - 2 STORY ATTACHED DUPLEX

Any substitution or deviation from the approved work items listed on the Preservation Permit requires further review and approval by the Historic Zoning Commission prior to being undertaken. Accurate scale elevations, drawings, and site plans are needed for project review. The MHZC retains copies of all materials submitted.

**Does the project require an alteration to base zoning?** Please see bottom of page 2 for more information.

Yes  NO

**Estimated Cost of Work** \$ 400,000.

**Code Administration's Temporary Bldg Permit #** \_\_\_\_\_

(This number starts with a "T" followed by the year. It may also be obtained later.)

**Covenant Instrument #** \_\_\_\_\_

(Required for Detached Accessory Dwelling Units)

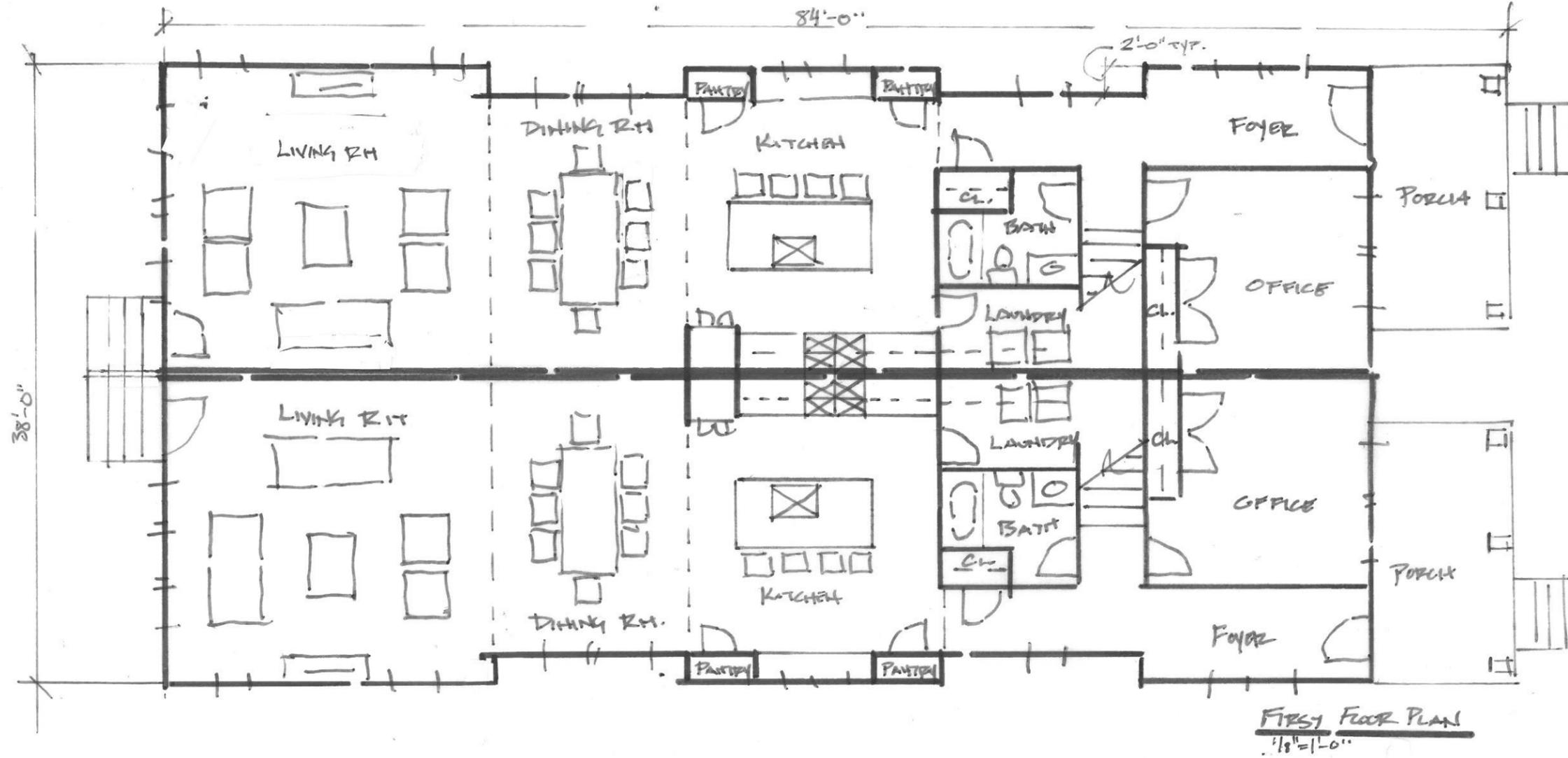
**SIGNATURE** [Signature] **DATE** 3.2.2015

I/We the above signed do hereby make application for a Preservation Permit following plans and proposals to be undertaken within the boundaries of an historic preservation overlay pursuant to Article IX of the Metropolitan Code.



305 Scott Ave

ADDRESS:  
Pantheon Development  
Partners, LLC.



**BUILDING IDEAS, LLC**  
Architecture Design Planning

David Baird, Architect  
NCARB, LEED-AP

5007 Wyoming Avenue  
Nashville, TN 37209

T 615-585-9410

dbaird@building-ideas.net

REVISIONS

NUM.	DESCRIPTION	DATE

Project Number: 305

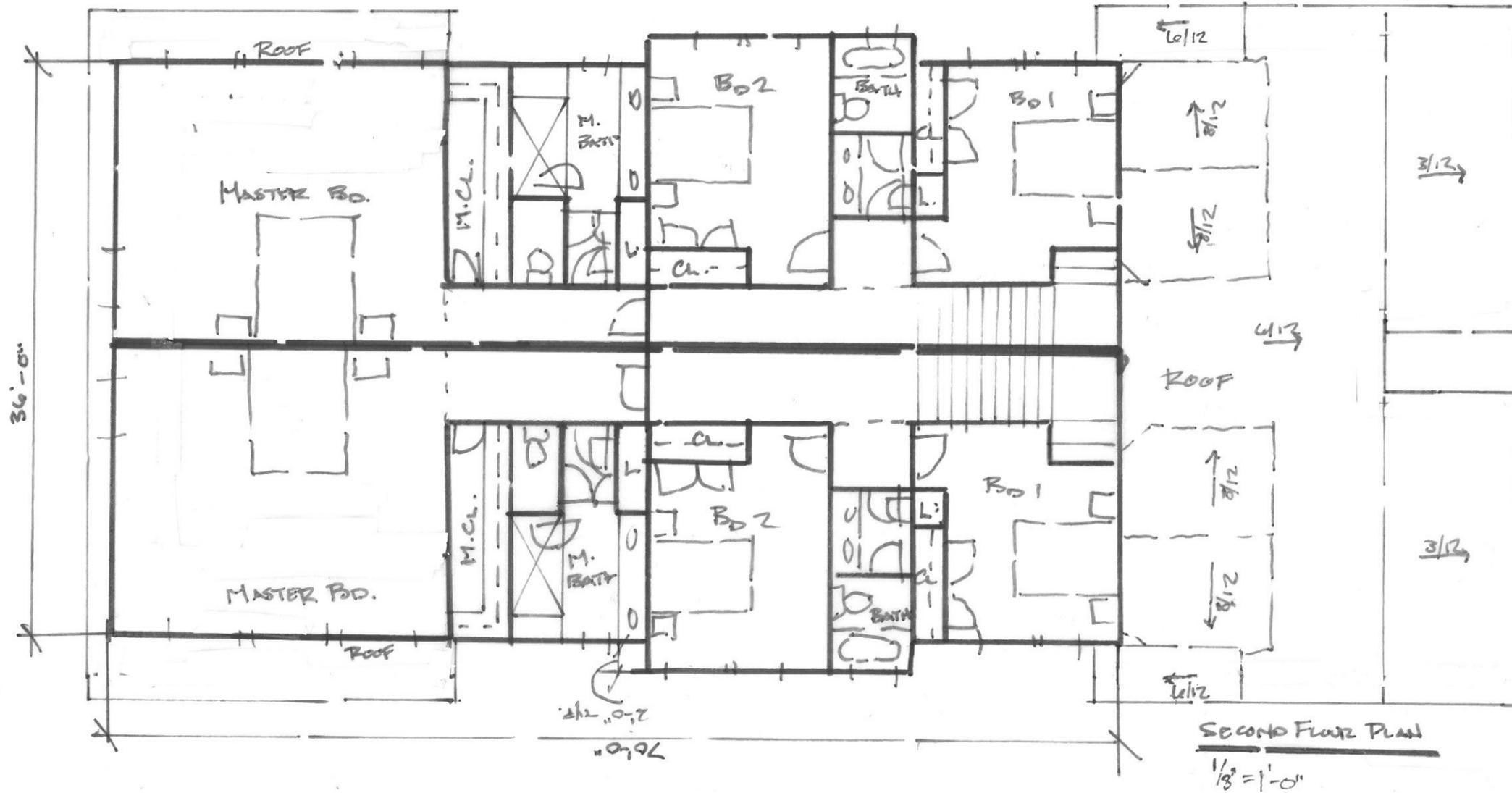
Project Phase:  
MHZC SUBMITAL

Date: 3.2.2015  
FIRST FLOOR PLAN

A1.01

305 Scott Ave

ADDRESS:  
Pantheon Development  
Partners, LLC.



SECOND FLOOR PLAN  
1/8" = 1'-0"

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REVISIONS

NUM.	DESCRIPTION	DATE

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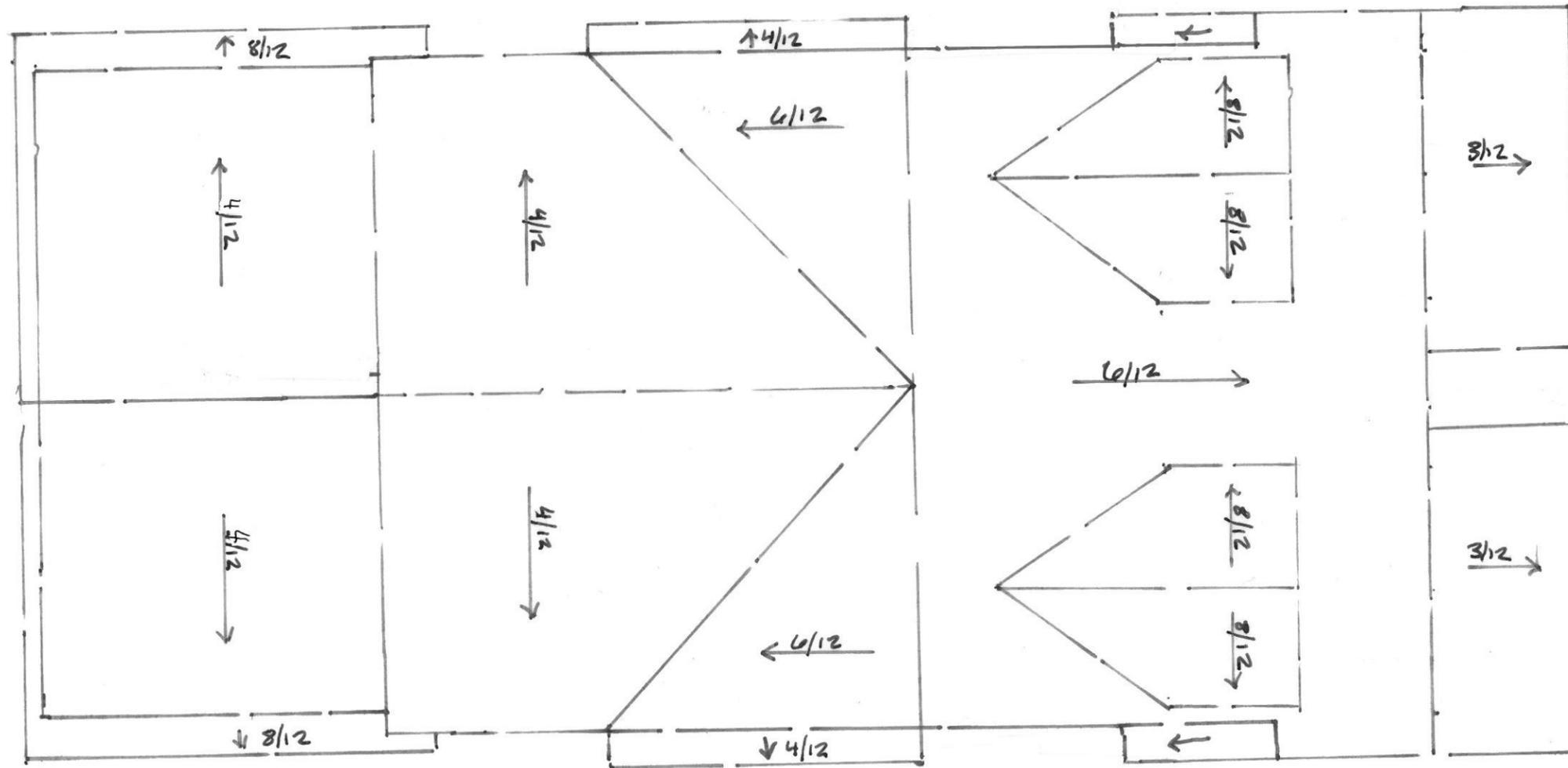
Project Phase:  
MHZC SUBMITTAL

Date: 3.2.2015  
SECOND FLOOR PLAN

A1.02

305 Scott Ave

ADDRESS:  
Pantheon Development  
Partners, LLC.



ROOF PLAN  
1/8" = 1'-0"

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Architecture Design Planning

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REVISIONS

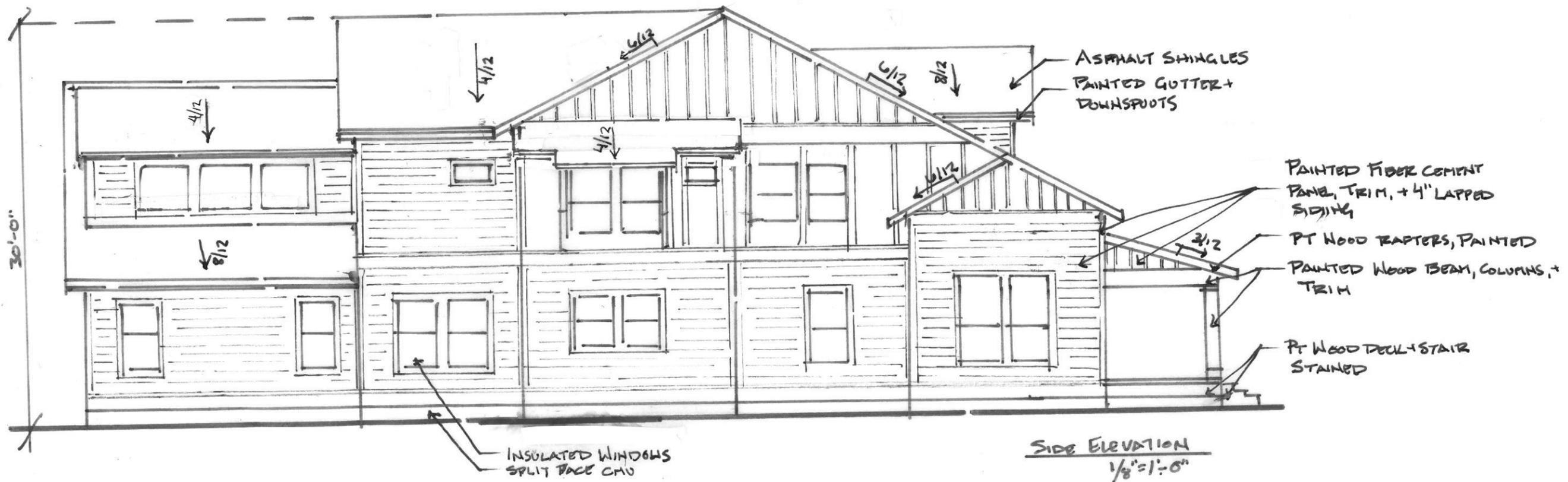
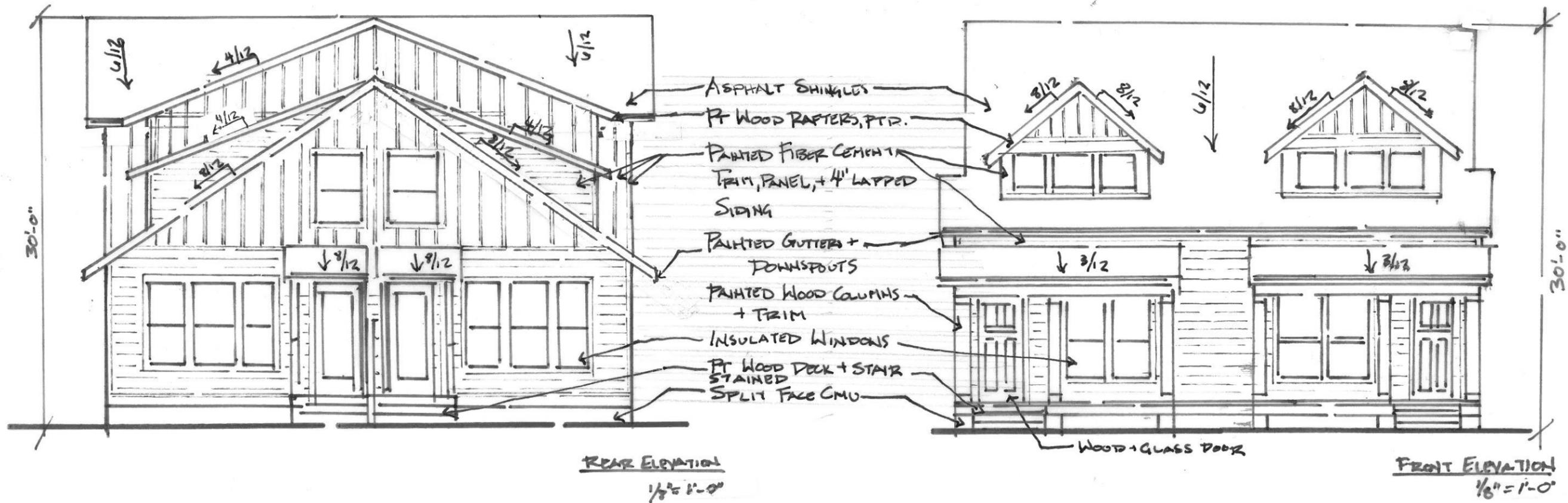
NUM.	DESCRIPTION	DATE

Project Number: 305

Project Phase:  
MHZC SUBMITAL

Date: 3.2.2015  
ROOF PLAN

A1.03



305 Scott Ave

ADDRESS:  
Pantheon Development  
Partners, LLC.

**BUILDING IDEAS, LLC**  
Architecture Design Planning

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REVISIONS

NUM.	DESCRIPTION	DATE

Project Number: 305

Project Phase:

MHC SUBMITTAL

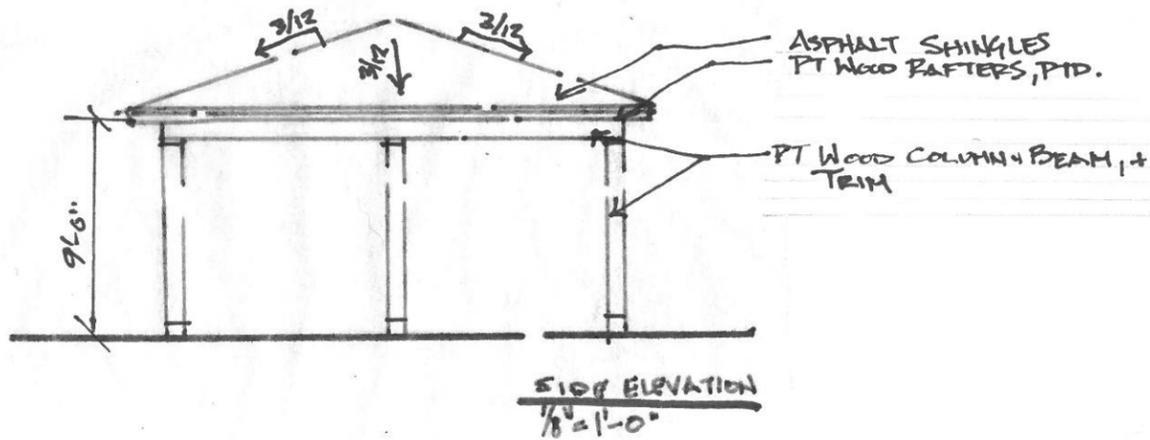
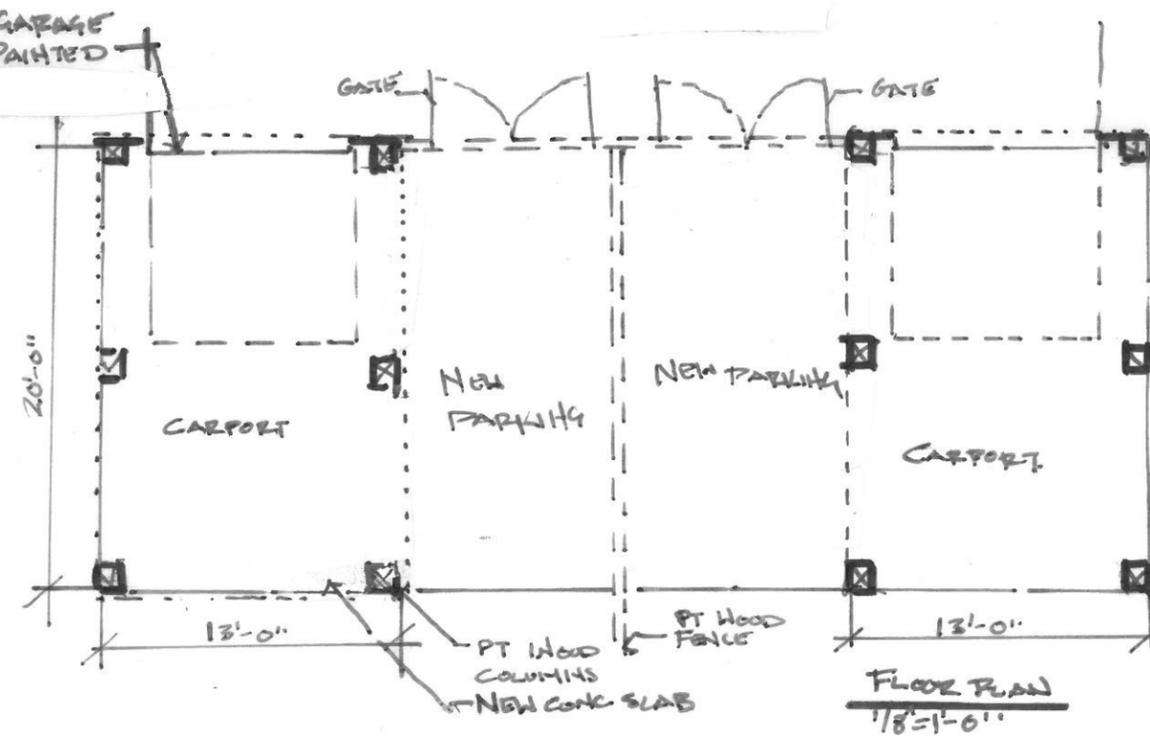
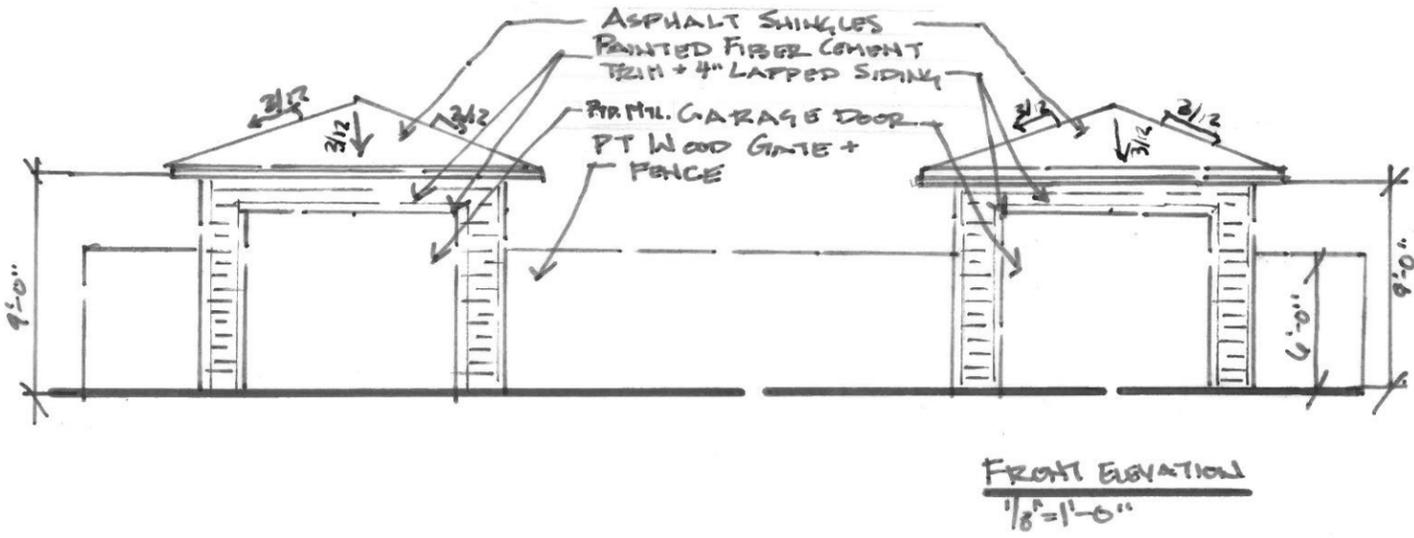
Date: 3.2.2015  
BUILDING ELEVATIONS

A2.01

ALLEY

305 Scott Ave

ADDRESS:  
Pantheon Development  
Partners, LLC.



**BUILDING IDEAS, LLC**  
Architecture Design Planning

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REVISIONS

NUM.	DESCRIPTION	DATE

Project Number: 305

Project Phase:  
MHZC SUBMITTAL

Date: 3.2.2015  
CARPORT PLANS & ELEVATIONS

A3.01