



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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## STAFF RECOMMENDATION 1407 Holly Street April 15, 2015

**Application:** New construction—addition  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08309043400  
**Applicant:** Jamie Day  
**Project Lead:** Melissa Baldock, [melissa.baldock@nashville.gov](mailto:melissa.baldock@nashville.gov)

**Description of Project:** Application is to alter a non-historic roof form and to add front and side dormers. The footprint of the house will not be altered. Note that the garage shown on the site plan is not part of this application.

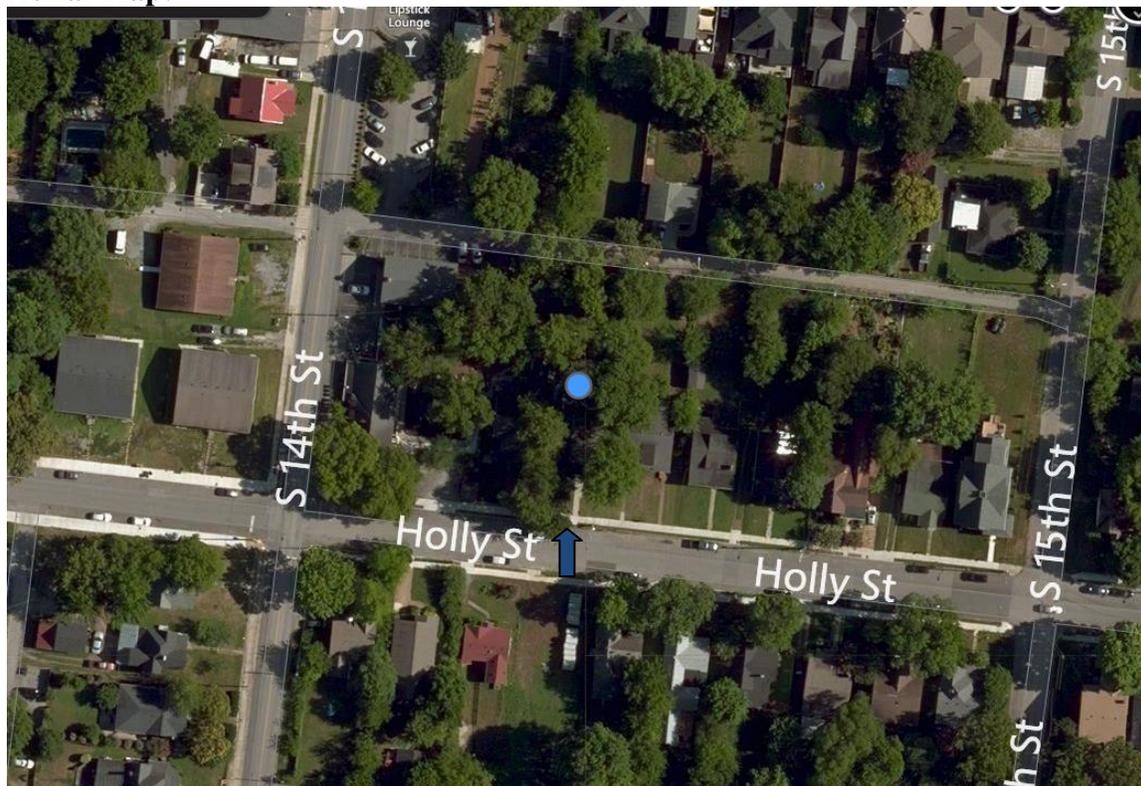
**Recommendation Summary:** Staff recommends approval of the project with the condition that staff approve the roof color and the window and door specifications. With this condition, staff finds that the project meets Sections II.B. and IV.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **1. Height**

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

#### **2. Scale**

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **3. Setback and Rhythm of Spacing**

4. Since construction in an historic district has usually taken place continuously from the late nineteenth and early twentieth centuries, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

*In Lockeland Springs-East End, historic buildings were constructed between 1880 and 1950. New buildings should be compatible with surrounding houses from this period.*

5. Reconstruction may be appropriate when it reproduces facades of a building which no longer exists and which was located in the historic district if: (1) the building would have contributed to the historical and architectural character of the area; (2) if it will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding the lot on which the reproduction will be built; and (3) if it is accurately based on pictorial documentation.
6. Because new buildings usually relate to an established pattern and rhythm of existing buildings, both on the same and opposite sides of a street, the dominance of that pattern and rhythm must be respected and not disrupted.
7. New construction should be consistent with existing buildings along a street in terms of height, scale, setback, and rhythm; relationship of materials, texture, details, and color; roof shape; orientation; and proportion and rhythm of openings.

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

#### **4. Relationship of Materials, Textures, Details, and Material Colors**

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

## **5. Roof Shape**

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

*Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.*

## **6. Orientation**

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

## **7. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.*

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

## **9. Appurtenances**

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

## **10. Additions to Existing Buildings**

a. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.

*A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*

*Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

*Generally rear additions should inset one foot, for each story, from the side wall.*

*Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*

*Additions that tie into the existing roof should be at least 6" below the existing ridge.*

*In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*
- Atypical lot parcel shape or size*

*In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

### *Roof*

*The height of the addition's roof and eaves must be less than or equal to the existing structure.*

*Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*

*Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).*

b. Additions should not be made to the public facades of existing buildings. Additions may be located to the rear of existing buildings in ways which do not disturb the public facades.

### *Placement*

*Additions should be located at the rear of an existing structure.*

*Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

*Generally, one-story rear additions should inset one foot, for each story, from the side wall. Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*

c. Additions must not imitate earlier styles of periods of architecture.

*The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure. Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building. To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

*Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.*

*Side porch additions may be appropriate for corner building lots or lots more than 60' wide.*

d. The creation of an addition through the enclosure of a front facade porch is inappropriate and should be avoided.

*Additions should follow all New Construction guidelines.*

#### **IV. B. Demolition**

##### **1. Demolition is not appropriate**

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

##### **2. Demolition is appropriate**

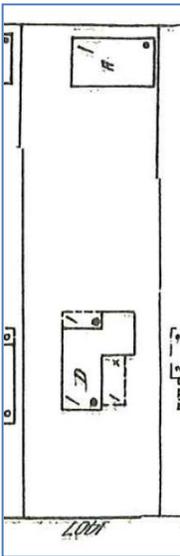
- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

**Background:** 1407 Holly Street is a contributing building constructed prior to 1914 (Figure 1). Sometime between 1957 and 1968, the house was significantly altered. The front wall was extended, a new hipped roof was constructed to tie into the existing cross

gable roof, and a new full-width front porch was constructed (Figures 2 – 5). Despite these alterations, enough of the historic house remains for it to be considered contributing to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.



Figure 1. 1407 Holly Street



Figures 2 (left) is the 1957 Sanborn map showing a different building and house footprint than what is existing. Figure 3 (right) dates to 1968 and shows the roof addition and expanded front porch.



Figure 4 (left) highlights the portion of the house that were added between 1957 and 1968, and Figure 5 (right) highlights the original roof form of the house.

**Analysis and Findings:** Application is to alter a non-historic roof form and to add front and side dormers. The footprint of the house will not be altered.

Partial Demolition. The project involves removing part of the non-historic roof form, which is appropriate. In addition, several window openings will be altered. On the front elevation, in the gable field, an existing vent will be enlarged to a window opening. On the east elevation, two existing window openings will be removed. Staff finds their removal to be appropriate because they are located on a portion of the wall that was not part of the historic house. On the west elevation, the applicant is proposing to alter two existing window openings. Staff finds this to be acceptable, even though they are part of the original house, because they are located beyond the midpoint of the side façade. Staff finds that the project meets Section IV.2. for appropriate demolition and does not meet Section IV.1. for inappropriate demolition.

Location & Removability: The application involves increasing the height of the non-historic hipped roof. A front dormer will also be constructed on this non-historic roof portion. Since the height and form of the original roof form will not change, the addition and dormer could be removed in the future without affecting the historic character of the house.

The addition of the side dormer on the left side, on the historic portion of the roof, will be constructed so that it sits off the ridge by two feet (2') and sits back from the wall below by two feet (2'). As such, it will not overwhelm the historic roof and could be removed in the future without detrimentally affecting the historic character of the house. Staff finds that the addition meets Section II.B.10. of the design guidelines.

Design: The addition is distinguished from the historic house with its separate roof forms. At the same time, its materials, roof form, and fenestration pattern are all compatible with the historic house. Staff therefore finds that the addition meets Section II.B.10 of the design guidelines.

Height, Scale. The house's footprint will not be increased as part of this project. The non-historic hipped roof at the front will be increased in height by two feet (2'). After the additional height, the house will be approximately twenty-five feet (25') tall from grade. The expanded house height will still be within the range of heights for historic houses in

the immediate vicinity. The historic context along Holly Street varies greatly between seventeen and thirty-four feet (17'-34') tall from grade, with the closest homes being in the seventeen to twenty six foot (17'-26') range. Staff therefore finds that the addition's height and scale meet Sections II.B.1. and II.B.2. of the design guidelines.

Setback & Rhythm of Spacing: Because the footprint of the structure is not changing, there will be no change to the house's setbacks and its rhythm of spacing.

Materials: The applicant plans to retain the existing siding, repairing and replacing only when necessary. The siding for the dormers will be wood or cement fiberboard and will match the profile of the historic siding. Any new trim will be wood or cement fiberboard and will match the profiles of the existing trim. The new roof will be architectural shingles, and staff asks to approve the shingle color. The materials and specifications for the windows and doors were not indicated on the drawings, and staff asks to approve all window and doors. The rear balcony will be wood. With the aforementioned staff approval of the roof color and windows and doors, staff finds that the materials meet Section II.B.4. of the design guidelines.

Roof Shape: The non-historic hipped roof at the front of the house will be raised in height by two feet (2'). The slope of this portion of the roof will not change. A new front dormer will be added to this non-historic roof form. Although front dormers are typically not permitted in the Lockeland Springs-East End Conservation Zoning Overlay, staff finds this dormer to be appropriate because it will be located on a non-historic roof form and its scale and location are compatible with the historic house. The dormer will be set more than two feet (2') off the roof ridge and more than two feet (2') from a valley. It will be inset two feet (2') from the wall below. It will have a gabled roof form, and its slope will be 12/12 to match the pitch of the hipped roof.

A new gable roof form will tie into the back of the non-historic hipped roof. This gable will have a slope of 12/12, and it will allow the historic side gable on the east side to remain. On the west elevation, the applicant is proposing a new side dormer. The side dormer will be located on the back portion of the roof, behind the hipped roof form, and will be located two feet (2') off the ridge, two feet (2') from the side wall, and two feet (2') back from the wall below. Its roof form will be two 12/12 gables connected with a shed roof form.

Staff finds that the alterations and additions to the roof forms and the new dormers meet Section II.B.5. of the design guidelines.

Rhythm and Proportion of Openings: Alterations to the window openings on the side facades was described under "Partial demolition." All new window openings are vertically oriented, and meet the historic proportion and rhythm of openings. Staff finds that the project's proportion and rhythm of openings meet Section II.B.7. of the design guidelines.

Orientation: The house's orientation towards Holly Street will not be altered as part of this project. A new, secondary side entry will be added on the west elevation. Staff finds this to be appropriate because it is located at about the midpoint of the historic house and will read as a secondary side entrance. Staff finds that the project's orientation meets Section II.B.6. of the design guidelines.

Outbuildings: The outbuilding that appears on the site plan is not part of this current application.

Appurtenances & Utilities: The HVAC and utilities location will not change as part of this project.

**Recommendation Summary:** Staff recommends approval of the project with the condition that staff approve the roof color and the window and door specifications. With this condition, staff finds that the project meets Sections II.B. and IV.B. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

*Additional Photos*



East elevation



West elevation



Left/rear elevation



Rear elevation



Rear elevation from alley

HOME RENOVATION/ADDITION  
**HARKER RESIDENCE**  
 1407 HOLLY ST. NASHVILLE, TN 37206

ISSUE DATE: 04/05/15

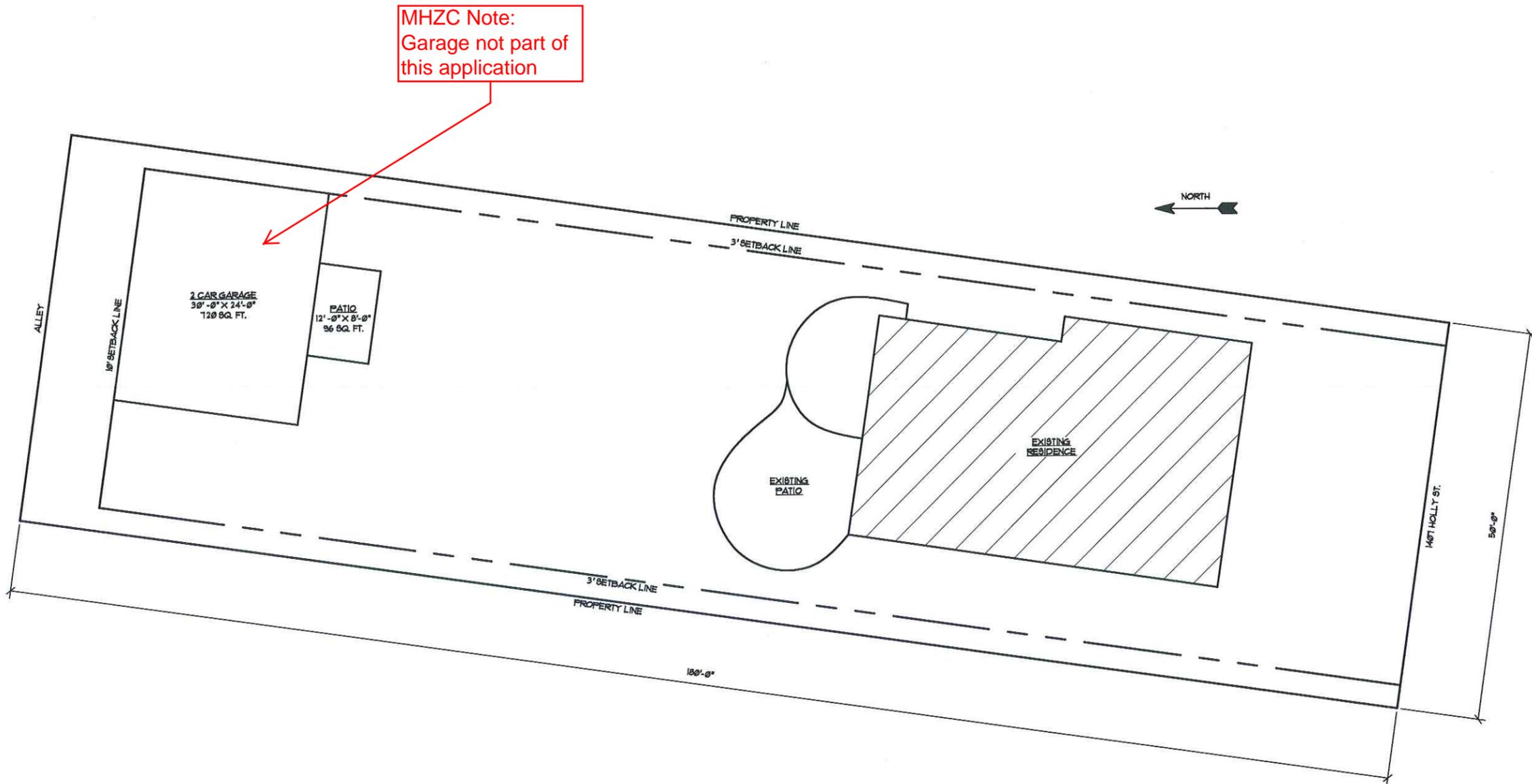
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 NOT FOR  
 CONSTRUCTION

SCALE: 1/8" = 1'-0"

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SITE PLAN

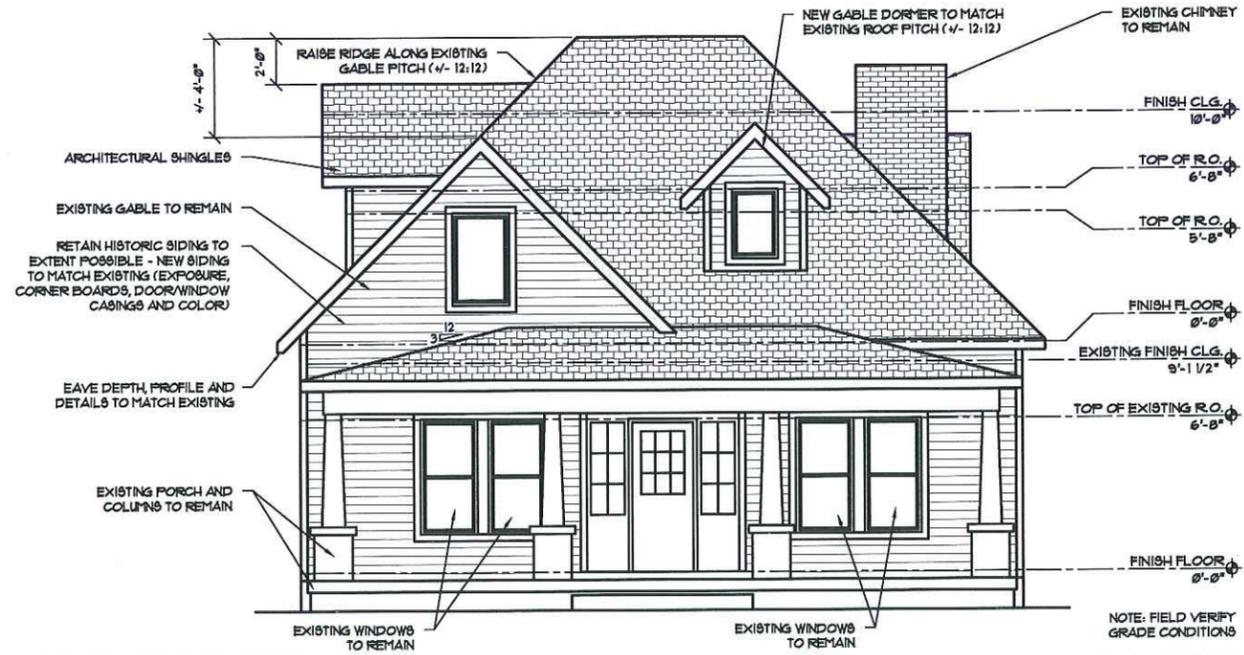


MHZC Note:  
 Garage not part of  
 this application

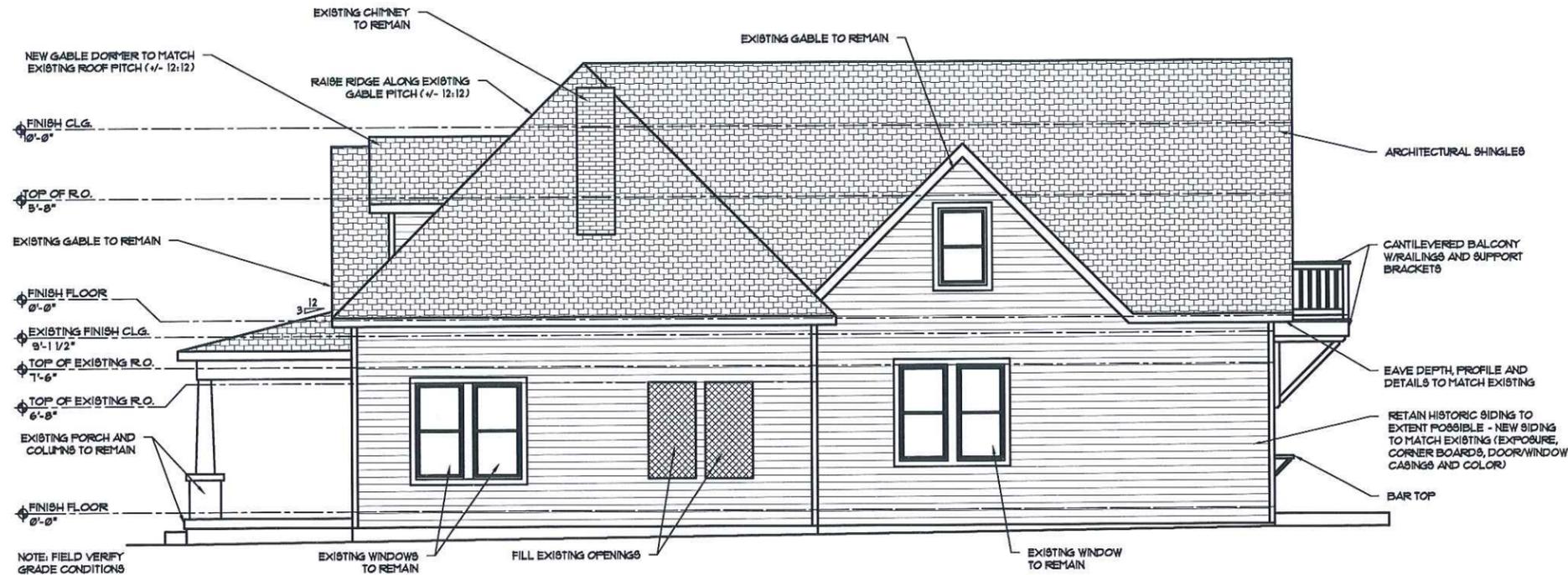
01 SITE PLAN

Scale: 1/16" = 1'-0"





01 FRONT ELEVATION



02 LEFT ELEVATION

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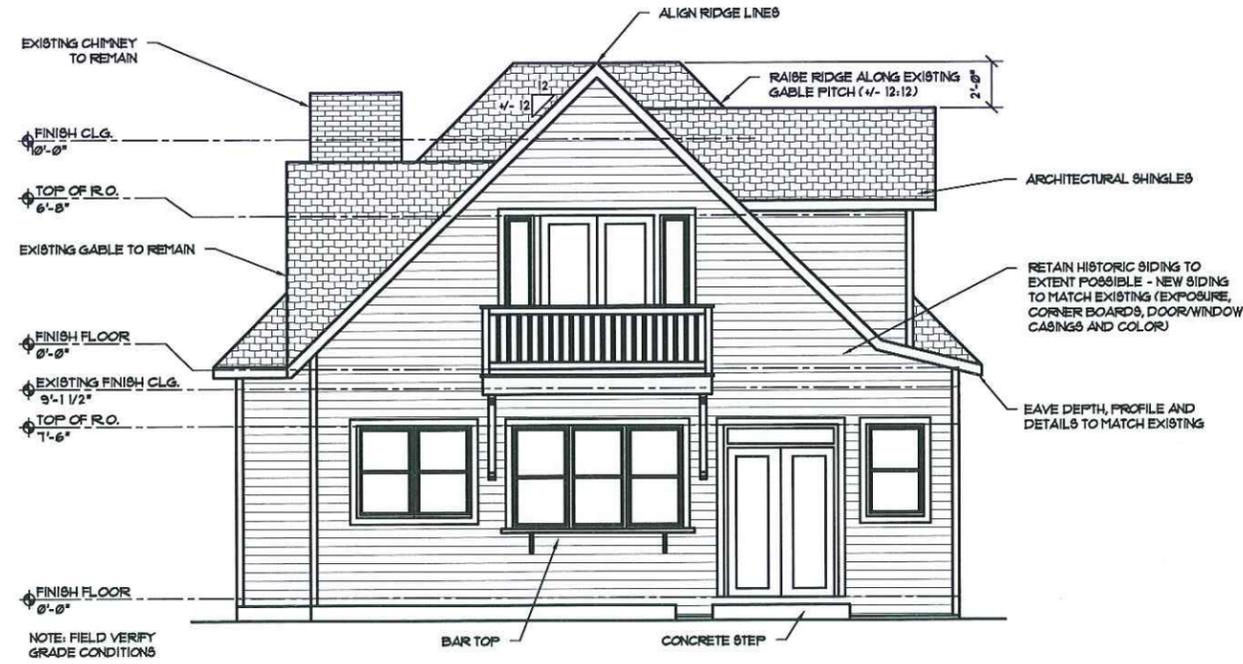
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ELEVATIONS

HOME RENOVATION/ADDITION  
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 1407 HOLLY ST. NASHVILLE, TN 37206



01 REAR ELEVATION

Scale: 1/8"=1'-0"



02 RIGHT ELEVATION

Scale: 1/8"=1'-0"

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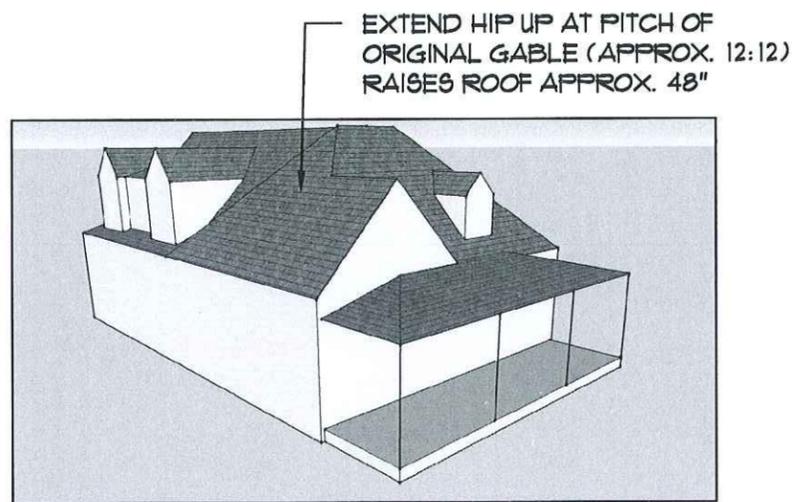
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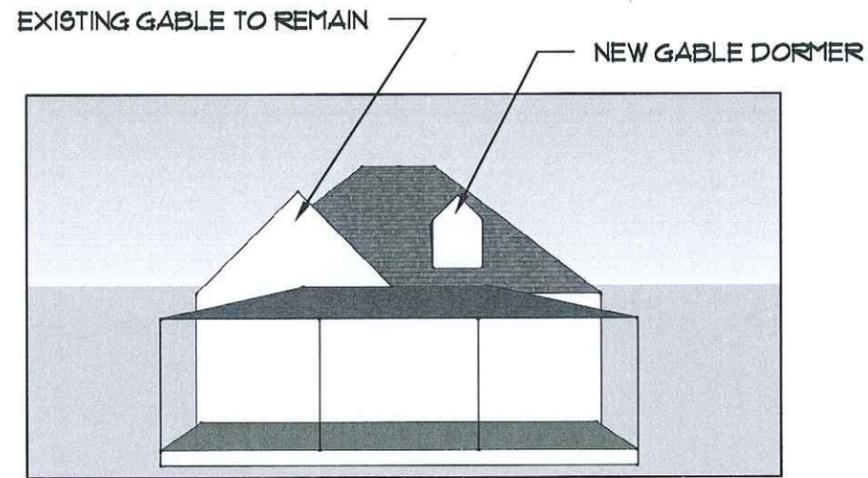
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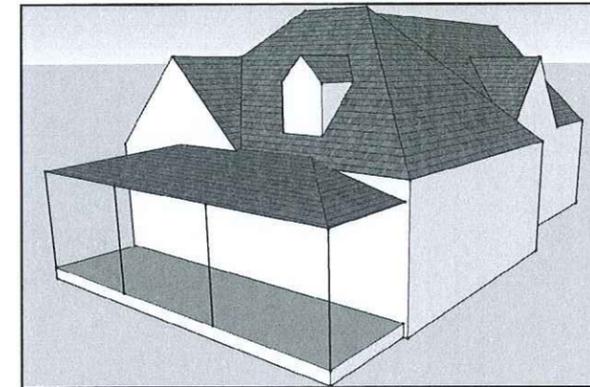
ELEVATIONS



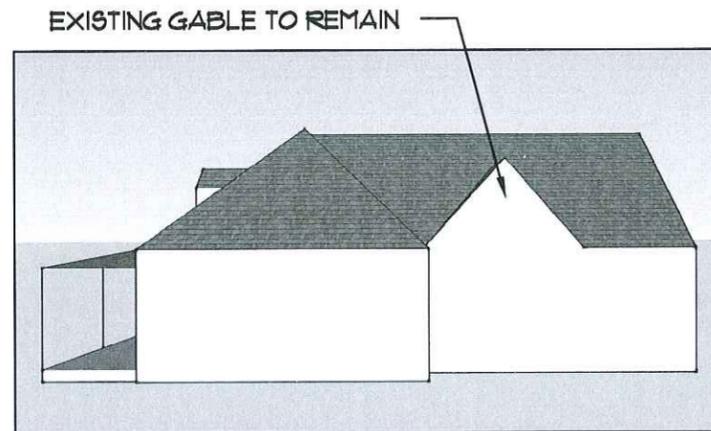
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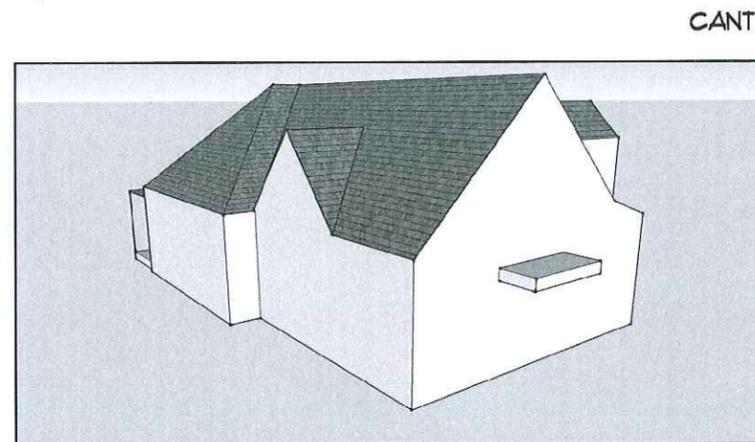
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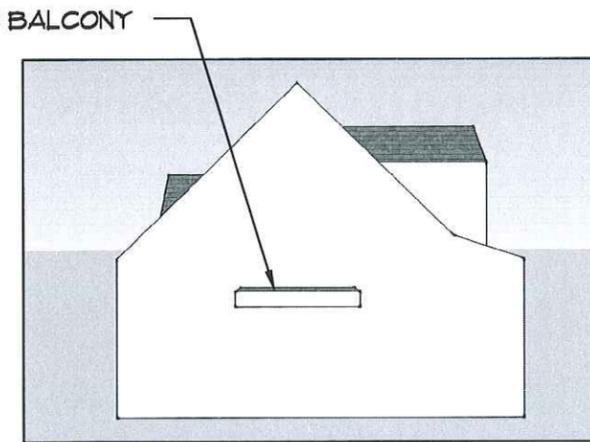
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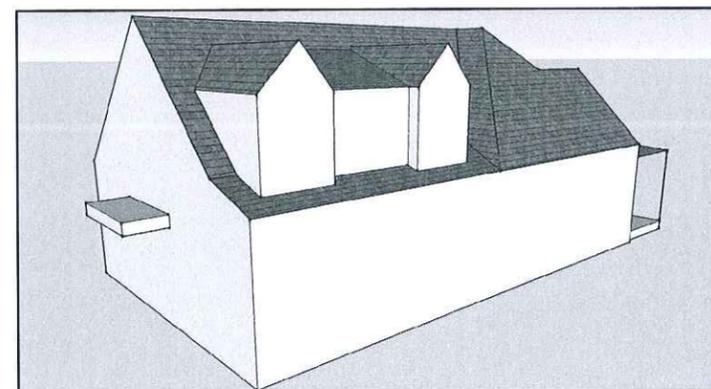
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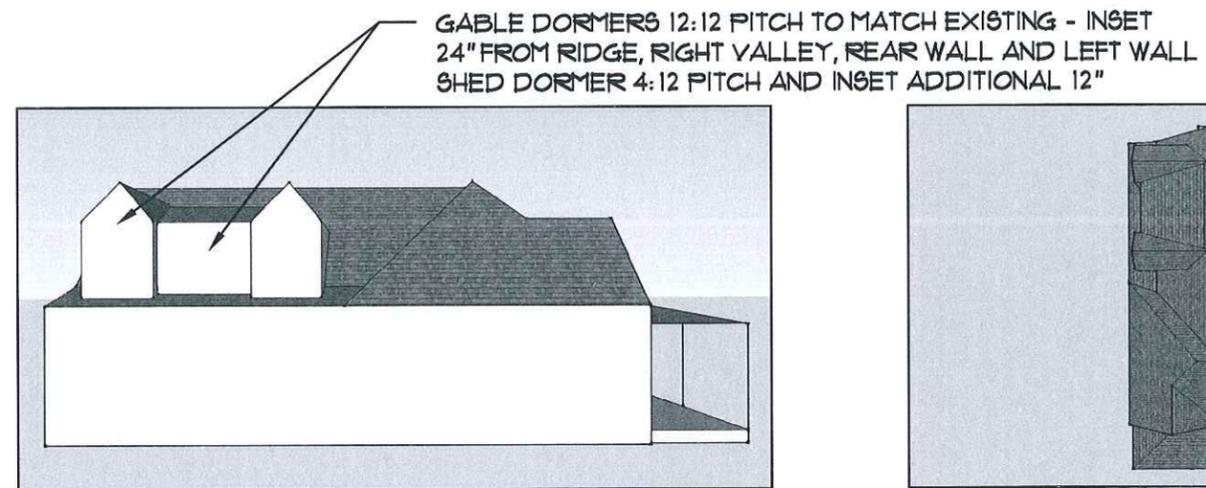
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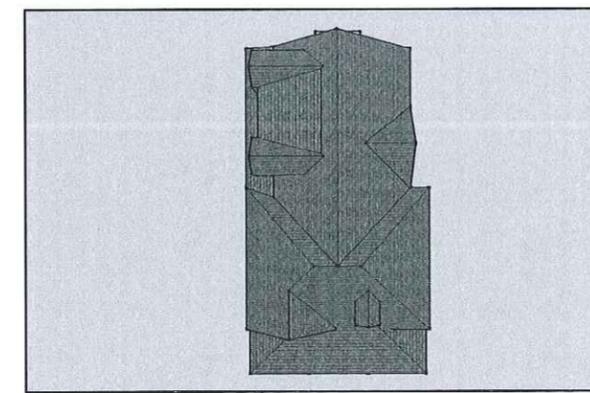
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07 LEFT REAR PERSPECTIVE Scale: N.T.S.



08 LEFT PERSPECTIVE Scale: N.T.S.



09 ROOF PERSPECTIVE Scale: N.T.S.

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