



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1419 Holly Street
April 15, 2015

Application: New construction-detached accessory dwelling unit (DADU); Setback determination

District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

Council District: 06

Map and Parcel Number: 08309042800

Applicant: John Root

Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: New construction of an outbuilding for use as a garage and detached accessory dwelling unit (DADU). The project includes a driveway that exceeds the twelve foot (12') maximum allowed by Chapter 17.16.030.F. of the Metro Code. The applicant requests a setback determination for the side setback.

Attachments
A: Photographs
B: Outbuilding Worksheet
C: Site Plan
D: Elevations

Recommendation Summary: Staff recommends approval of the new construction, with the conditions:

1. The outbuilding is oriented with the garage doors facing the alley;
2. The outbuilding is setback at least 20' from North 15th Street; and,
3. Staff approve the final details, dimensions and materials of windows, doors and garage doors prior to purchase and installation.

Meeting these conditions, Staff finds that the application meets the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. Staff recommends approval with all conditions and disapproval without all conditions. Note that the MHZC does not have the authority to alter the code requirement that a driveway not exceed twelve feet (12') in width.

Applicable Design Guidelines:

II.B. New Construction

3. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setback reductions will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

8. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Windows and Doors

- Publicly visible windows should be appropriate to the style of the house.
- Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
- Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
- For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- *The DADU may not exceed the maximums outlined previously for outbuildings.*
- *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*

Density.

- *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.*

Ownership.

- *a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
- *The DADU cannot be divided from the property ownership of the principal dwelling.*
- *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

Bulk and Massing.

- *The living space of a DADU shall not exceed seven hundred square feet.*

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

17.16.030.F.6.

- b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.



Figure 1. Facing to the rear of the lot, looking at the approximate location of the proposed new outbuilding.

Background: The MHZC approved demolition of the house that used to be located at the rear of the lot in 2012. There was an existing curbcut at that time.

Analysis and Findings: The applicant proposes a new outbuilding with a first-floor garage, and accessory

dwelling space on the second floor. The outbuilding meets the design guidelines with the exception of the section on Setbacks.

Lot Area, Height & Scale:

The proposed outbuilding is one and a half stories with a ridge height twenty-three feet (23') above grade, and a footprint of seven hundred forty-eight square feet (748 sq.ft.), including the porch, meeting the requirements for the lot size of eight thousand, seven hundred square feet (8,700 sq.ft.).

Character, Materials, Roof Shape, Details: The outbuilding has similar architectural characteristics as the existing principal building. Roofing will be architectural shingles in a graphite color. The porch roof will be metal. The foundation will be split-face concrete block. The cladding will be fiber cement siding with five inches (5") reveal.

The roof shape and dormers are similar to that of the house. The primary roof pitch is 12/12, which is similar to the 10/12 primary roof pitch on the house. Staff finds that the proposed outbuilding is compatible with the house and surrounding buildings, and meets the relevant design guidelines.

Setback, Site Requirements:

Chapter 17.16.030.F, Section 4. of the Metro Code states:

- b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

There is an existing alley; however, there is also an existing curbcut. With a two-bay garage, the curbcut becomes double-width, essentially adding a second curbcut which the ordinance does not allow. There are several options. The vehicular entrances could be reoriented to face the alley, deleting the need for any curbcut. The building could be

redesigned so that one vehicular entrance faces the alley and only one faces the street; however this would likely result in a footprint too large to meet the code requirements. The third option is that the building could be pushed back onto the lot far enough that the curbcut could be no more than the allowed twelve feet (12') at the street and can bloom out inside the lot to accommodate the two doors. The MHZC does not have the authority to alter the requirement of the curbcut not exceeding twelve feet (12') in width.

In addition, with the garage doors facing the alley, as currently proposed, Metro Code 17.20.060.D requires a minimum setback of twenty feet (20') from the street. Staff's recommendation to retain that requirement of a twenty foot (20') setback also meets section II.B.9 of the design guidelines that requires driveways to be similar to the context. The outbuilding across North Fifteenth Street appears to have a setback that is similar to twenty-feet (20') requirement. (See vicinity map on page 2.)

Recommendation:

Staff recommends approval of the new construction, with the conditions:

1. The outbuilding is oriented with the garage doors facing the alley;
2. The outbuilding is setback at least 20' from North Fifteenth Street; and,
3. Staff approve the final details, dimensions and materials of windows, doors and garage doors prior to purchase and installation.

Meeting these conditions, Staff finds that the application meets the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. Staff recommends approval with all conditions and disapproval without all conditions. Note that the MHZC does not have the authority to alter the code requirement that a driveway not exceed twelve feet (12') in width.

OUTBUILDING/DADU WORK SHEET

1419 Holly Street

The following worksheet serves as a guide to facilitate the approval process for construction of outbuildings and DADUs. Completing the following tables will help determine if your proposed project meets the basic requirements defined by the design guidelines. After completion of the worksheet, reference the specific zoning overlay’s design guidelines for additional design requirements.

Section I: General requirements for DADUs and Outbuildings

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	YES	
If a corner lot, are the design and materials similar to the principle building?	YES	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	YES	
If dormers are used, do they sit back from the wall below by at least 2’?	YES	
Is the roof pitch at least 4/12?	YES	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	YES	
Is the building located towards the rear of the lot?	YES	

Section II: General Requirements for DADU

If the accessory building does not include a dwelling unit skip this section and go to Section III. If the accessory building is to include a dwelling unit (full bathroom and/or kitchen), the answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn’t zoned two-family or doesn’t have adequate square footage to be a legally conforming lot.)		NO
Are there other accessory buildings on the lot that exceed 200 square feet?		NO
Is the property zoned single-family?		NO
Are there already two units on the property?		NO

Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		NO
Is the planned conditioned living space more than 700 square feet?		NO

*Note: A restrictive covenant must be filed for DADUs before the permit may be issued. For more information, visit <http://www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx>

Section III: Site Planning

To determine the appropriate location of the outbuilding or DADU, complete the information below for “proposed” and compare to the minimums allowed.

	PROPOSED	MINIMUM
Space between principle building and DADU/Garage	49’6”	20’
Rear setback	10’	3’
L side setback**	10’	3’
R side setback**	18’	3’
How is the building accessed?	SIDE STREET	From the alley or existing curb cut

**If the lot is a corner lot, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10’.

Section IV: Massing Planning

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

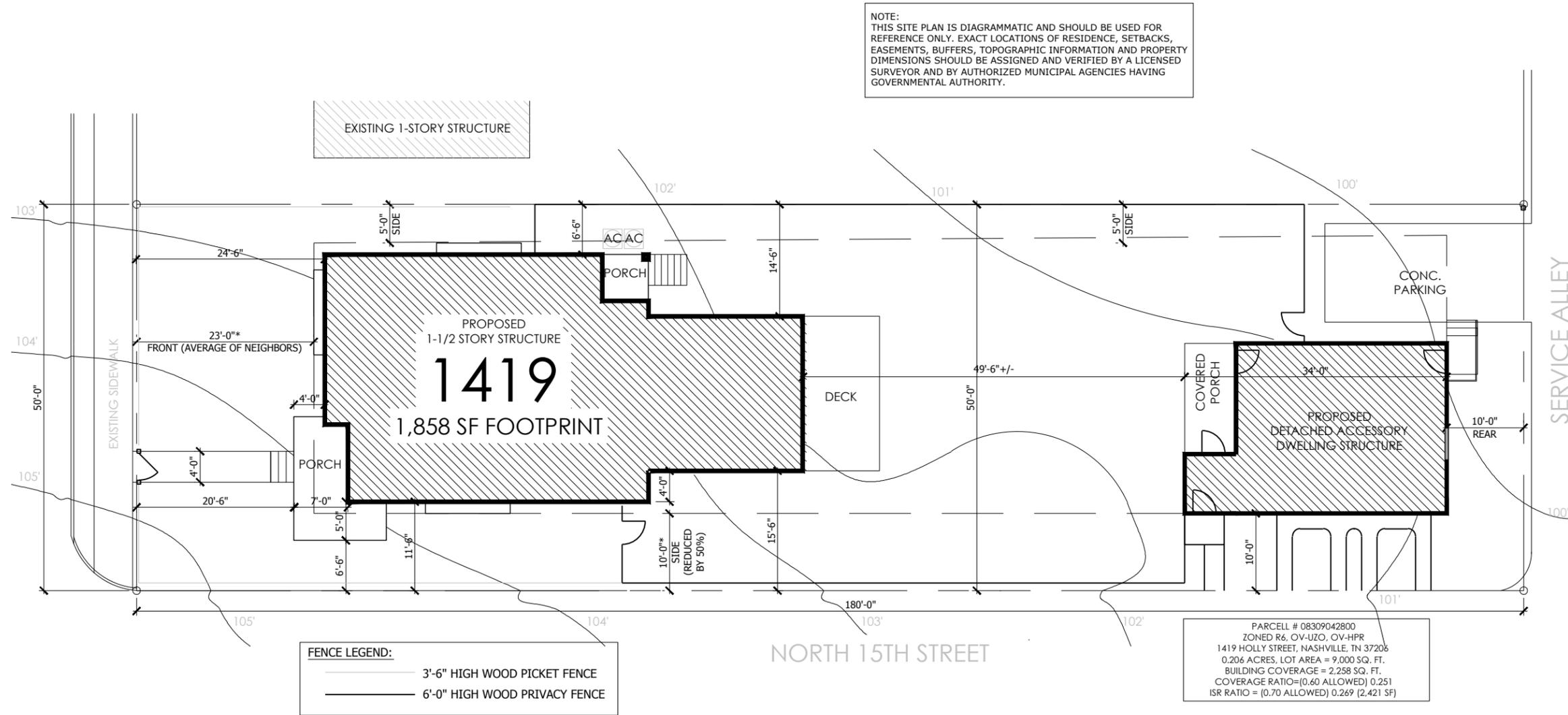
	Proposed (should be the same or less than the lesser number to the right)	Existing conditions (height shall be the average of all four corners measured from grade)	Potential maximums (height shall be the average of all four corners measured from grade)
Ridge Height	23’	28’	25’
Eave Height	10’	15’	1 story 10’ or 2 story 17’

To determine the maximum allowed square footage of the accessory building, complete the table below and choose the lesser number.

One-story building:

	Proposed footprint	50% of first floor area of principle structure	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet
Maximum Square Footage	748 sq.ft.	929 sq.ft.	750 sq. ft.	1,000 sq. ft.

A1 ARCHITECTURAL SITE PLAN
SCALE: 1/16"=1'-0"

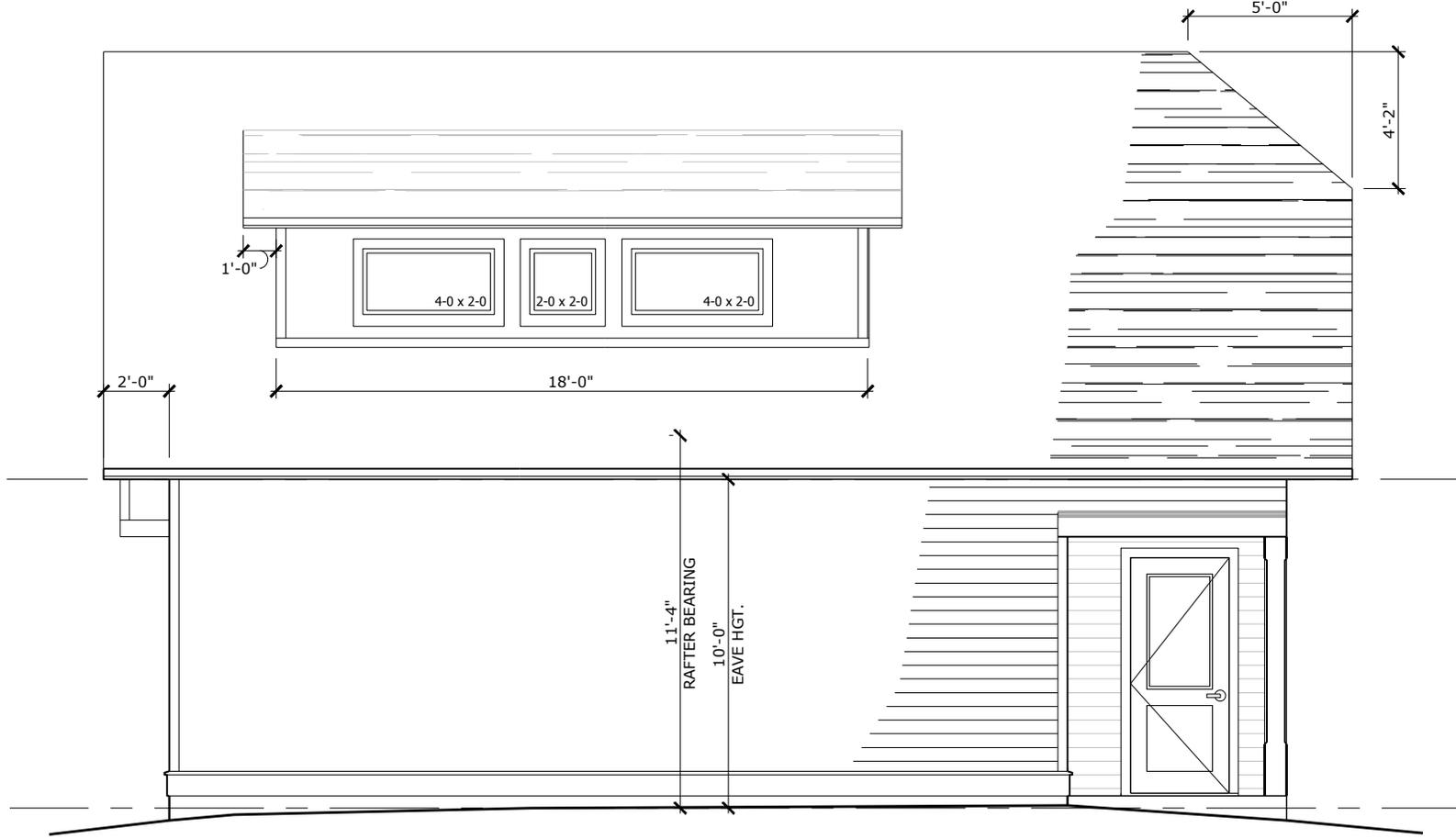


NOTE:
THIS SITE PLAN IS DIAGRAMMATIC AND SHOULD BE USED FOR REFERENCE ONLY. EXACT LOCATIONS OF RESIDENCE, SETBACKS, EASEMENTS, BUFFERS, TOPOGRAPHIC INFORMATION AND PROPERTY DIMENSIONS SHOULD BE ASSIGNED AND VERIFIED BY A LICENSED SURVEYOR AND BY AUTHORIZED MUNICIPAL AGENCIES HAVING GOVERNMENTAL AUTHORITY.

PARCELL # 08309042800
ZONED R4, OV-UZO, OV-HPR
1419 HOLLY STREET, NASHVILLE, TN 37206
0.206 ACRES, LOT AREA = 9,000 SQ. FT.
BUILDING COVERAGE = 2,258 SQ. FT.
COVERAGE RATIO=(0.60 ALLOWED) 0.251
ISR RATIO = (0.70 ALLOWED) 0.269 (2,421 SF)

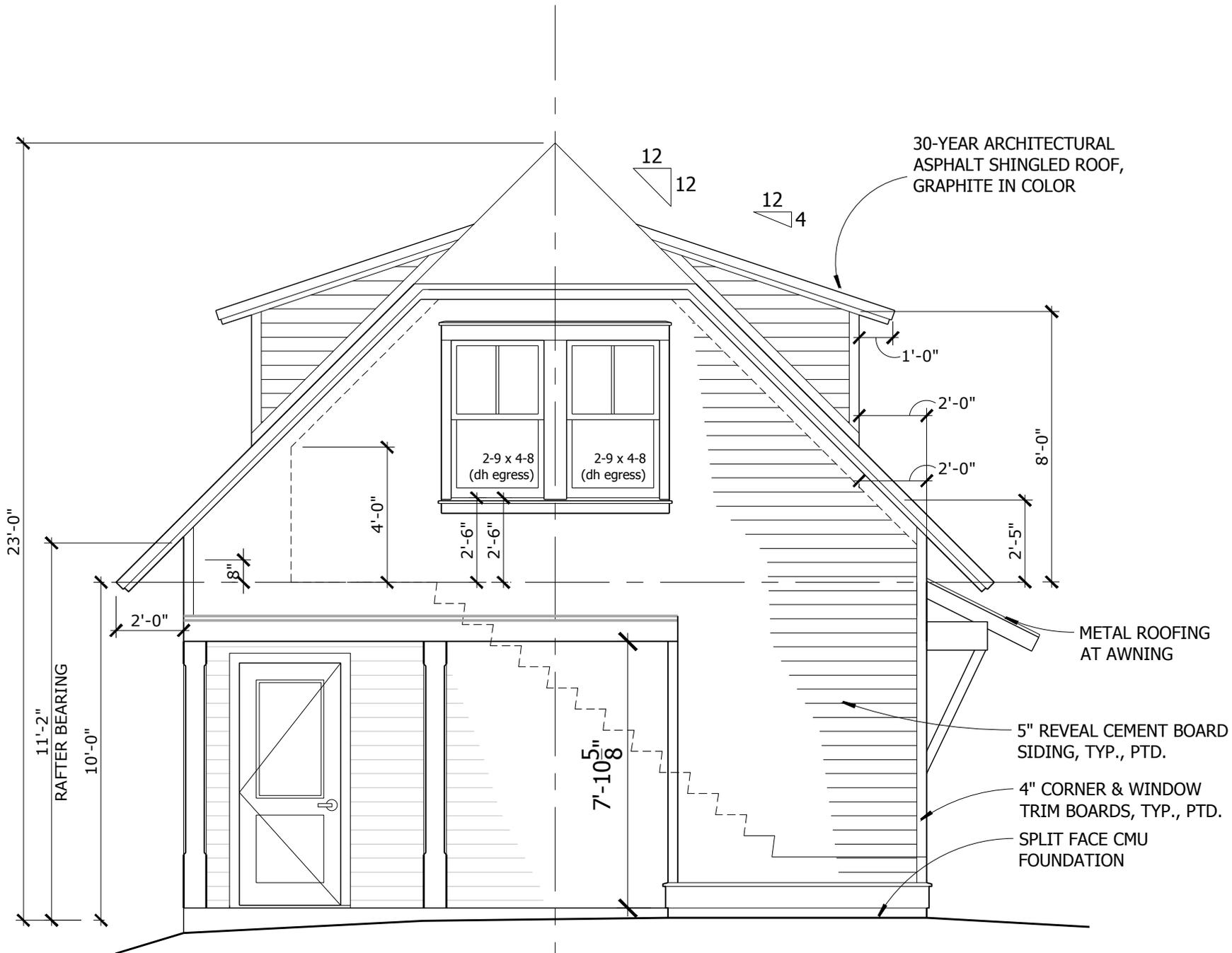
FENCE LEGEND:
 - - - - - 3'-6" HIGH WOOD PICKET FENCE
 _____ 6'-0" HIGH WOOD PRIVACY FENCE

REV.	DATE:	DESC:
0	03.30.15	MHEC APPROVAL
1	04.03.15	MHEC REVISIONS



A1 WEST ELEVATION
SCALE: 3/16"=1'-0"

REV.	DATE	DESC.
0	03.30.15	MHC APPROVAL
1	04.03.15	MHC REVISIONS



A1 SIDE ELEVATION (FACING NORTH)
SCALE: 1/4"=1'-0"

30-YEAR ARCHITECTURAL ASPHALT SHINGLED ROOF, GRAPHITE IN COLOR

METAL ROOFING AT AWNING

5" REVEAL CEMENT BOARD SIDING, TYP., PTD.

4" CORNER & WINDOW TRIM BOARDS, TYP., PTD.

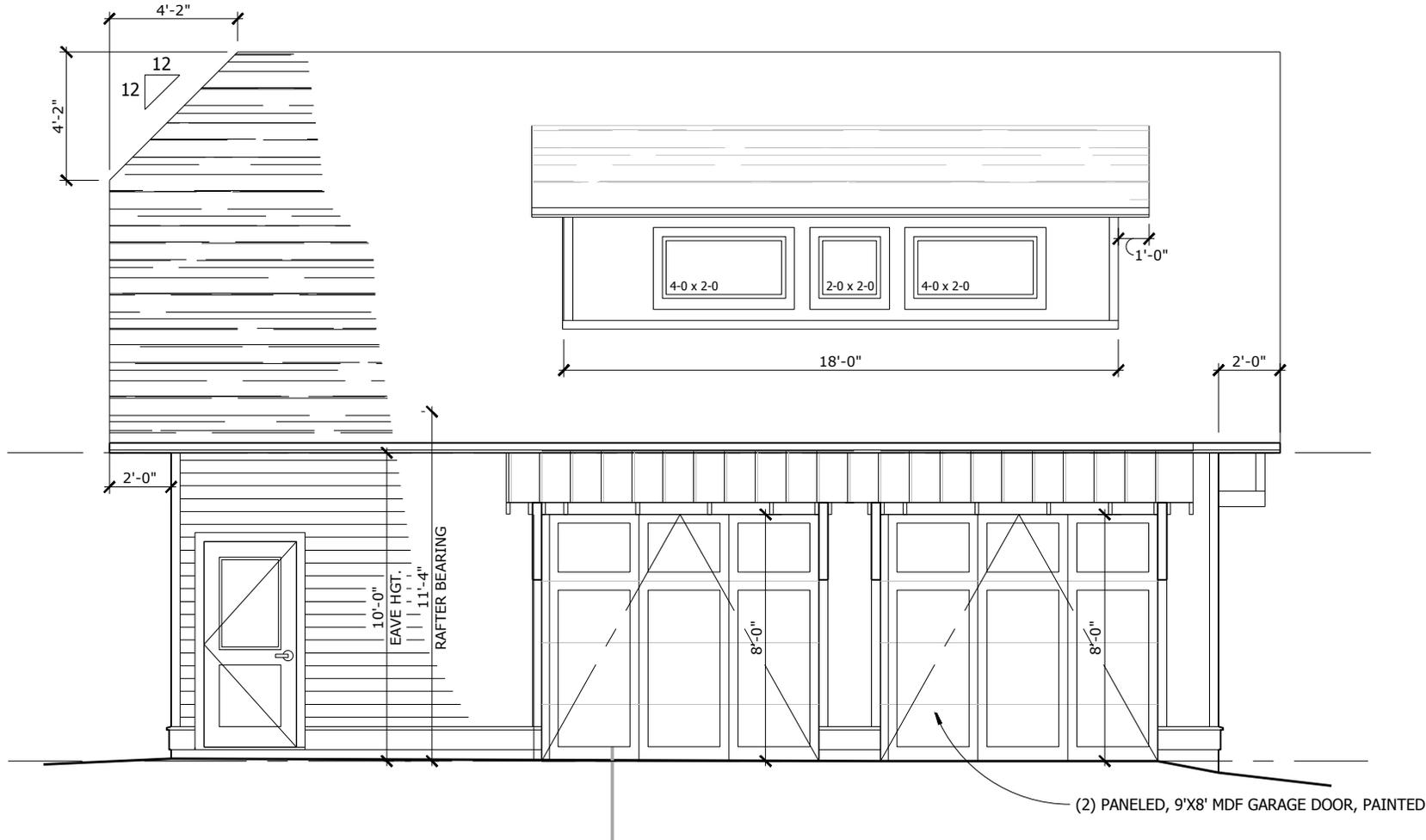
SPLIT FACE CMU FOUNDATION

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REV.	DATE	DESC.
0	03.30.15	MHCZ APPROVAL
1	04.03.15	MHCZ REVISIONS

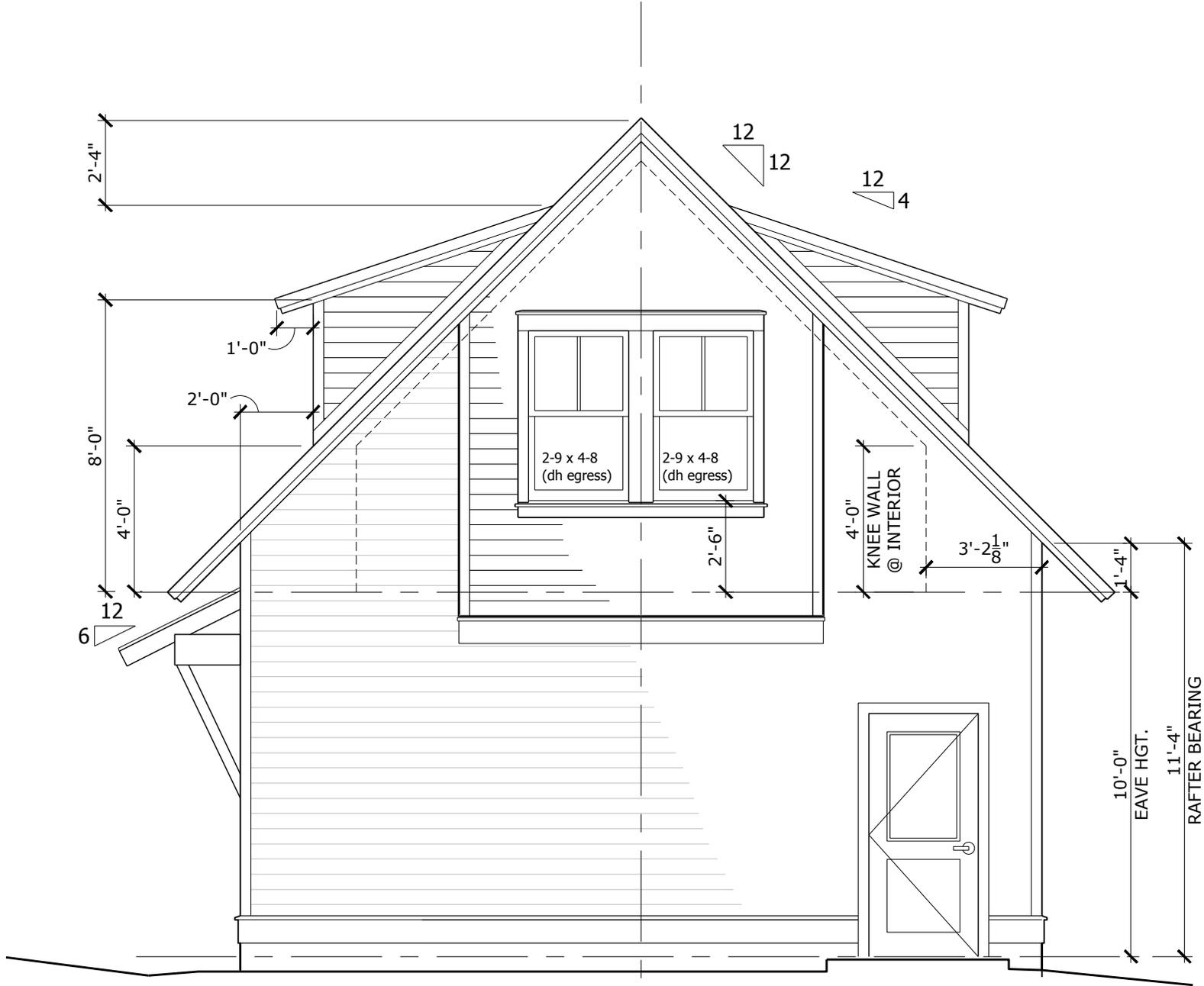
EXTERIOR ELEVATIONS
#14174

DADU:
1419 HOLLY STREET
NASHVILLE, TN 37206



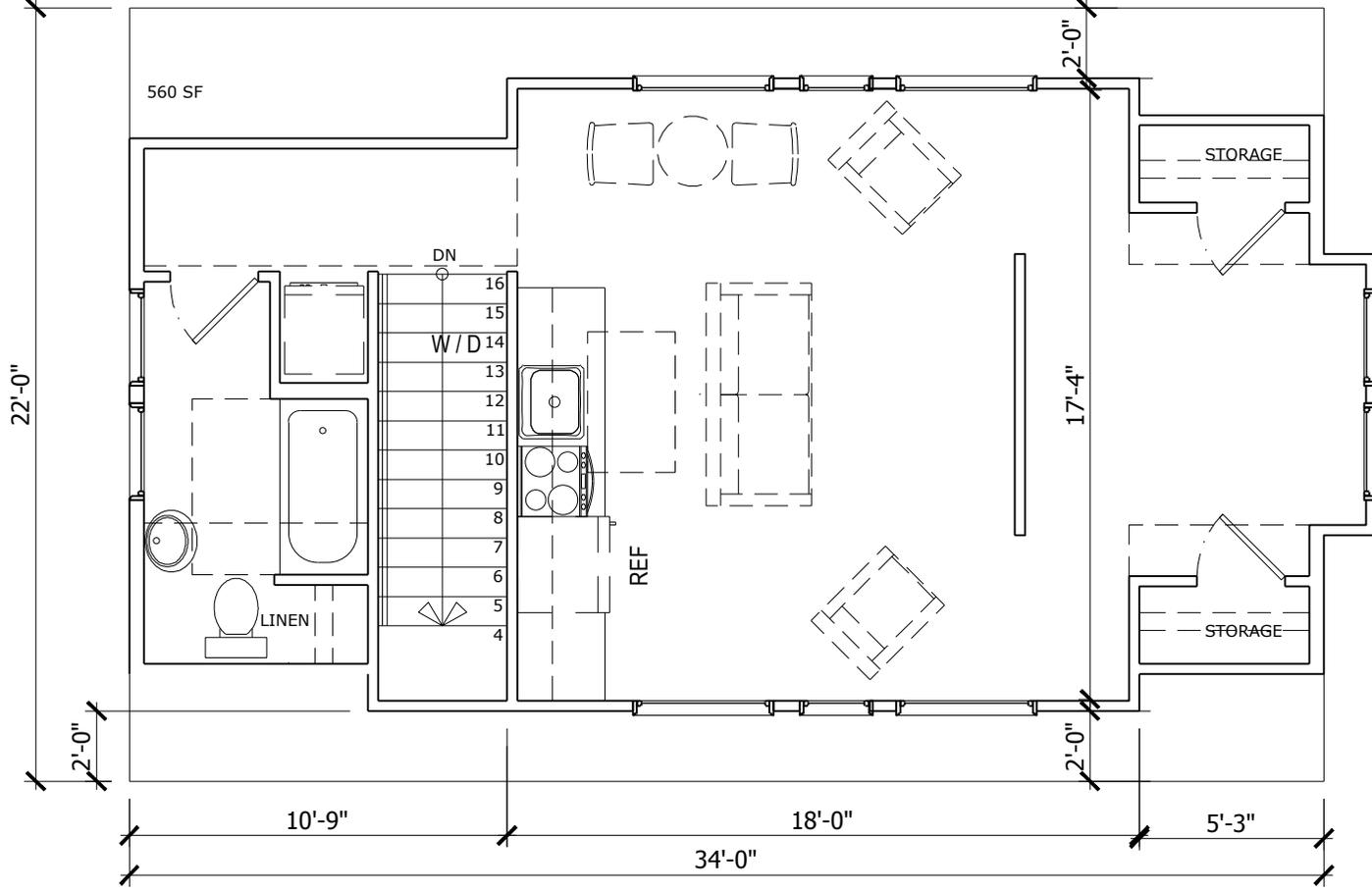
A1 EAST ELEVATION
SCALE: 3/16"=1'-0"

REV:	DATE:	DESC:
0	03.30.15	MHC APPROVAL
1	04.03.15	MHC REVISIONS



A1 SIDE ELEVATION (FACING NORTH)
SCALE: 1/4"=1'-0"

REV.	DATE	DESC.
0	03.30.15	MHC APPROVAL
1	04.03.15	MHC REVISIONS



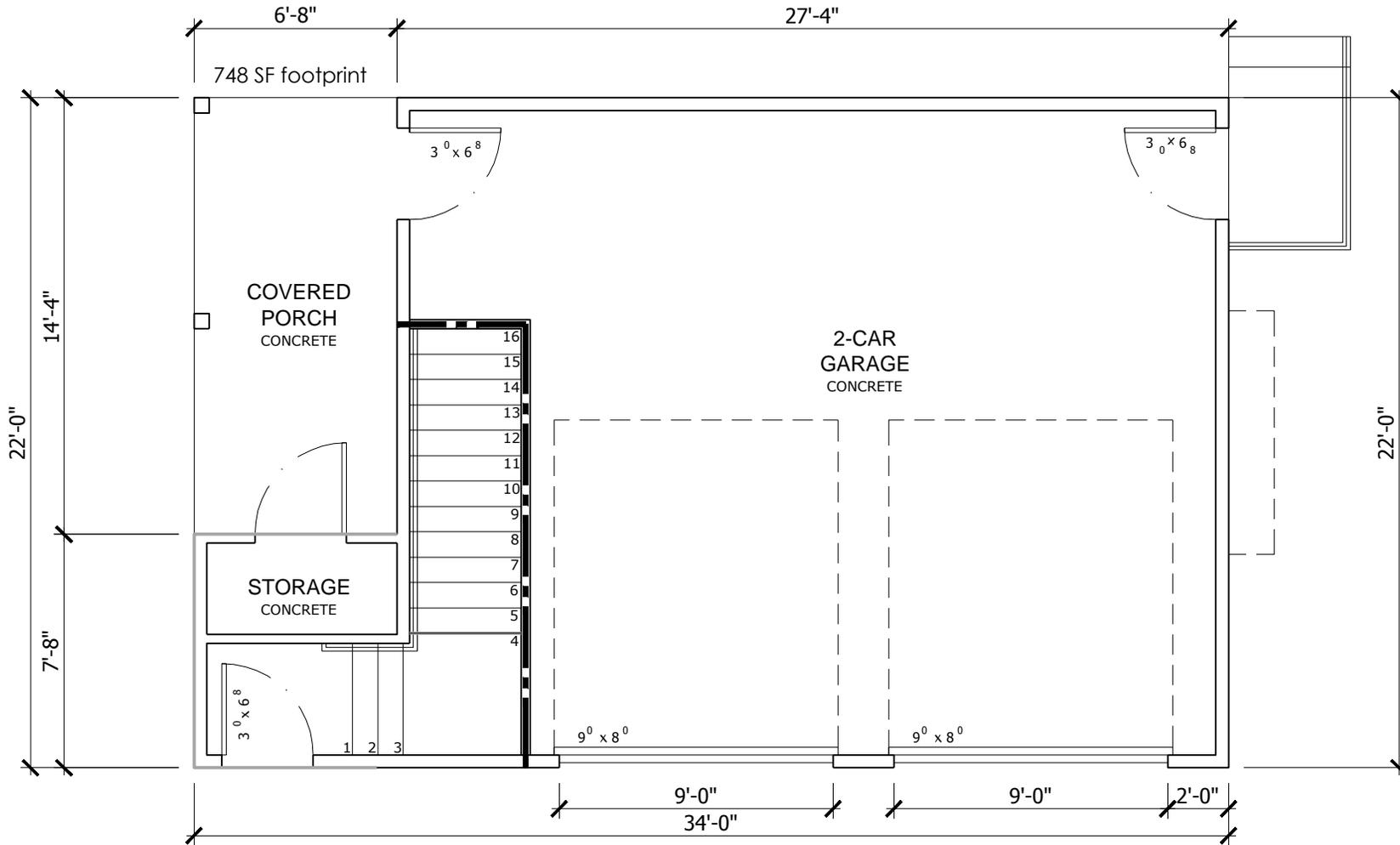
A1 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

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EXTERIOR ELEVATIONS
#14174

REV:	DATE:	DESC:
0	03.30.15	MHC APPROVAL
1	04.03.15	MHC REVISIONS

DADU:
1419 HOLLY STREET
NASHVILLE, TN 37206



A1 FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

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REV:	DATE:	DESC:
0	03.30.15	MHC APPROVAL
1	04.03.15	MHC REVISIONS

EXTERIOR ELEVATIONS
#14174

DADU:
1419 HOLLY STREET
NASHVILLE, TN 37206

A2.1