



# METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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## STAFF RECOMMENDATION 308-310 Broadway July 15, 2015

**Application:** New construction – addition; Alterations  
**District:** Broadway Historic Preservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 09306202600  
**Applicant:** John TeSelle, Architect  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant proposes to finish out the existing second story and install windows on the front and left side facades, and construct a partial third-story addition on the roof of the existing building. The addition will be set back thirty-seven feet (37') from the front of the existing building and will be fourteen feet (14') taller than the existing parapet with the roof sloping down toward the rear.

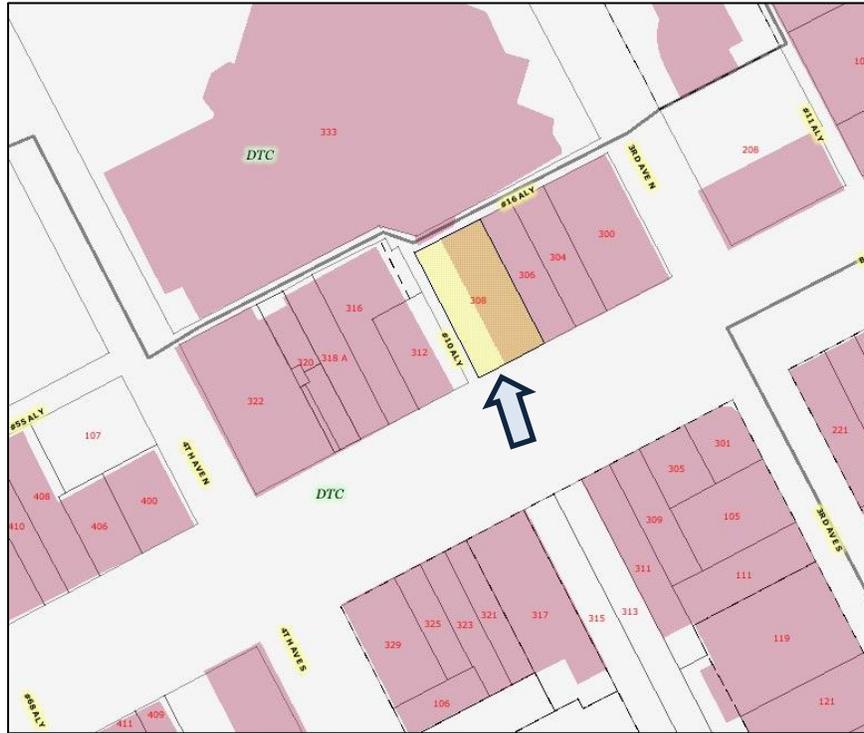
**Recommendation Summary:** Staff recommends approval of the installation of windows and construction of a rooftop addition at 308-310 Broadway, with the conditions that:

- Staff approves the roof color and a brick sample;
- The new second-story windows have the appearance of double-hung windows, including off-set sashes and mullions;
- The left side wall be brick, with wood siding on the roof-deck and interior facing walls only; and,
- The window type and proportions on the left side wall be consistent with the upperstory windows of historic buildings.

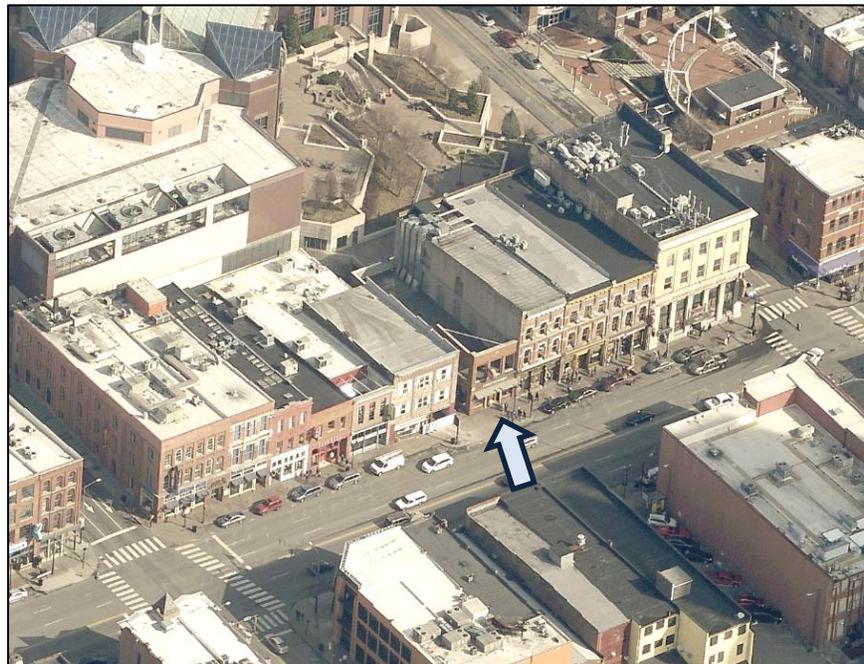
Meeting those conditions, Staff finds that the proposal would meet the design guidelines for the Broadway Historic Preservation Zoning Overlay.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **III. New Construction**

#### **A. Height**

1. Infill buildings which directly front on Broadway shall not exceed a height greater than 65 feet or 5 stories. Infill buildings which directly front on Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building.
2. Infill buildings which are constructed on corner lots facing Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building and 20 feet from the secondary street.
3. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 150 feet from the right-of-way of Broadway shall not exceed a height greater than 80 feet total or 6 stories.
4. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 200 feet from the right-of-way of Broadway shall not exceed a height greater than 90 feet or 7 stories.
5. Infill buildings shall be a minimum of 40 feet or 3 stories in height.
6. Infill buildings which are constructed within 150 feet of a registered National Historic Landmark shall be subordinate in height to the National Historic Landmark property.

#### **B. Scale**

1. The size of a new building, its mass in relation to open spaces, and its windows, doors, openings, and appurtenances should be visually compatible with the surrounding buildings.
2. In the event that multiple lots or parcels are assembled within the historic district, buildings shall be designed to be compatible with the adjacent structures. Existing traditional and historic buildings are 20 to 50 feet wide and 100 to 150 feet deep. New structures should employ design techniques to break the facades along the right-of-way into multiple vertical elevations as previously described.
3. All new buildings should have a base, middle, and cap. Traditionally, buildings were composed of these three basic elements. Adhering to this form will help reinforce the visual continuity of the area.
4. The first floor height shall be a minimum of 16 feet from finished floor to finished floor. Upper floor heights should appear to be similar to historic structures in the district.

#### **C. Setback and Rhythm of Spacing**

1. The setback from the street and side property lines established by adjacent or contiguous buildings shall be maintained. When a definite rhythm along a street is established by uniform lot, building width, or bay patterns within a building façade, infill buildings should maintain the rhythm.
2. New buildings should be constructed in line with adjacent historic structures. Corner buildings should avoid setbacks or open corner plazas that disrupt the continuity of the street wall.
3. New buildings shall front 100% of the primary street and, where applicable, a minimum of 85% of the secondary street.
4. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
5. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

#### **D. Roof Shape**

1. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
2. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

#### **E. Proportion and Rhythm of Openings**

1. The relationship of width to height of windows and doors and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
2. The design of the street level of new buildings is crucial in establishing the commercial vitality. At least 60% of the street level façade of a new building shall be transparent (i.e., doors and windows)

to provide visual interest and access for the pedestrian. This guideline is most important on Broadway where most of the buildings have commercial ground floor storefronts.

3. Define a clear primary entry. Doorways on primary facades shall appear similar to those used historically. The primary entrance should be defined with a canopy or other architectural feature.
4. Upper floor windows should be at least twice as tall as they are wide.
5. Door and window openings should be recessed on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
6. On corner buildings, glazing shall turn the corner facing the secondary street a minimum of one structural bay or 16 feet, whichever is the greater.

**F. Guidelines: Relationship of Materials, Texture, Details, and Material Color**

1. The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.
2. Masonry materials were primarily used in the historic district, and should continue to be predominant. Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*. Exterior Insulation Finish Systems and vinyl are not appropriate exterior materials.
3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

**G. Guidelines: Orientation**

1. The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible.
2. Primary building entrances shall be oriented to the primary street.
3. Entrances to buildings should be recessed.

**H. Additions to Existing Buildings**

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

**V. Demolition**

1. Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
2. Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
3. Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
4. Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.120.190, as amended, of the historic zoning ordinance.

**Background:** The building at 308 Broadway is the left unit in a row of three-story commercial buildings separated by party-walls, constructed prior to 1897.

The existing building at 310 Broadway is a brick commercial building, constructed in 2011. Although the building appears to be two stories tall, only the first story is currently a functioning space. The upperstory has front and side walls only, without a roof and with openings without windows.

**Analysis and Findings:** The applicant proposes to finish out the existing second story of 310 Broadway and construct a partial third-story addition on the new roof. The new addition will be connected to 308 Broadway on the inside; therefore the plans show both buildings.

Existing Building:

Windows will be installed in the existing 2<sup>nd</sup> story openings on the front and left side of the building. The windows will operate as casements, but will have the appearance of double-hung sash windows, including off-set glazing to give the appearance of separate sashes. Because the windows will be in pairs, staff recommends that they also have a four inch to six inch (4"-6") mullions between them, as would be typical of double-hung windows historically. Staff asks to approve the final windows prior to purchase and installation. There will be no other changes to the front facades of 308 and 310 Broadway. Staff finds that, with the new windows approved by Staff, the project will meet guidelines III.E.1 and III.E.4.

The existing left side wall of 308 Broadway will be partially demolished to connect the interior spaces with those of 310 Broadway. This wall was originally a party wall and not a public façade, so Staff finds the partial demolition to meet guideline V.2 for appropriate demolition.

Rooftop Addition:

The proposed third-level of building 310 will sit thirty-seven feet (37') back from the front wall of the building which meets the requirements of guidelines III.H.1 and III.H.2. The addition extends the full-width of the building, which is appropriate because the building is not on a corner lot and no side setbacks are required.

The addition will have a low-pitched shed-roof, sloping down toward the rear. The front edge of the addition will be fourteen feet (14') higher than the parapet at the front of the building. The height and scale are compatible with surrounding historic buildings, which also meets guidelines III.A.1 and III.H.1.

The primary material for the addition will be brick, matching the existing brick wall of the first story and front façade. The roof will be metal, the color of which is not known. Staff asks to approve the brick and the roof color. A portion of the new third story walls will feature reclaimed wood horizontal siding on the facades facing the roof deck and on the left facade of 308 Broadway. Wood siding was not used historically in this context.

The left side will be highly visible from a public right-of-way, the alley and Broadway, and will be visually incompatible with surrounding buildings. Staff recommends that masonry be used as the wall material on the left side of the building to meet guideline III.F.1 and III.F.2. Wood siding may be appropriate on walls facing the roof deck and interior spaces because the addition is set back thirty-seven feet (37') from the front of the building.

The third story walls will also feature roll-up glass overhead doors facing the roof deck and roll-up windows on the left side wall of 308 Broadway. Staff finds that the roll-up overhead doors are not appropriate on the left side of the building as the rhythm of solids and voids is not visually compatible with surrounding buildings. Upperstory windows on historic buildings are typically at least twice as tall as they are wide with solid wall-space between openings. Staff recommends that the window type and proportions on the left side wall be consistent with the upperstory windows of historic buildings. The roll-up doors may be appropriate facing the roof deck and interior spaces because the addition is set back thirty-seven feet (37') from the front of the building.

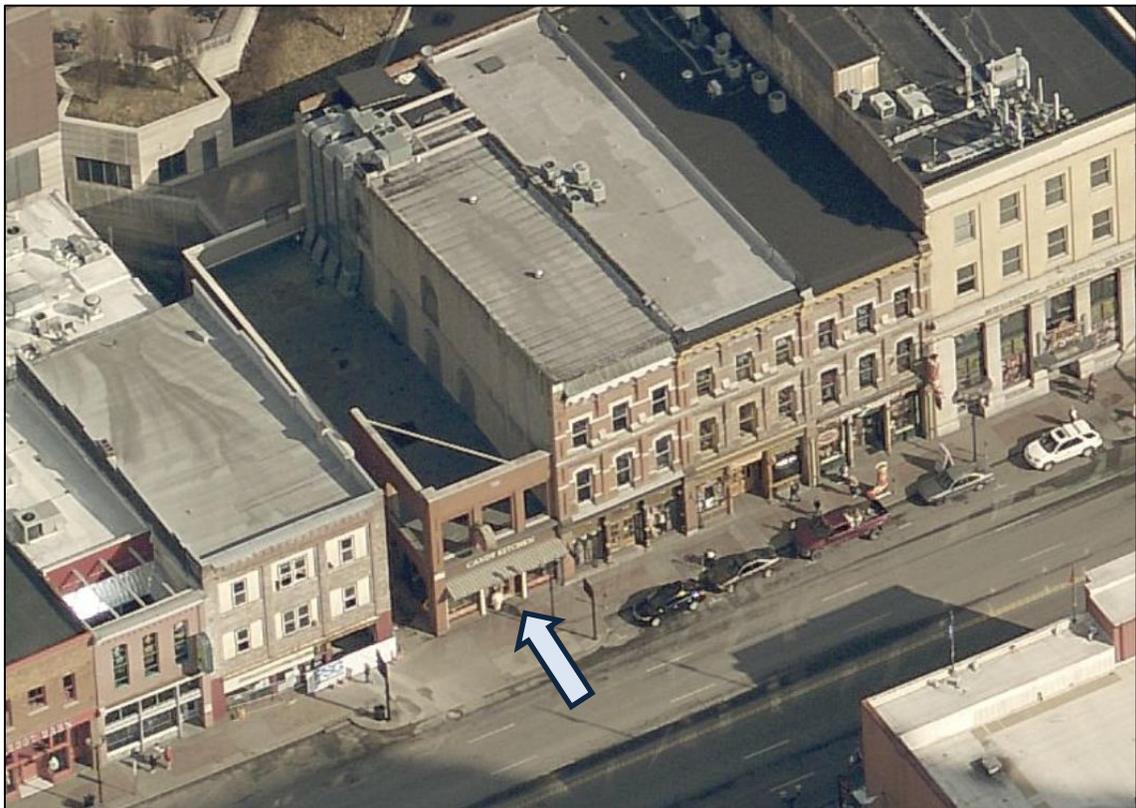
**Recommendation:** Staff recommends approval of the installation of windows and construction of a rooftop addition at 308-310 Broadway, with the conditions that:

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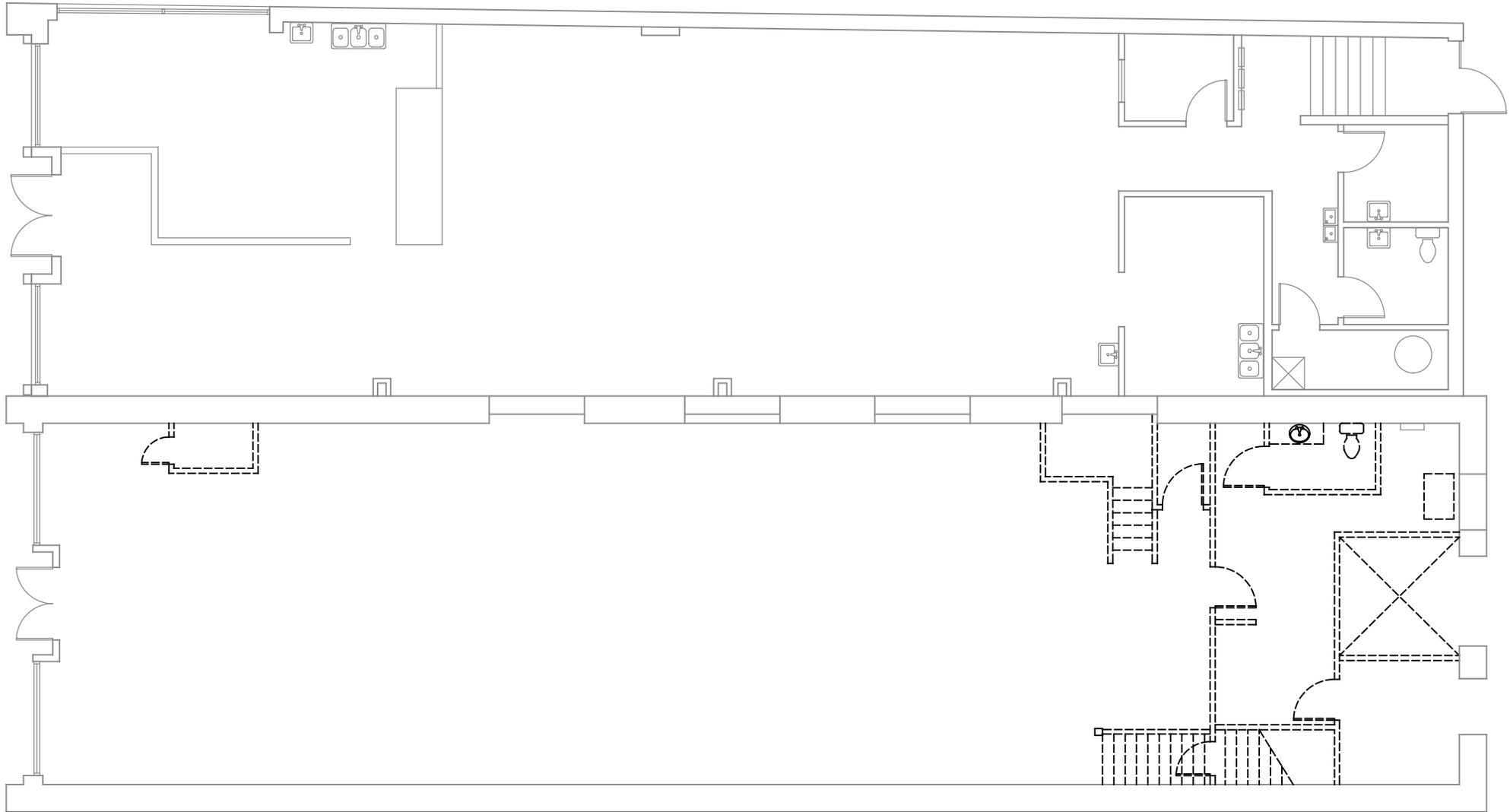
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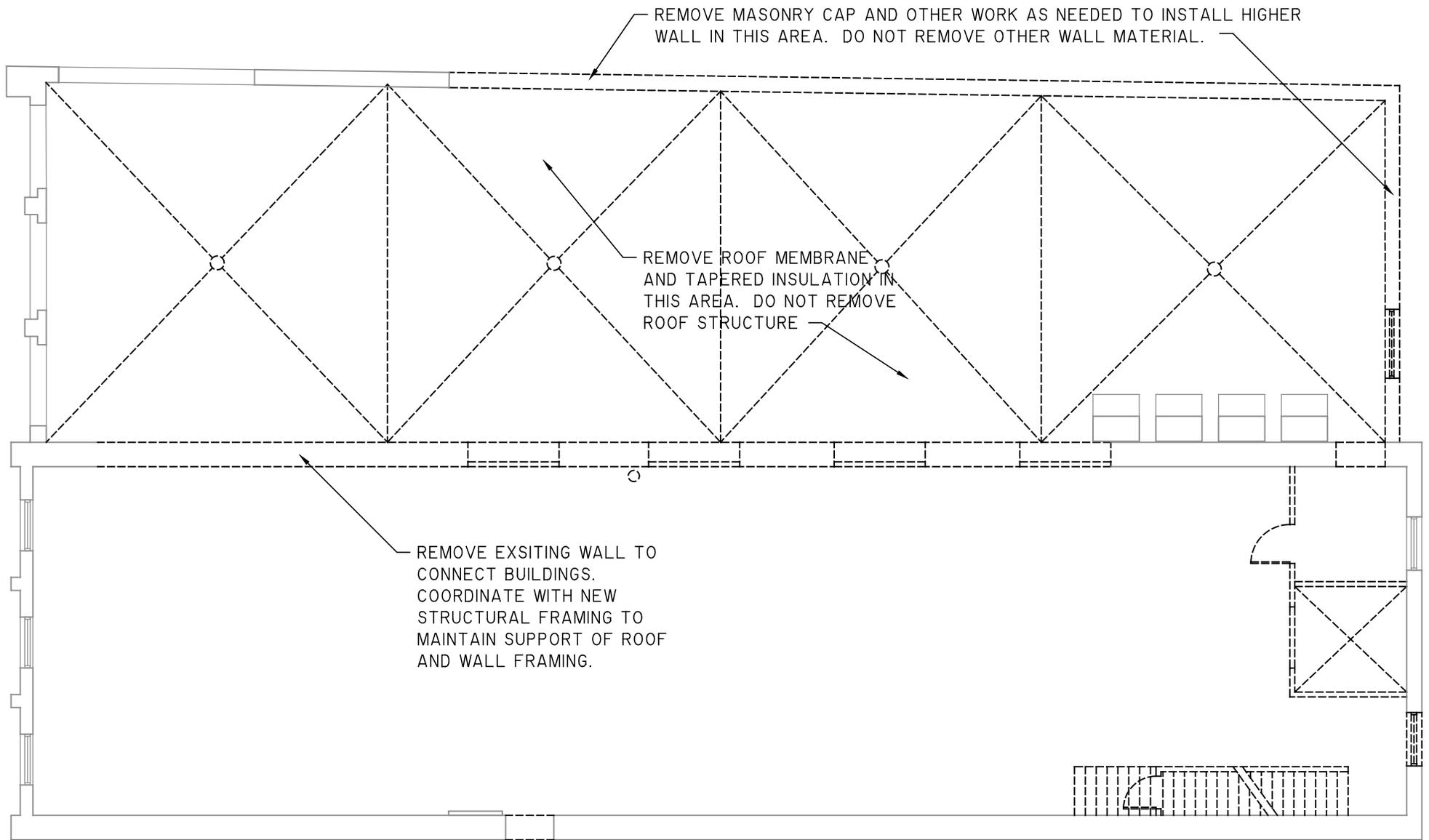
308-310 Broadway, front.



308-310 Broadway, aerial.

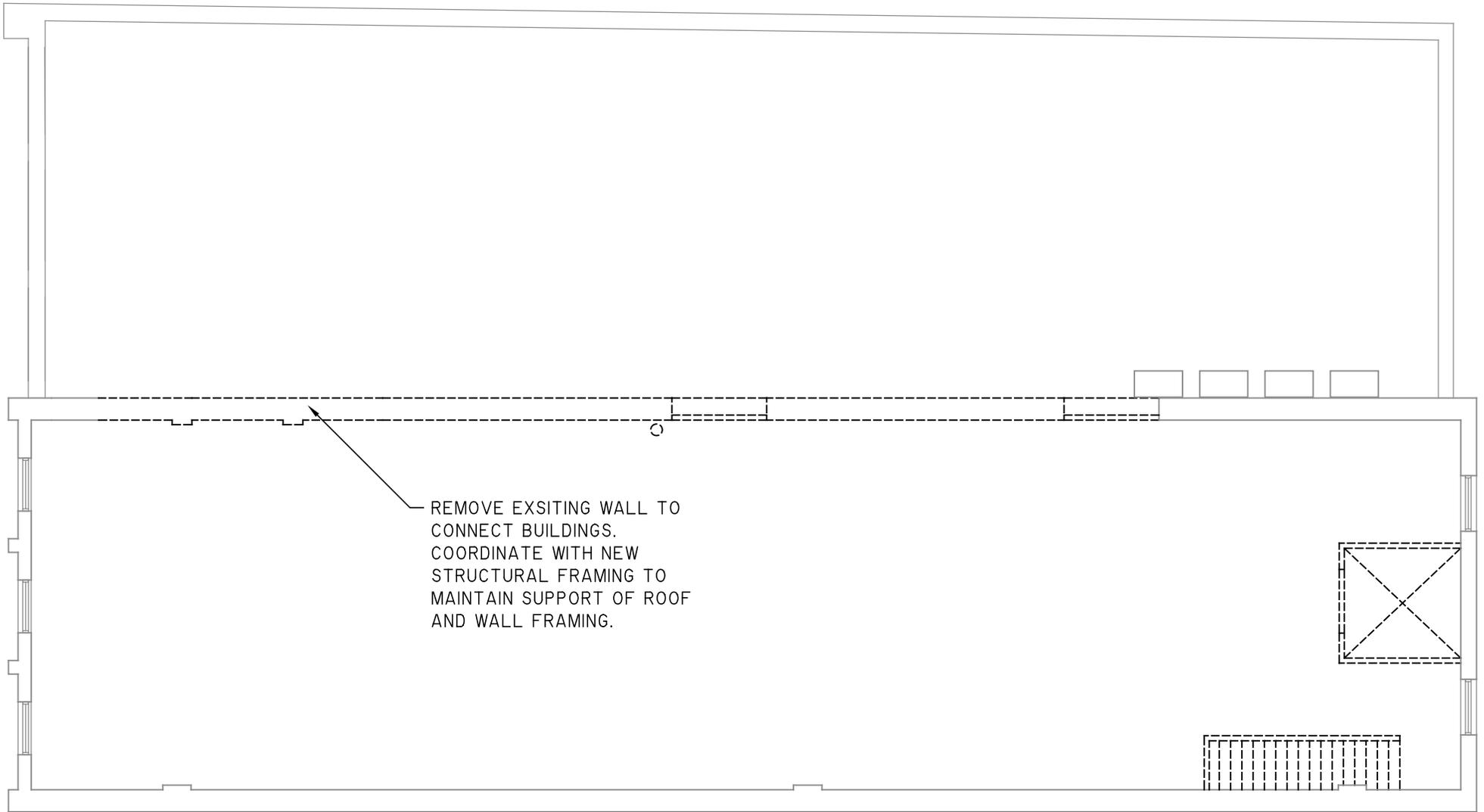



 | FIRST FLOOR DEMOLITION PLAN  
 NORTH 0 2' 4' 8' 16' 32'





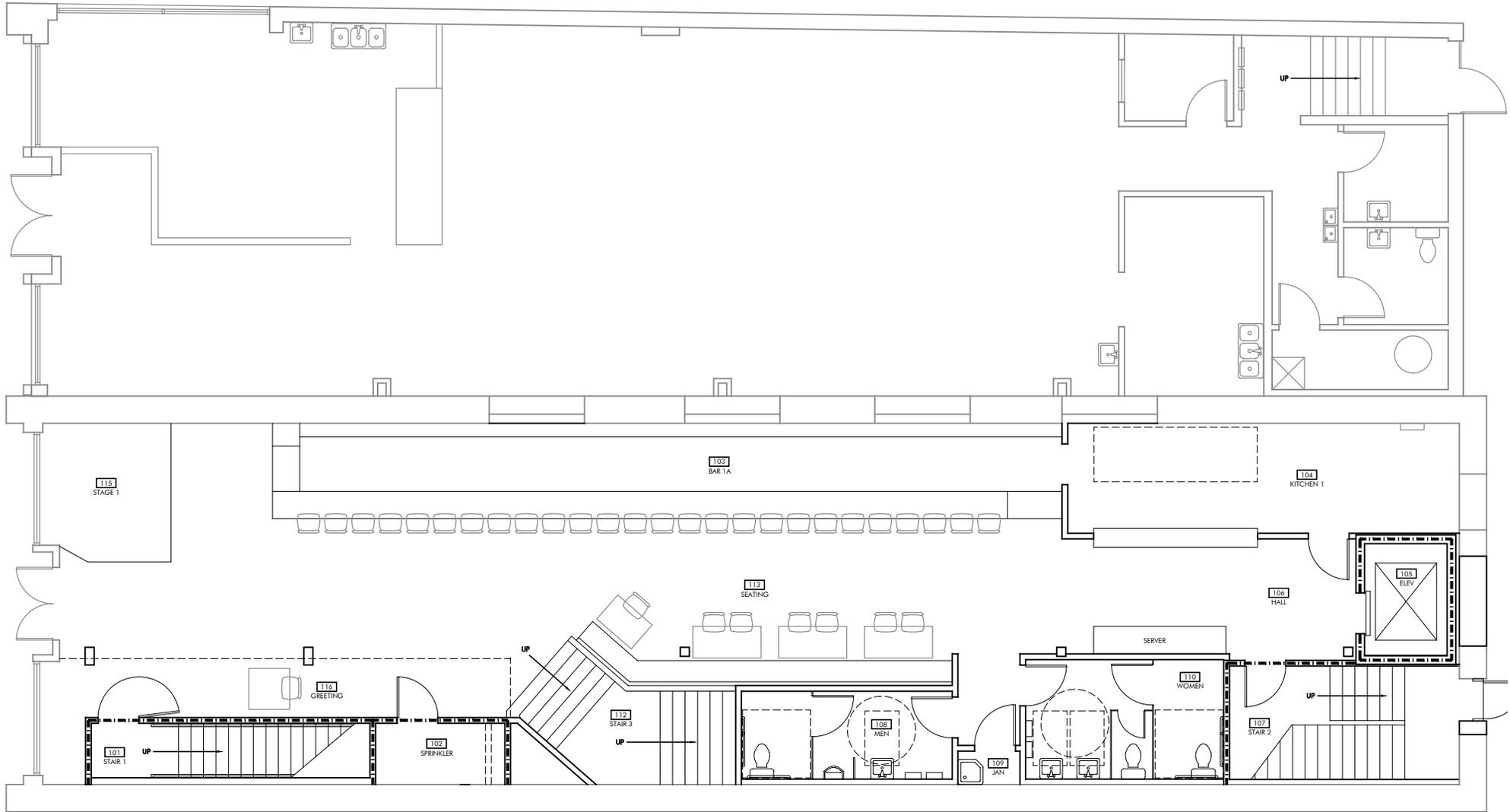
 SECOND FLOOR DEMOLITION PLAN



REMOVE EXSITING WALL TO  
 CONNECT BUILDINGS.  
 COORDINATE WITH NEW  
 STRUCTURAL FRAMING TO  
 MAINTAIN SUPPORT OF ROOF  
 AND WALL FRAMING.

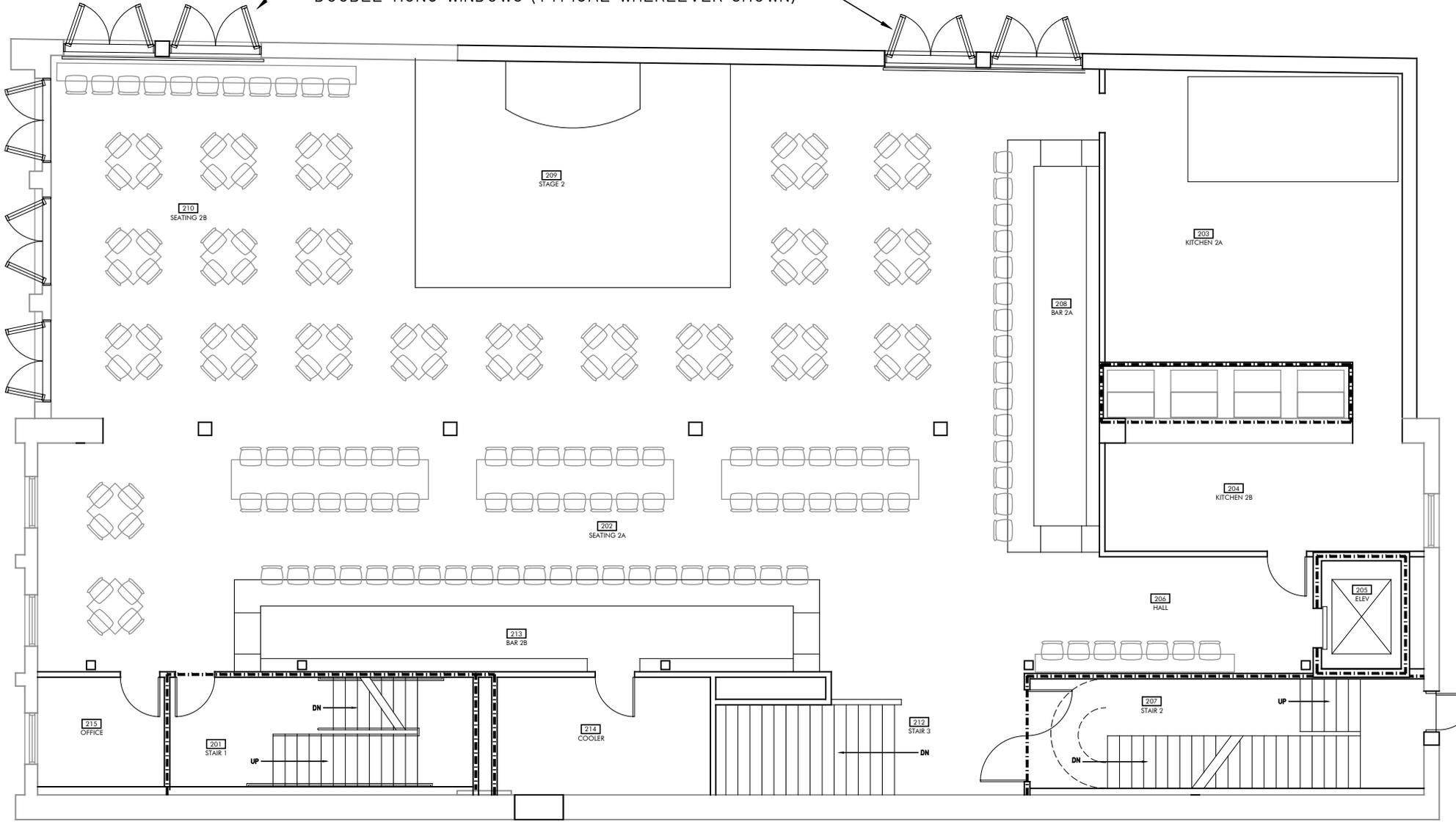


 THIRD FLOOR DEMOLITION PLAN

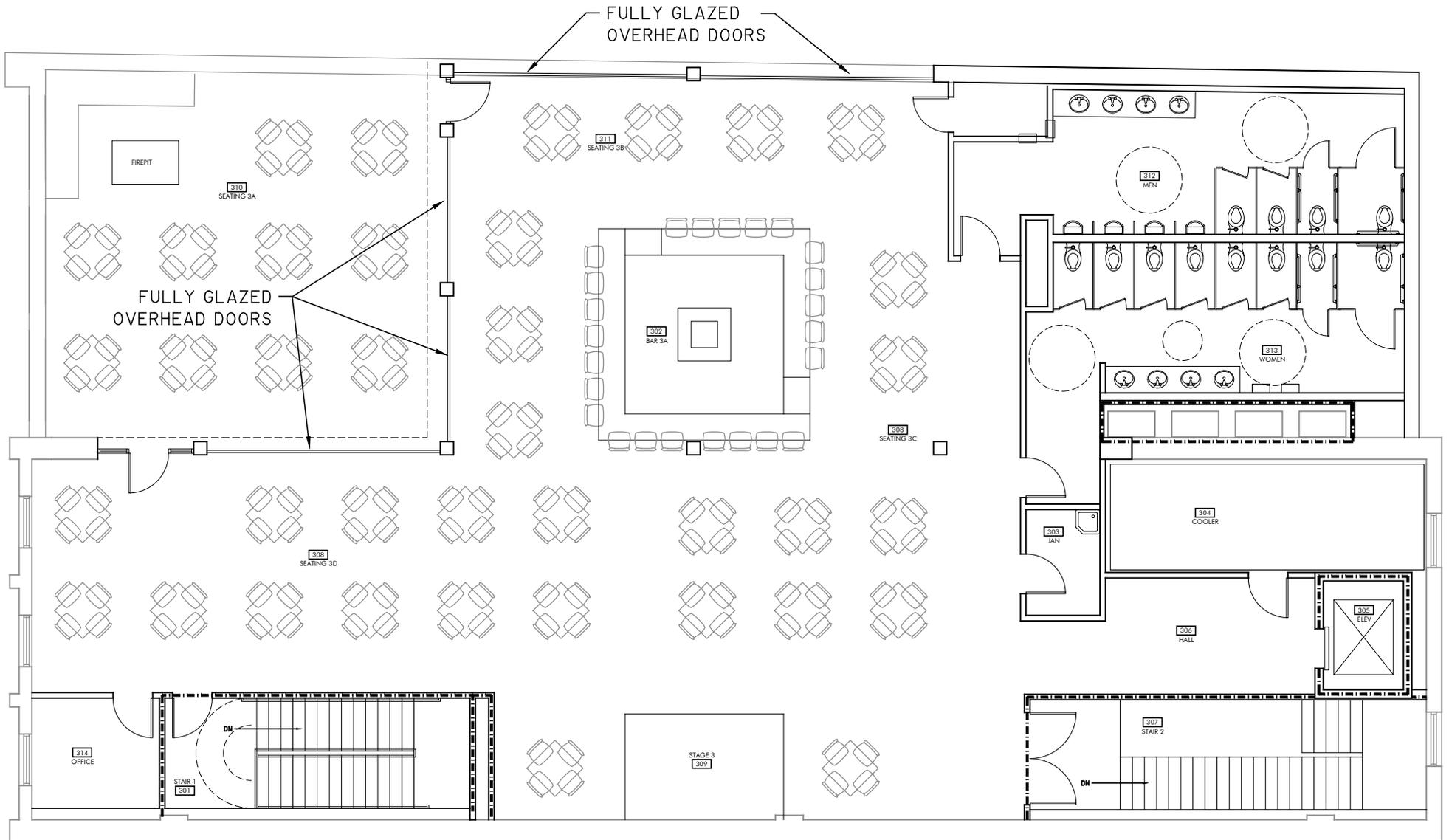



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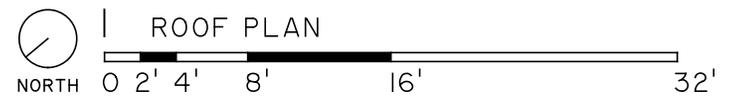
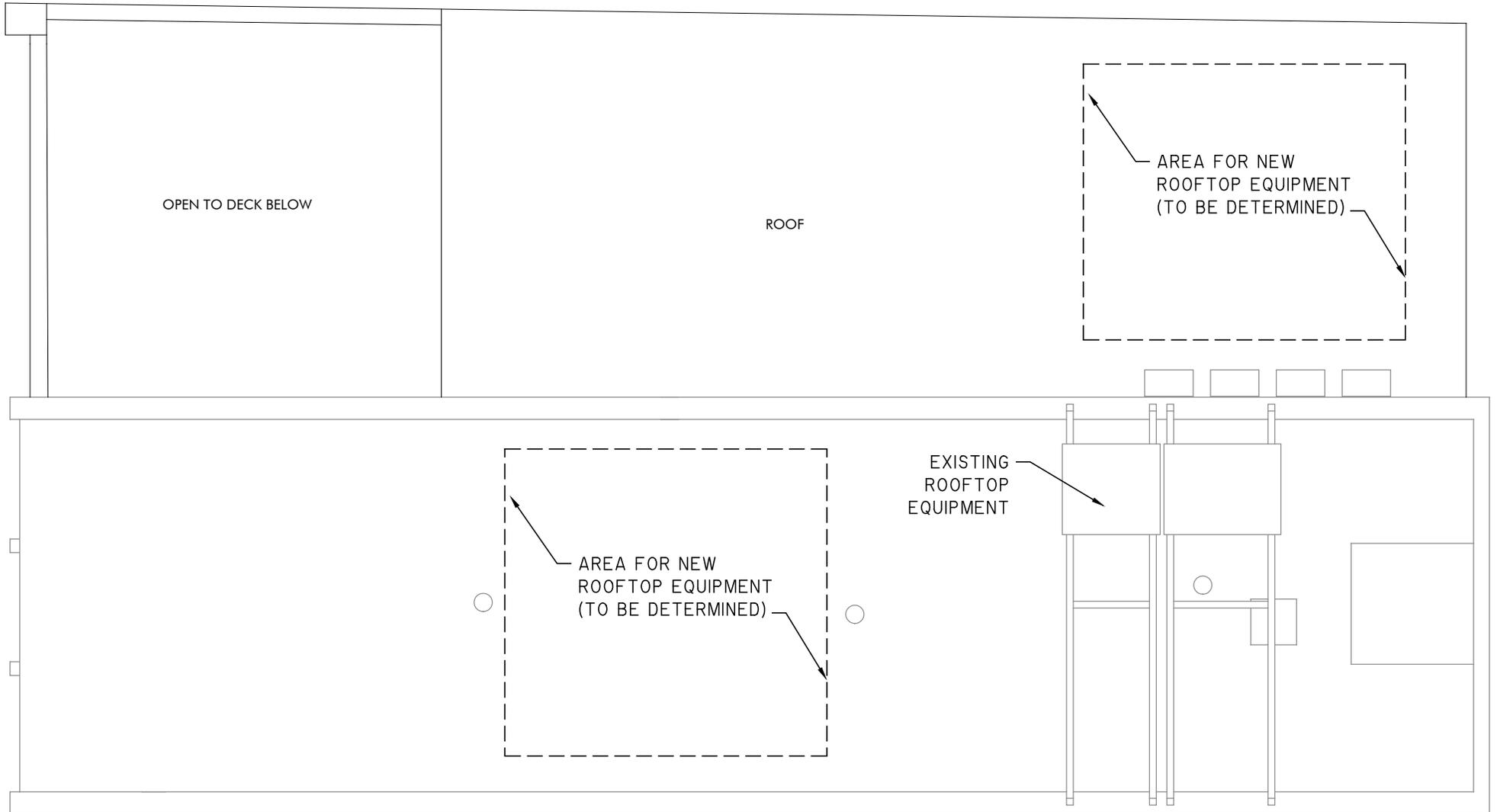
FRENCH CASEMENT WINDOWS WITH APPEARANCE OF DOUBLE-HUNG WINDOWS (TYPICAL WHEREEVER SHOWN)

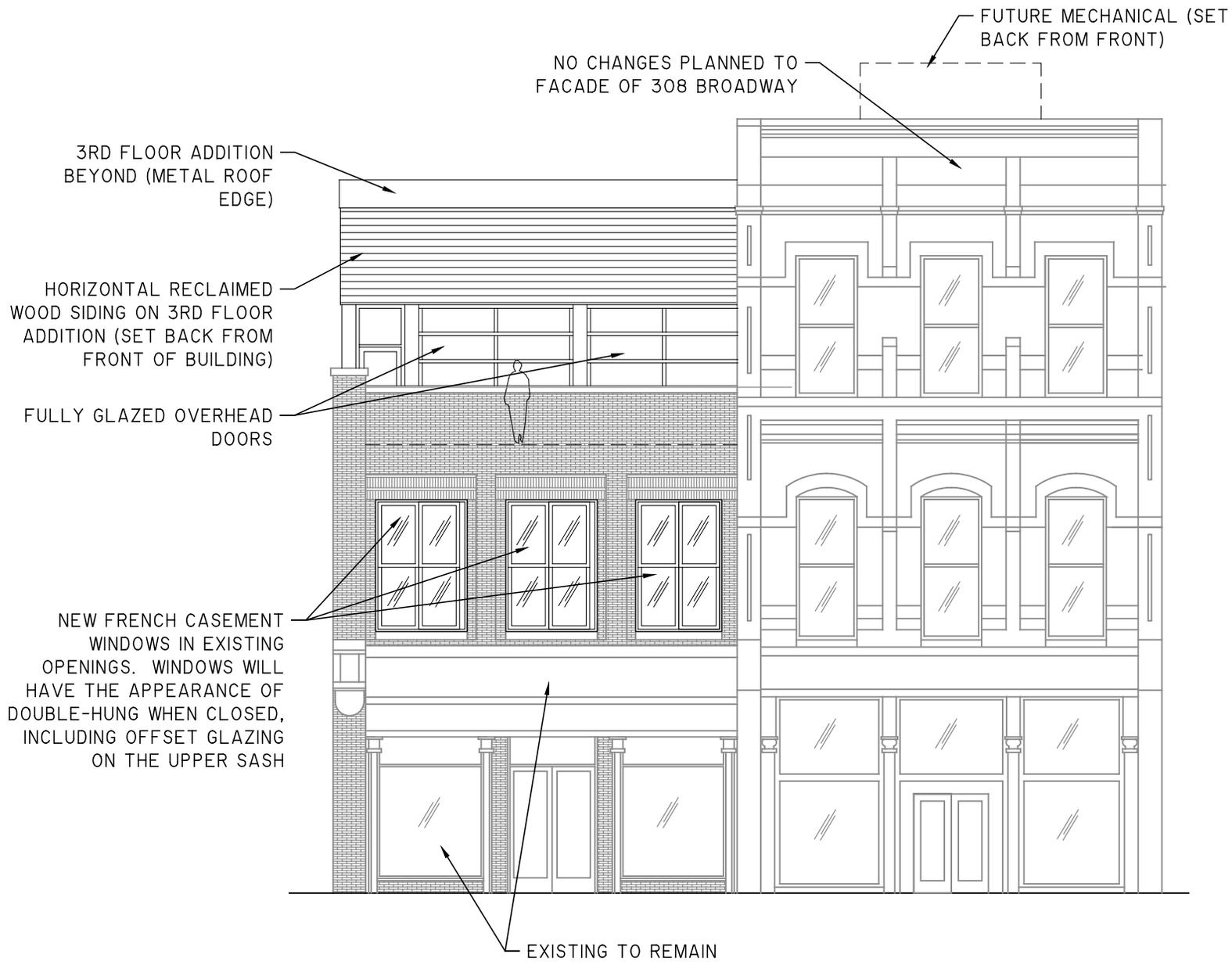



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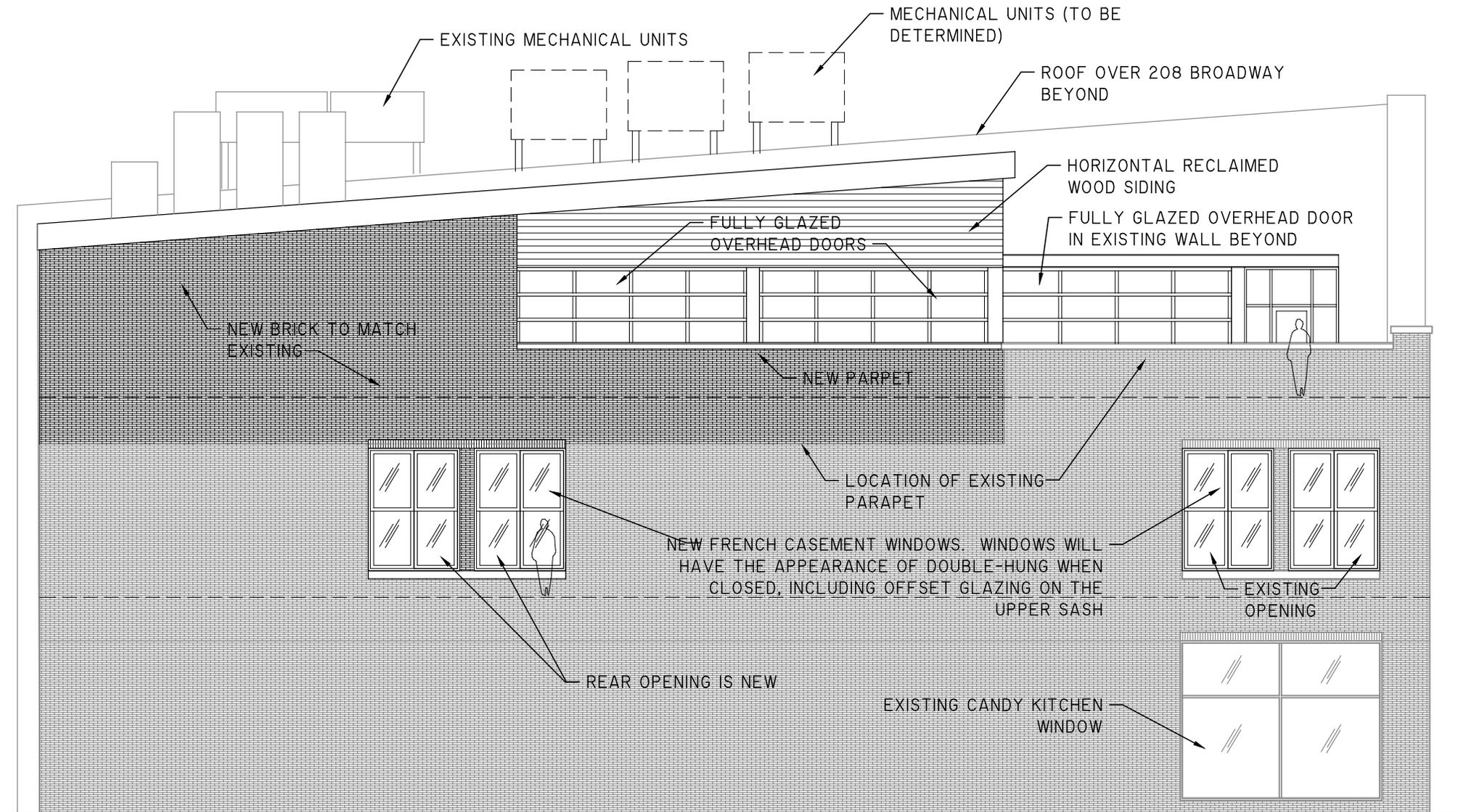

 | THIRD FLOOR PLAN  
 NORTH 0 2' 4' 8' 16' 32'





SOUTH ELEVATION

0 2' 4' 8' 16' 32'



WEST ELEVATION

0 2' 4' 8' 16' 32'



OVERALL VIEW -- ADJACENT BUILDINGS NOT SHOWN FOR CLARITY



VIEW FROM ACROSS BROADWAY



VIEW FROM ACROSS BROADWAY



VIEW FROM ACROSS BROADWAY