

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1018 North 16th Street
May 18, 2016

Application: New construction – additions
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08302012300
Applicant: Andy Grogan
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: Construction of a rear addition and side addition, and rebuilding the front porch, which was previously removed from the structure.

Recommendation Summary: Staff recommends approval with the conditions:

1. Staff approve windows and doors, and the color of roofing material;
2. The new front porch matches the historic porch and new drawings are submitted to reflect that prior to issuance of the permit; and,
3. Staff approve the materials for the new front porch.

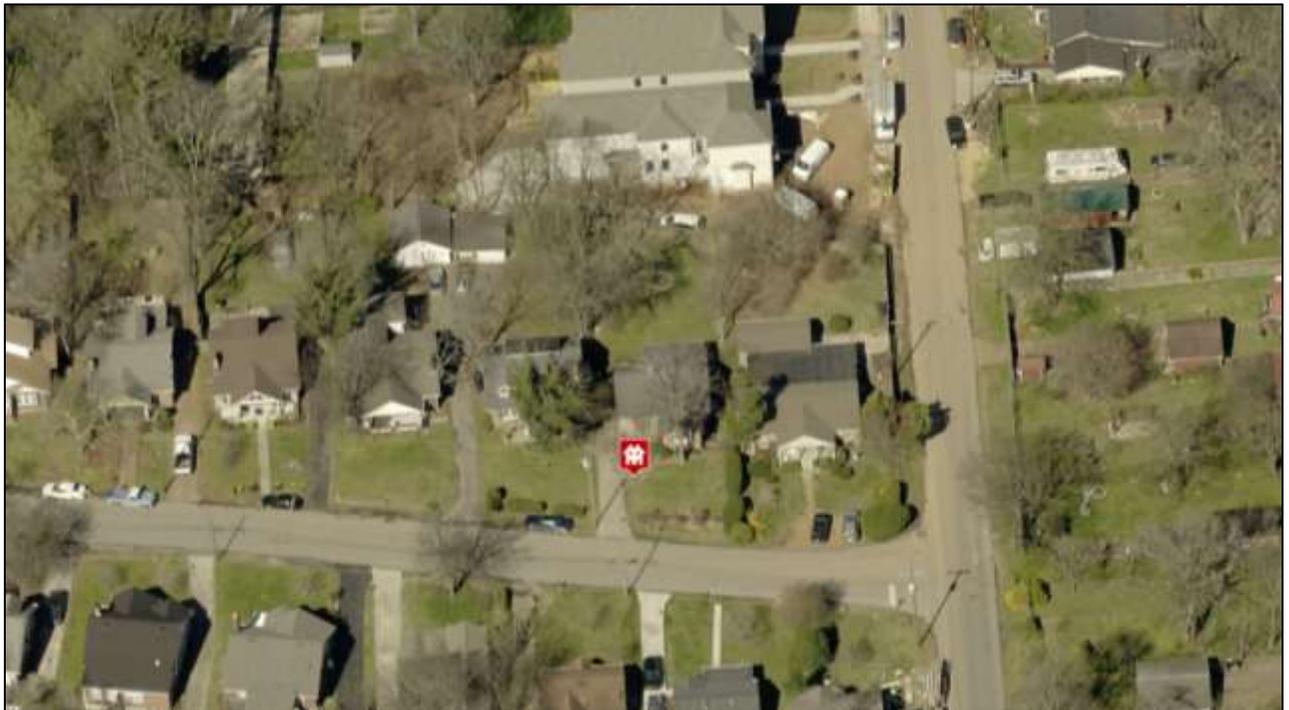
Meeting these conditions, the application meets section II.B of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions that tie-into the existing roof must be at least 6" below the existing ridge line.

In order to assure that an addition has achieved proper scale, the addition should:

- *No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- *Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- *Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- *An extreme grade change*

- *Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be taller and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building.

In this instance, the side walls and roof of the addition must set in as is typical for all additions.

The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height

within the same plane as the front roof slope.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*
- Eave depth on a dormer should not exceed the eave depth on the main roof.*
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- The roof pitch of the dormer should generally match the roof pitch of the building.*
- The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- Dormers should generally be fully glazed and aprons below the window should be minimal.*
- The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

Side Additions

When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side

addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.

b. The creation of an addition through enclosure of a front porch is not appropriate.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

e. Additions should follow the guidelines for new construction.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.



Background: 1018 North 16th Street is a contributing building in the Eastwood district. At an unknown time, the front porch was removed and brick veneer applied to the front façade.

Figure 1. 1018 N 16th Street

Analysis and Findings: The application proposes a rear addition, a small side addition, and a front porch, replicating the original front porch of the building.

Demolition: Most of the rear wall of the house and the existing rear addition are proposed to be removed for the new addition. The rear section of the house is not visible and is not considered a character-defining feature of the building as a whole. Staff's review is that the removal of this section will not be detrimental to the architectural and historic character of the house. One window opening beyond the midpoint of the house's left side will be replaced with a triple window opening in the new side addition. As this is past the midpoint of the house, and will remain an opening, staff finds it to be a reasonable change. The proposed demolition meets section III.B.2 for appropriate demolition and does not meet III.B.1 for inappropriate demolition.



Figure 2. Rear view of the house and existing rear addition

Height & Scale, Roof Form: The addition is one story with a height approximately four feet (4') lower than the ridge of the house. It will add approximately five hundred and thirty-five square feet (535 sq. ft.) to the current footprint of the house, which is one thousand four hundred and seven square feet (1,407 sq. ft.) It has a total length of twenty-one feet (21') more than the existing rear addition. The foundation height matches the foundation of the existing structure. The roof form is an asymmetrical shed

with 1 ½ / 12 pitch running sideways. Therefore the eave height matches the eaves of the house on its right side, but is four feet (4') taller on the left (see Figure 3). This is an unusual configuration, but staff finds it to be compatible due to the design and the low visibility of the addition from the street.

In addition to a rear addition, the project includes a small bay added to the side. The roof of the side addition has a very shallow pitch to fit underneath the main roof and maintain a reasonable window head height. With this flat roof, the bump-out reads as a new element, and will be hidden by new fencing.

The project meets section II.B.1.a, II.B.1.b for height and scale, and section II.B.1.e for roof form.

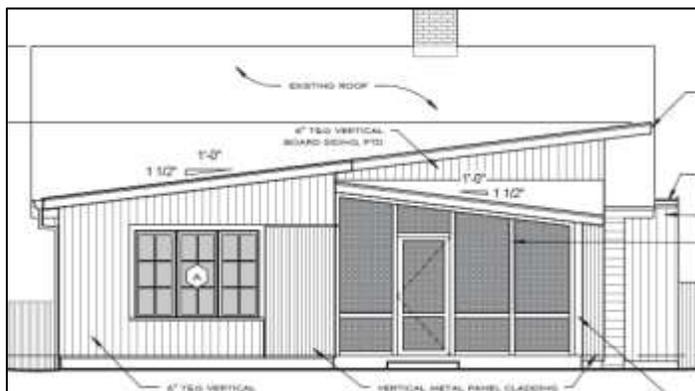


Figure 3. Rear view of the proposed addition, showing the asymmetrical roof

Design, Location and Removability:

Rear addition: The location of the addition at the rear is in accordance with the design guidelines. It will be distinguished from the historic building with a one foot (1') inset at the left rear corner. On the right, the addition is not inset as it will follow the footprint of the existing rear addition on that side. The design is contemporary but does not contrast greatly with the historic building. It will also be distinct from the historic building with modern materials.

Side addition: A side addition is not appropriate in every situation. In this case, the house is slightly offset on the lot, the addition is a very small size of thirty square feet (30 sq. ft.) onto a small house, and the addition is maintaining a window opening in the same location along the side of the house. For these reasons, staff finds that the side addition in this case is compatible.

Front porch: The front porch is drawn with a short porch rack and metal columns set in from the corner; a photograph of the house in the 1960s shows a more substantial porch rack and a wood column at the corner. Staff therefore recommends that the porch be redesigned to match the original porch (see Figure 4) and that new drawings be submitted to show the original porch design prior to issuance of a permit.



Figure 4. The house and original porch in the 1960s

With this condition, the project meets section II.B.2.a and II.B.2.e.

Setback & Rhythm of Spacing: The rear addition will have side setbacks of six feet (6') and eight feet (8') on the right and left sides, respectively, and a rear setback of forty-three feet (43'), meeting the setback requirements of five feet (5') on the sides and twenty feet (20') at the rear. The side addition will be seven feet (7') off the left side property line, which also meets the required minimum of five feet (5'). The project meets section II.B.1.c of the design guidelines for setbacks.

Materials: The addition will primarily be clad in vertical wood or fiber cement cladding. The rear left corner will have vertical metal panel cladding continuing around the inside of the screened porch. In this hidden location as an accent material, staff finds the metal cladding to be acceptable. Roofing will be a membrane material; staff requests approval of the color of the roofing. The windows are based on Marvin Integrity windows, which have been approved by the Commission previously. A new front door is drawn as a full-light door, which is appropriate; further details were not provided, and staff recommends having final approval of all window and door selections prior to purchase and installation. A single window on the left side will be replaced with a triple window in the same location. The porch is drawn with metal columns; staff recommends using wood columns instead, to match the original porch. The cellar enclosure will be constructed of plywood with a membrane roof. With the staff's final approval of the porch materials, roofing color, and windows and doors, staff finds that the project meets section II.B.1.d for materials.

Proportion and Rhythm of Openings: The windows on the proposed addition are generally twice as tall as they are wide, meeting the historic proportions of openings. The windows on the left side of the addition have transoms, which are found historically. The largest expanse of wall space without a window or door opening is thirteen feet (13') at the rear right corner. Staff finds the project's proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities: New wood fencing will be added to the existing fence on the site, forward of the midpoint of the house, enclosing the new side addition. A previously-

built enclosure for the cellar access on the right side will be rebuilt. The project meets section II.B.1. i.

Recommendation: Staff recommends approval of the proposed addition with the conditions:

1. The windows, doors and roofing color are approved by MHZC staff;
2. Revised drawings are submitted with the new porch design matching the historic porch;
3. Staff have final approval of porch materials.

Staff finds that the project meets section II.B of the design guidelines for the Eastwood Neighborhood Conservation Zoning Overlay.

PARCEL REFERENCE

BEING ALL OF PARCEL 123.00, AS SHOWN ON DAVIDSON COUNTY TAX MAP 083-02.

DEED REFERENCE

BEING THE SAME PROPERTY CONVEYED TO LUCIA E. FOLK, OF RECORD IN INSTRUMENT NO. 200310310160322, R.O.D.C., TN.

PLAT REFERENCE

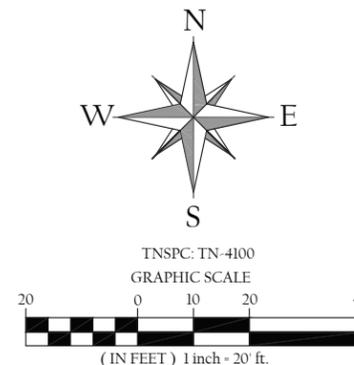
BEING LOT 67, OF A PLAT ENTITLED 'LOTS 8-9-10 AND PART OF NO. 7 IN BLOCK A LOTS NO: 13-14 IN BLOCK B, ALL OF BLOCK C IN SUBDIVISION OF WEAKLEY PLACE', OF RECORD IN BOOK 547, PAGE 12, R.O.D.C., TN.

ZONED R6

ONE AND TWO-FAMILY DISTRICT (6,000 SQ.FT.)
 SETBACKS
 FRONT - 20'
 REAR - 20'
 SIDE - 5'



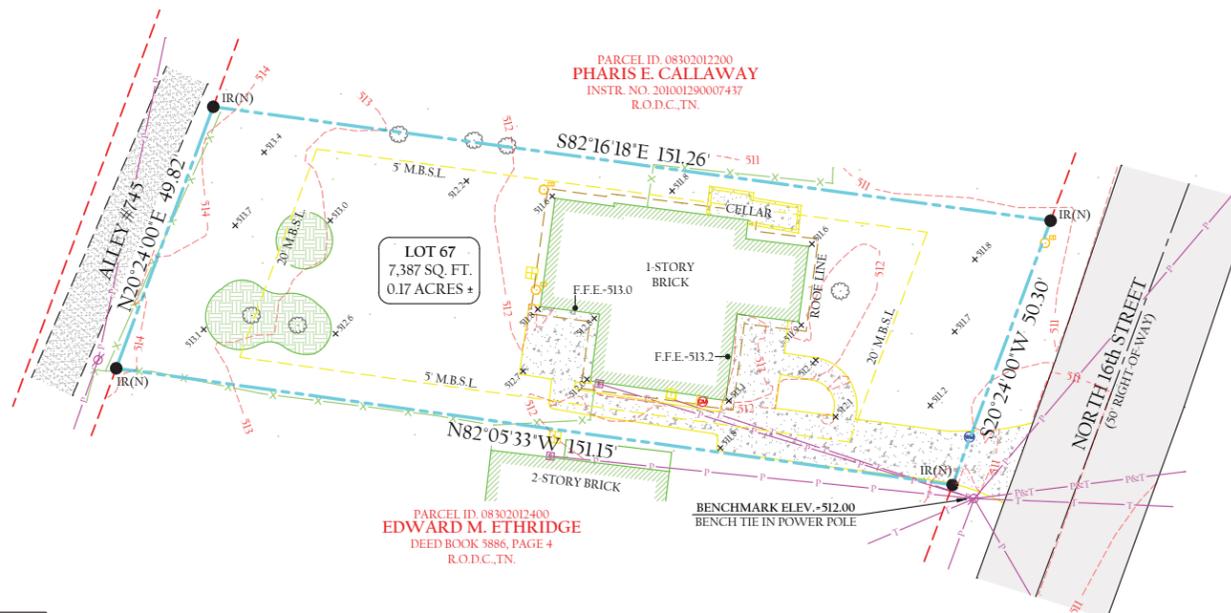
IF YOU DIG IN TENNESSEE...
 CALL US FIRST!
 1-800-351-1111
 1-615-366-1987
 TENNESSEE ONE CALL
 IT'S THE LAW



VICINITY MAP (NOT TO SCALE)

LEGEND

- IR(N) 1/2" IRON REBAR (NEW)
- ⊠ HVAC UNIT
- ⊙ SEWER CLEAN-OUT
- ⊠ ELECTRIC BOX
- ⊠ TELEPHONE BOX
- ⊙ WATER METER
- ⊙ GAS METER
- ⊙ WATER VALVE
- TREE
- UTILITY POLE
- T- TELEPHONE LINE
- P- POWER LINE
- X- FENCE LINE
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- R.O.D.C., TN. REGISTER'S OFFICE DAVIDSON COUNTY, TN.
- ▨ GRAVEL AREA
- ▨ CONCRETE AREA
- ▨ ASPHALT SURFACE



WHITTENBURG
 LAND SURVEYING
 214 EAST STEVENS STREET
 COOKEVILLE, TN 38501
 931-526-9000

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT (1) TO THE BEST OF MY KNOWLEDGE, THIS IS A TRUE AND ACCURATE SURVEY, AND (2) IT MEETS OR EXCEEDS THE CURRENT MINIMUM STANDARDS AND APPLICATIONS OF A CATEGORY IV (REMOTE SENSING) SURVEY AS SET FORTH BY RULE T.C.A. 0820-03-07C.

TAYLOR L. DILLEHAY, R.L.S. #2597
 WHITTENBURG LAND SURVEYING, LLC
 214 EAST STEVENS ST.
 COOKEVILLE TN 38501

GENERAL NOTES

- 1) BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM OF 1983.
- 2) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88. CONTOURS ARE AT ONE FOOT INTERVALS AND ARE BASED ON A FIELD RUN SURVEY USING RANDOM SPOT ELEVATIONS. CONTOURS WERE DERIVED USING SURFACE MODELING TECHNIQUES.
- 3) THIS SURVEY WAS PREPARED FROM THE CURRENT DEED OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT TITLE SEARCH WILL REVEAL.
- 4) THIS SURVEY IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAYS, RESTRICTIONS AND/OR EXCEPTIONS WHICH MAY AFFECT SAID PROPERTY.
- 5) THIS PLAT DOES NOT PURPORT TO ADDRESS THE EXISTENCE, DETECTION OR DELINEATION OF ANY ENVIRONMENTAL PROBLEMS LOCATED WITHIN THE PERIMETER OF THE PROPERTY SHOWN HEREIN.
- 6) THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.
- 7) LOCATIONS OF UTILITIES ARE APPROXIMATE. CONTACT THE APPROPRIATE UTILITY FOR LOCATION OF UNDERGROUND SERVICES.
- 8) ACCORDING TO FEMA FLOOD RATE INSURANCE MAP 47037C0228F, PANEL NOT PRINTED, THEREFORE NO PORTION OF THIS PROPERTY LIES WITHIN A FLOOD HAZARD AREA.

TOTAL AREA = 7,387 SQ.FT. OR 0.17 ACRES

TOPOGRAPHIC SURVEY
LUCIA E. FOLK PROPERTY

1018 NORTH 16th STREET
 6th COUNCILMAN DISTRICT, DAVIDSON COUNTY
 METROPOLITAN NASHVILLE, TENNESSEE

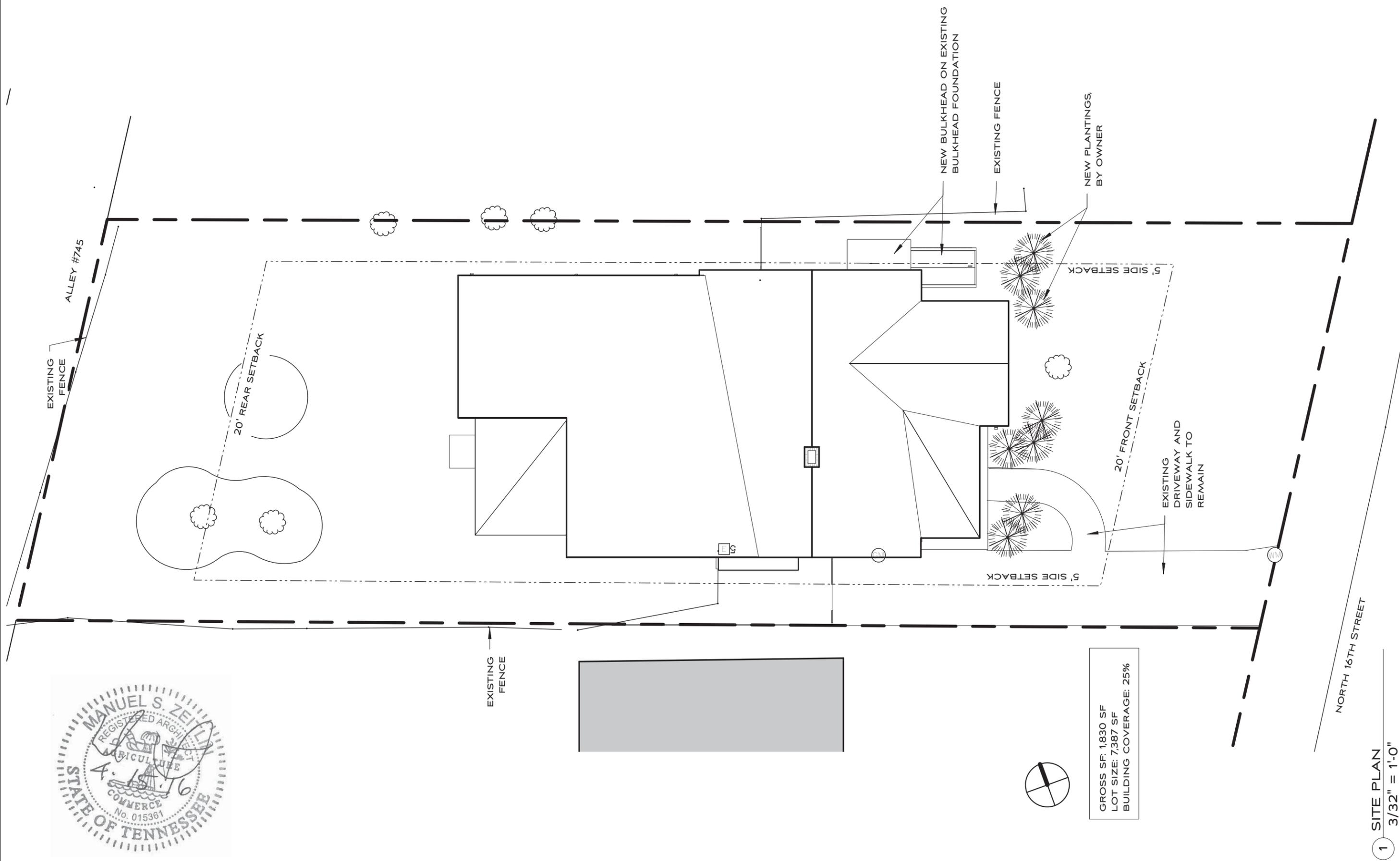
| | |
|------------------------|-------------------------------|
| SCALE: 1"=20' | TAX MAP 083-02, PARCEL 123.00 |
| ACREAGE: 0.17± | DR TLD CPK REV |
| PROJECT NUMBER: 16-017 | DATE: 01-29-2016 SHEET 1 of 1 |

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GROSS SF: 1,830 SF
LOT SIZE: 7,387 SF
BUILDING COVERAGE: 25%

1 SITE PLAN
3/32" = 1'-0"



EAST ELEVATION - FACING N. 16TH ST.



EAST ELEVATION - FACING N. 16TH ST.



WEST ELEVATION - BACKYARD



WEST ELEVATION - BACKYARD



SOUTH ELEVATION



EXISTING ENTRY PORCH AREA

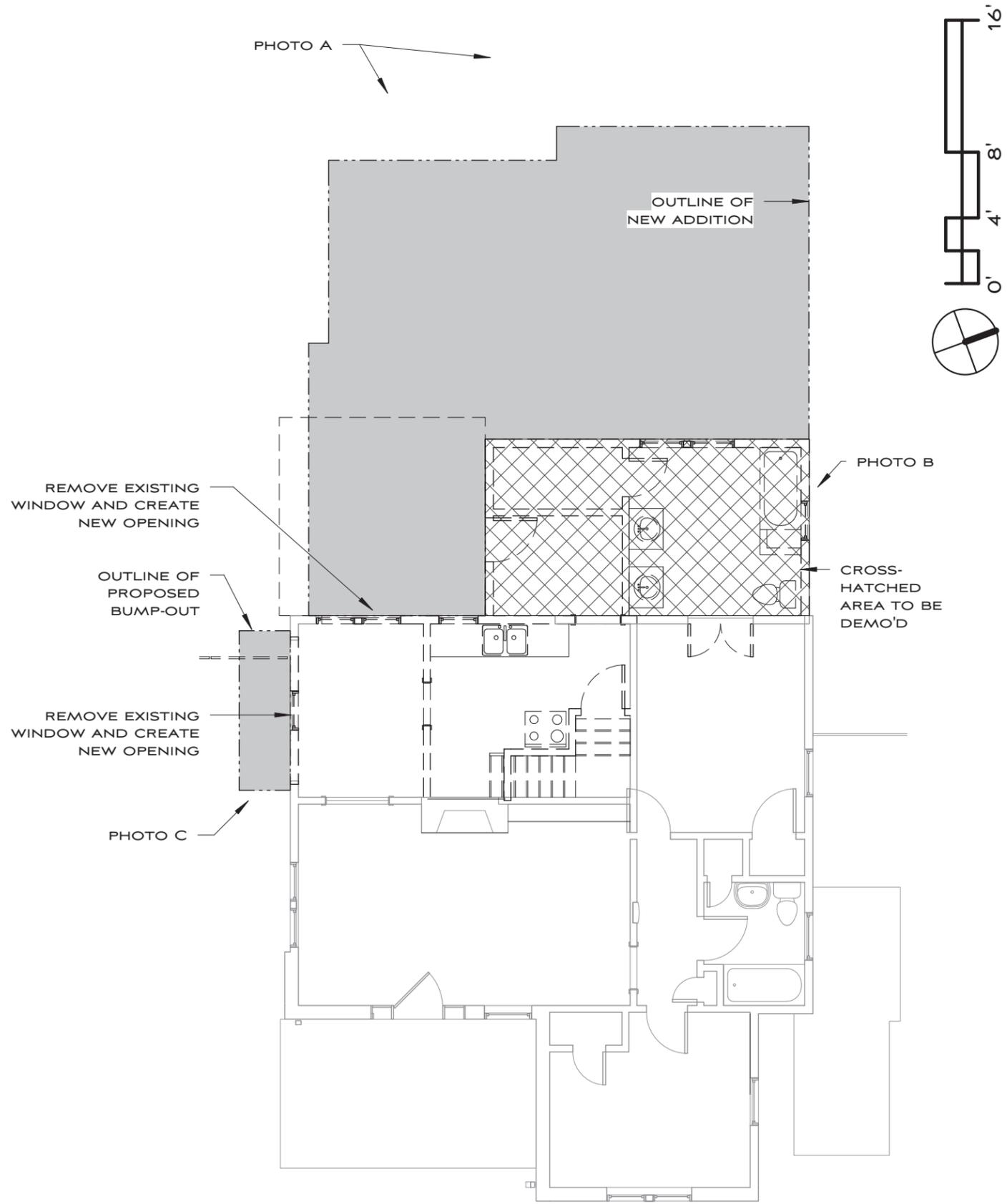


NORTH ELEVATION (FROM EAST)

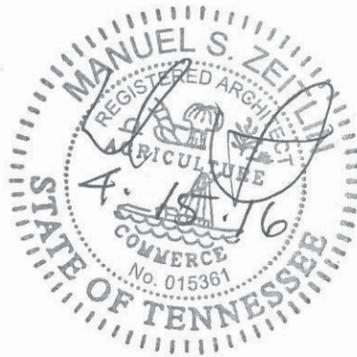
EXISTING BULKHEAD FOUNDATION

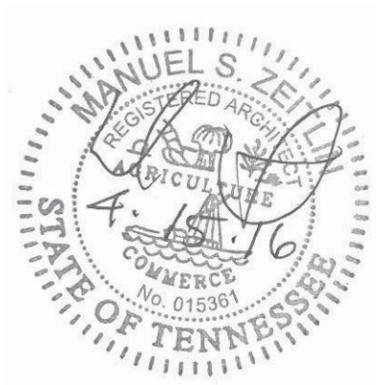


NORTH ELEVATION - FROM WEST

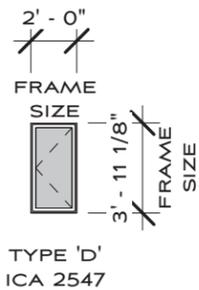
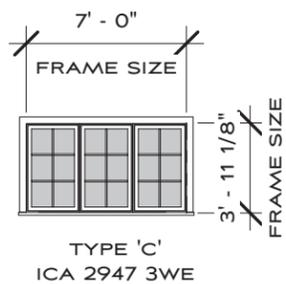
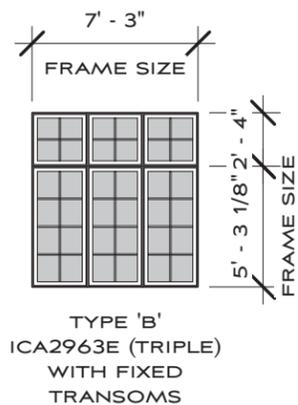
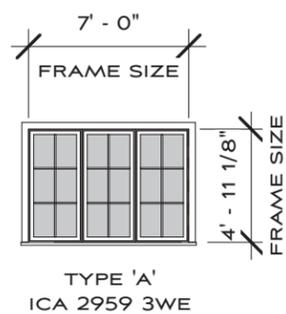


1 EXISTING FLOOR PLAN
1/8" = 1'-0"



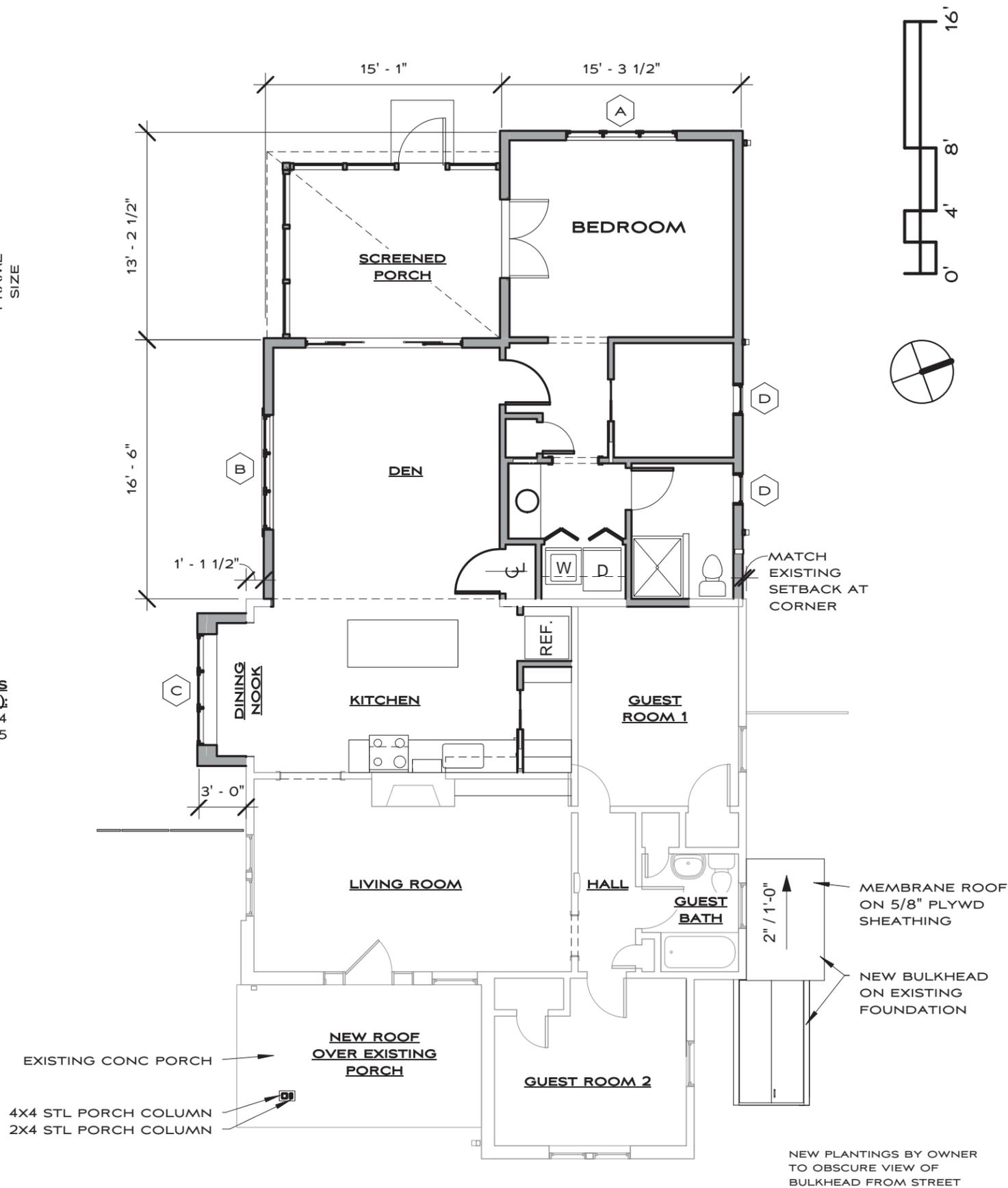


BASIS OF DESIGN:
MARVIN INTEGRITY

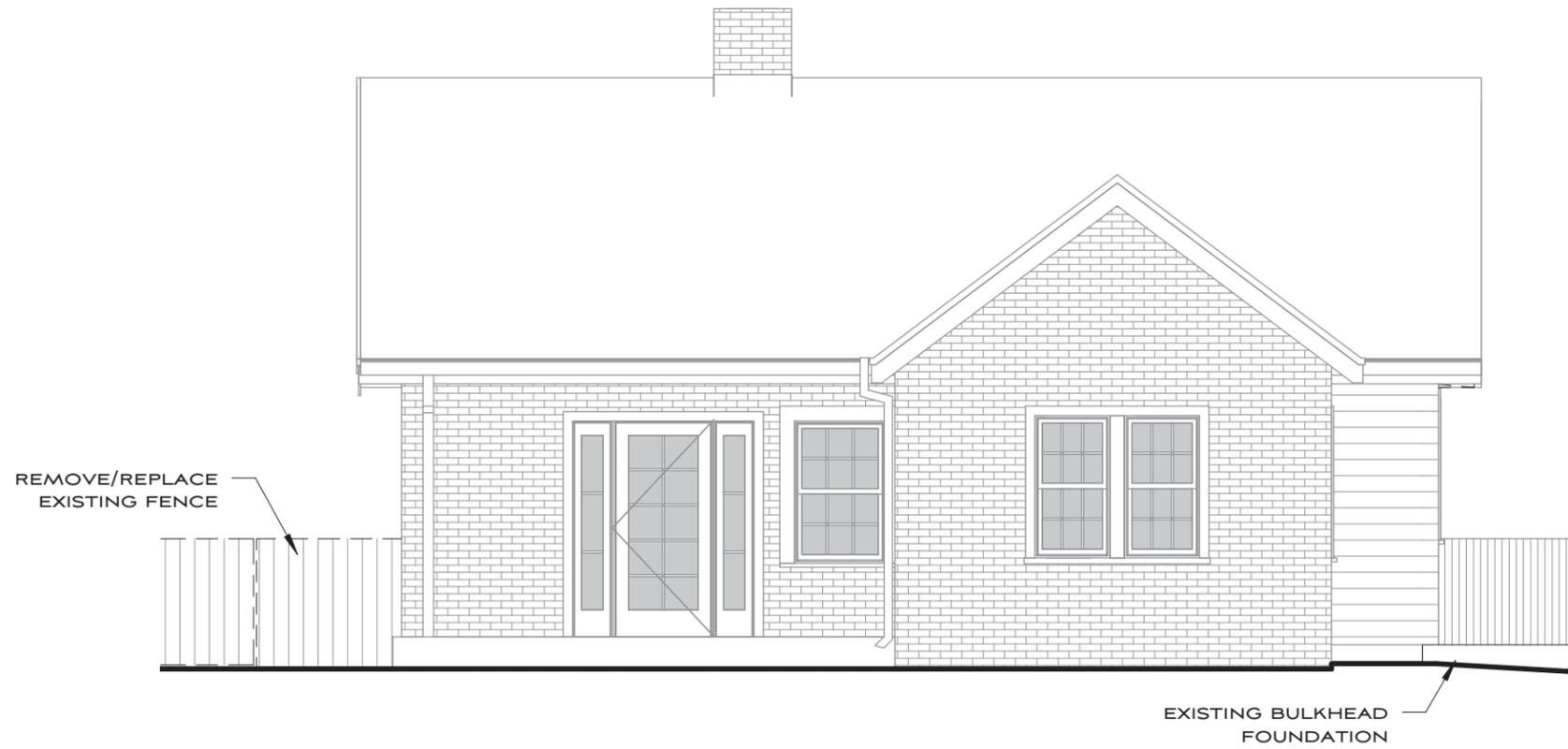


○ WINDOWS
1/8" = 1'-0"

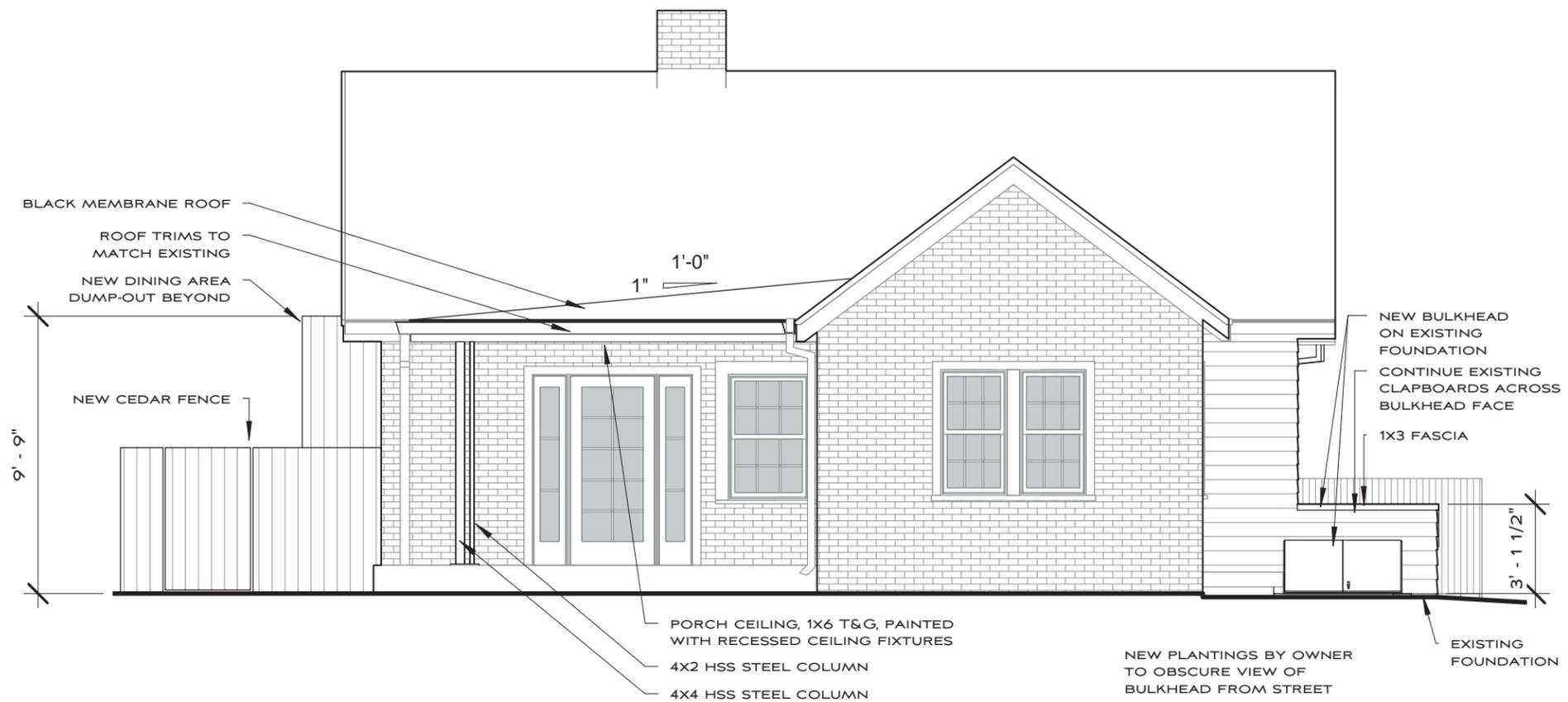
**TOTAL SQUARE FOOTAGES
(WITHOUT PORCHES):**
EXISTING SF: 1,144
PROPOSED NEW SF: 535



1 FIRST FLOOR PLAN
1/8" = 1'-0"



2 EAST ELEVATION - EXISTING
3/16" = 1'-0"

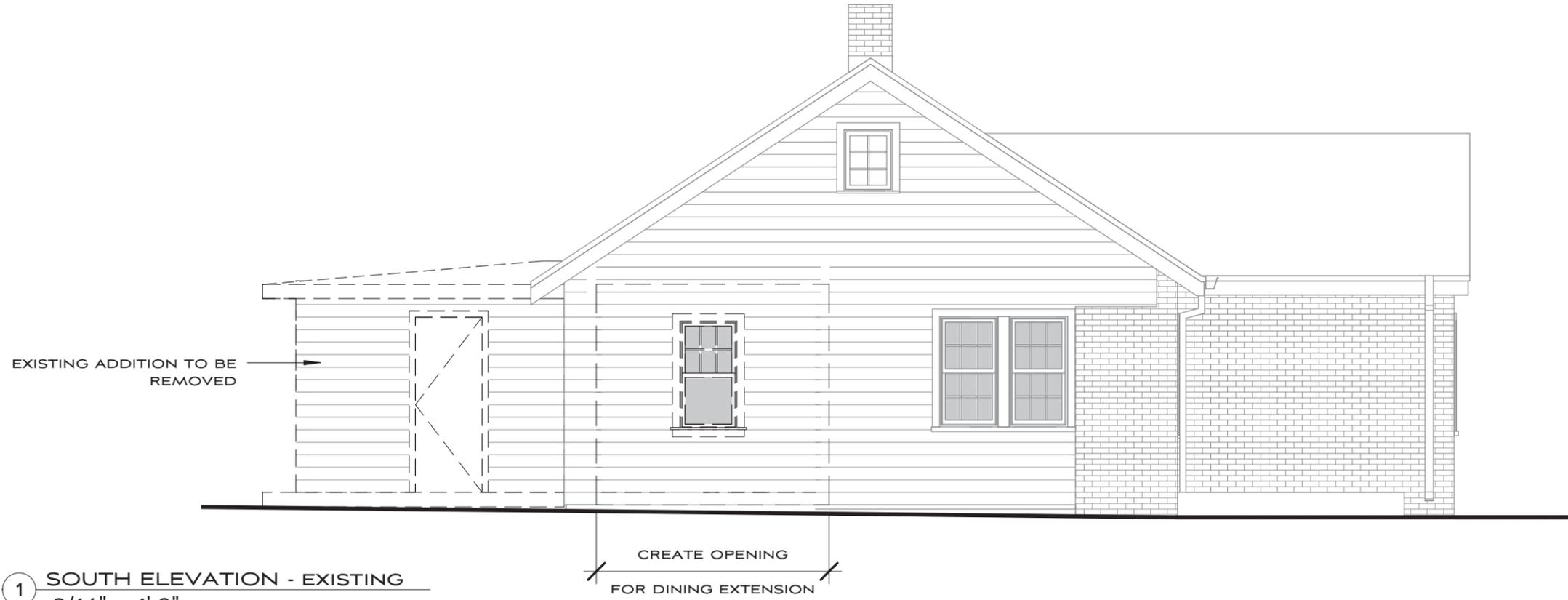


1 EAST ELEVATION - PROPOSED
3/16" = 1'-0"

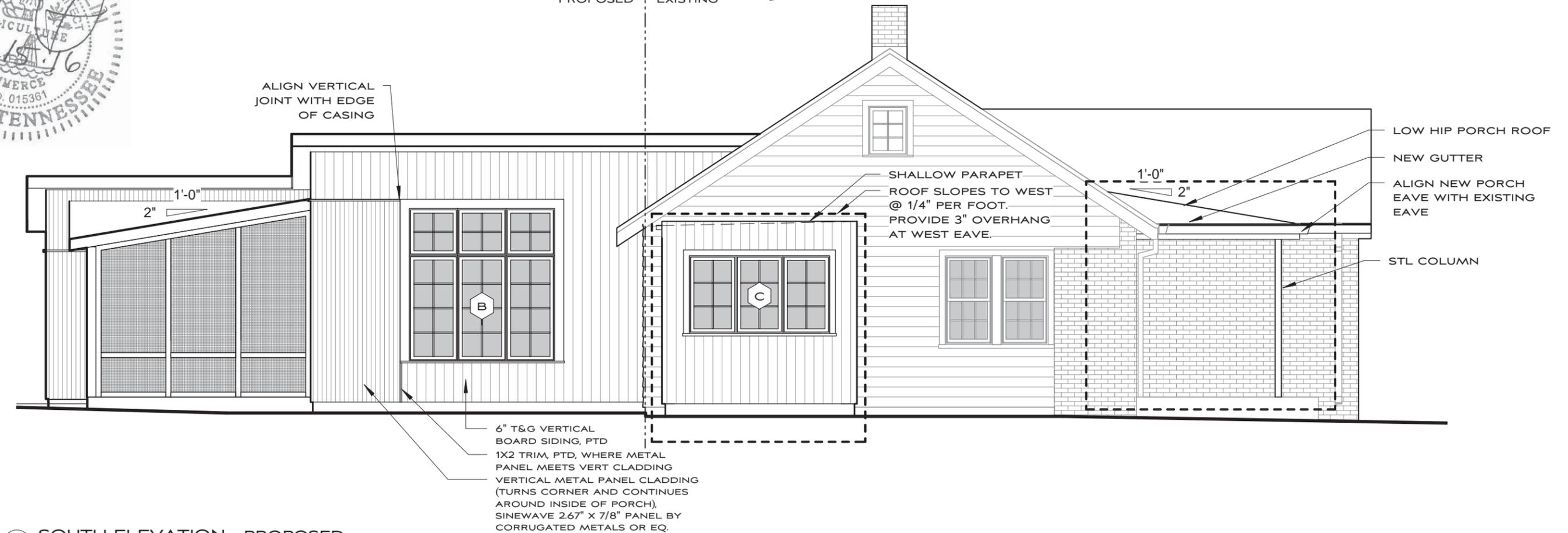




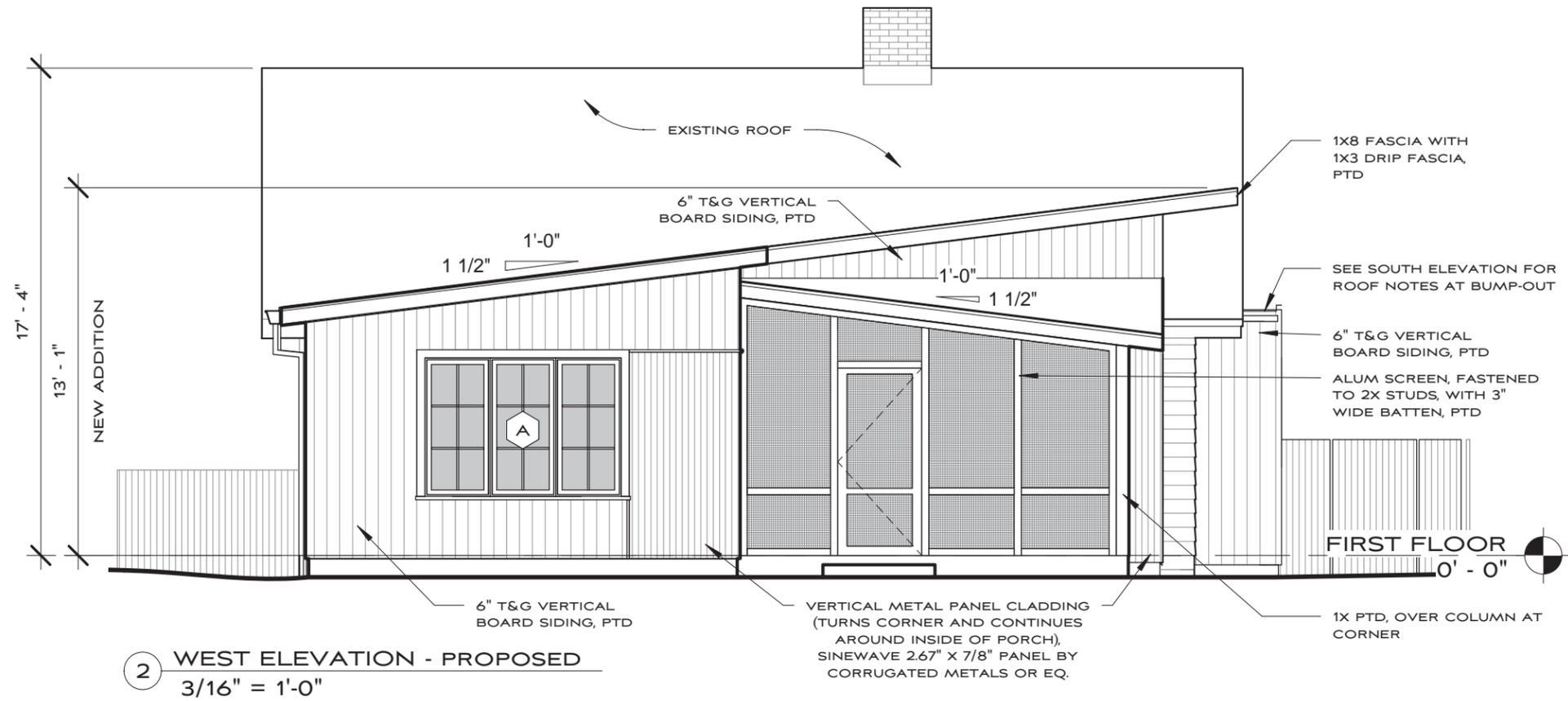
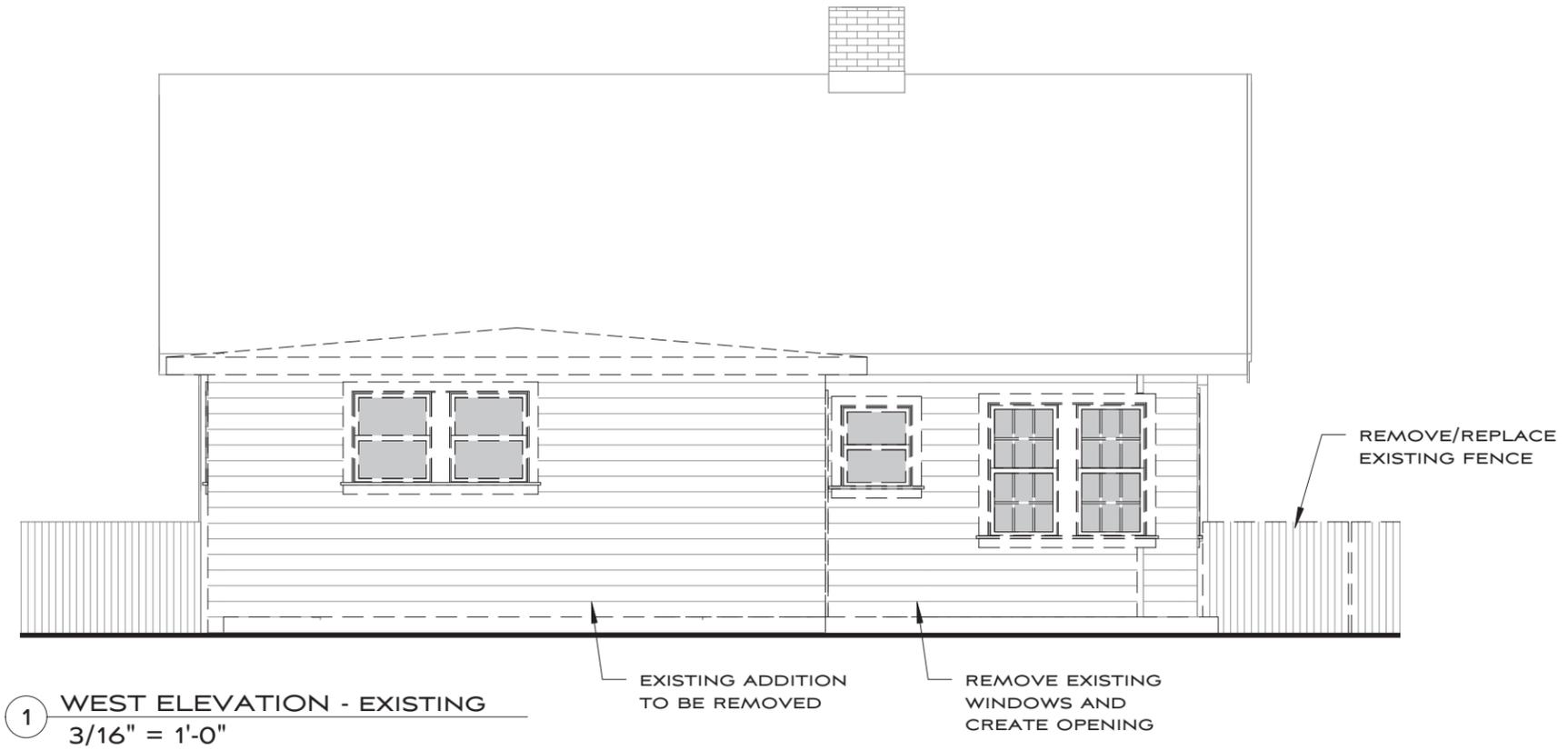
1 SOUTH ELEVATION - EXISTING
3/16" = 1'-0"

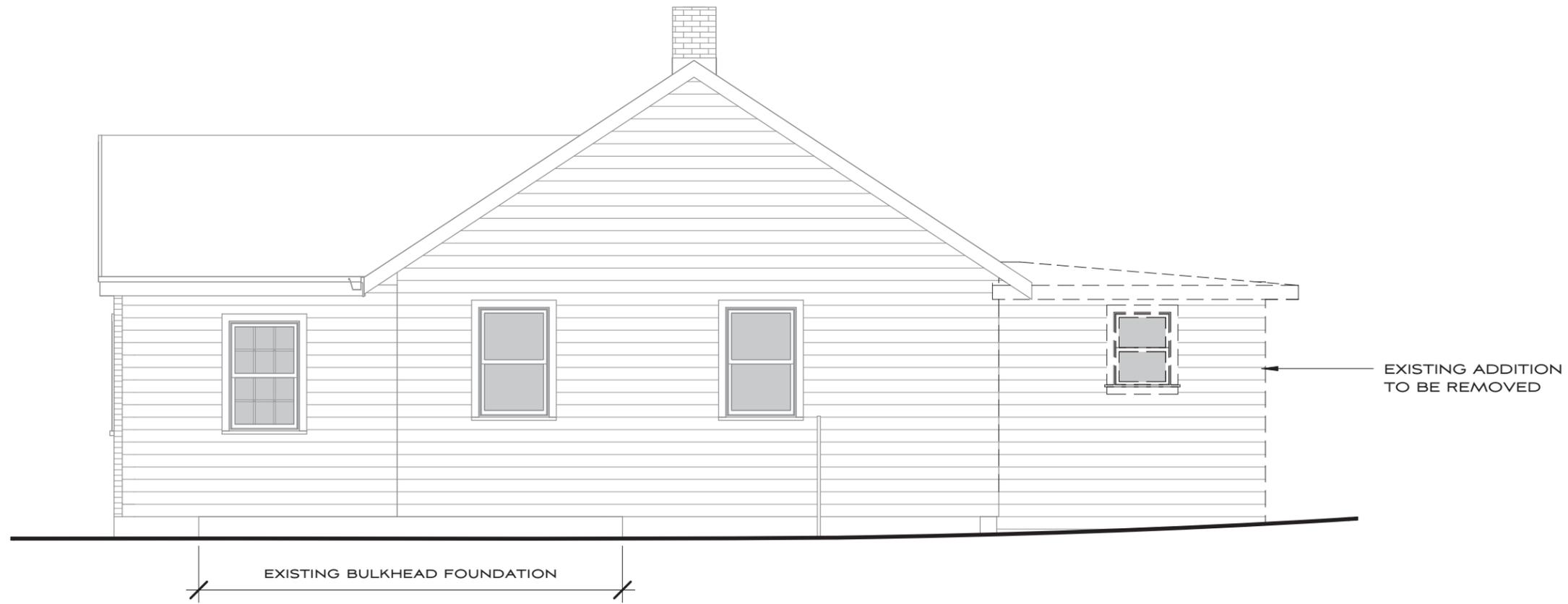


← PROPOSED EXISTING →

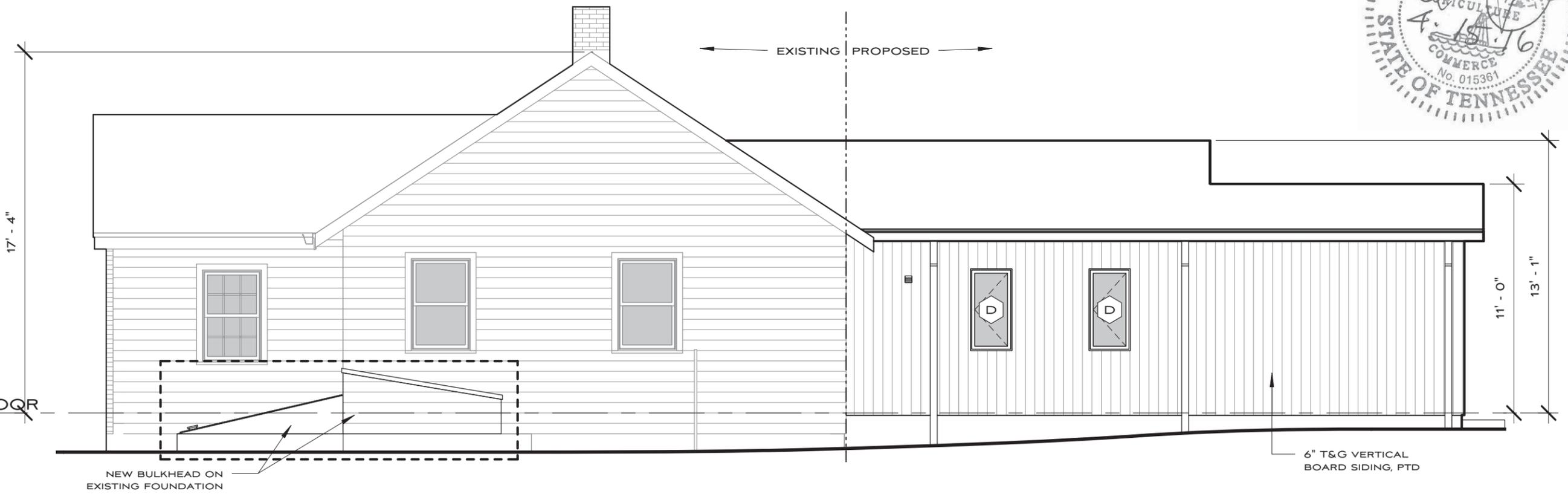


2 SOUTH ELEVATION - PROPOSED
3/16" = 1'-0"





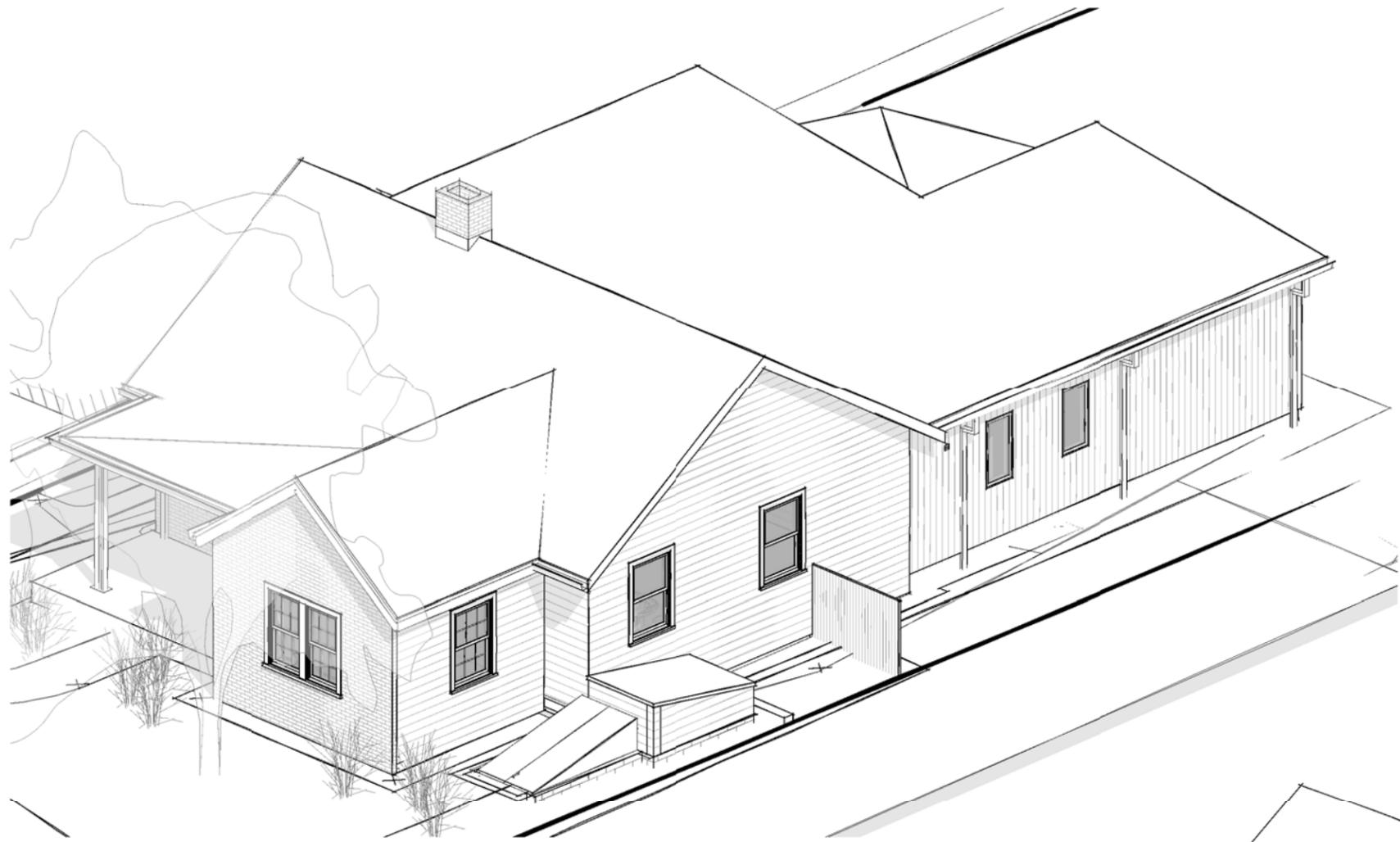
1 NORTH ELEVATION - EXISTING
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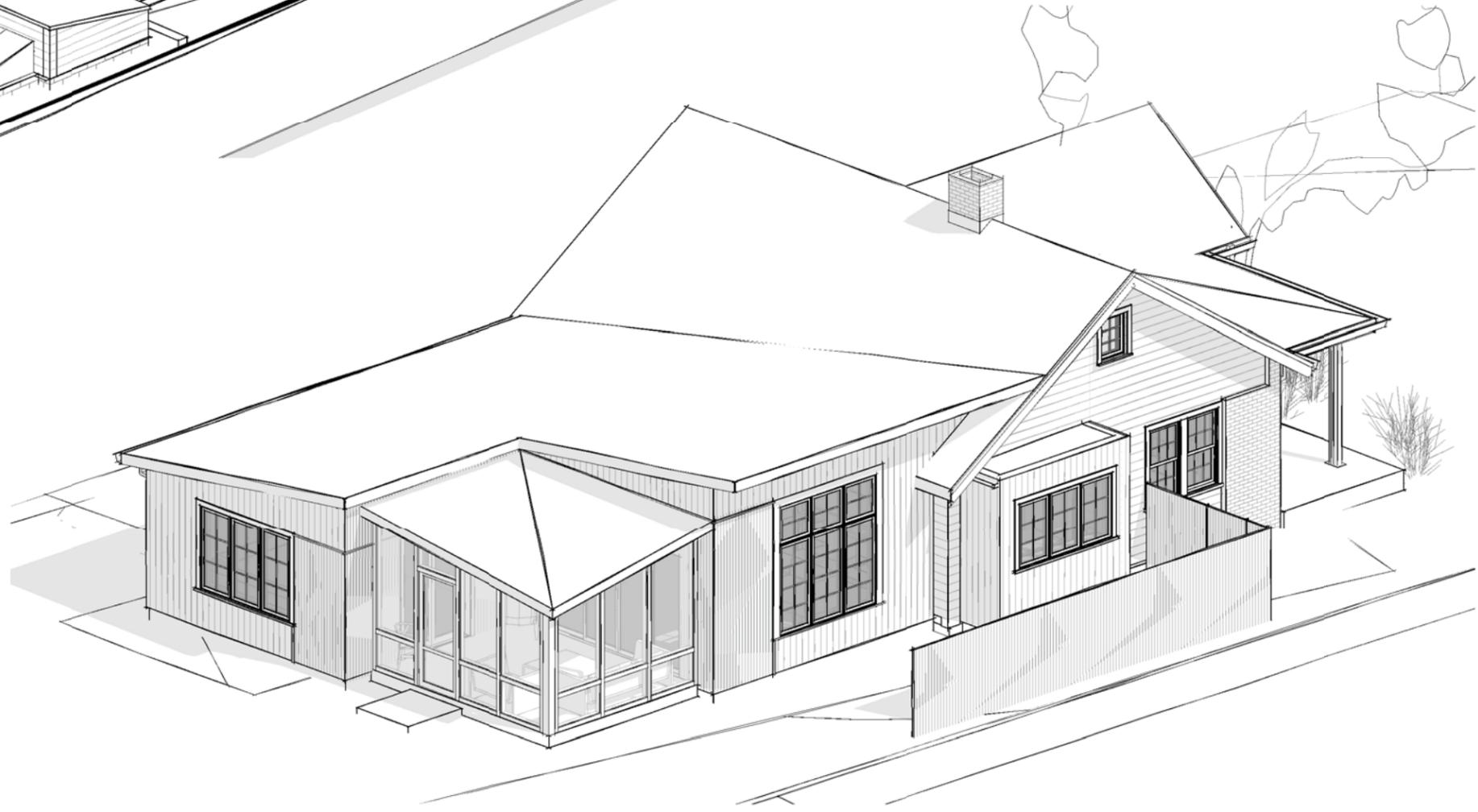
2 NORTH ELEVATION - PROPOSED
3/16" = 1'-0"



FIRST FLOOR
0' - 0"



1 AXON VIEW FROM NORTHEAST

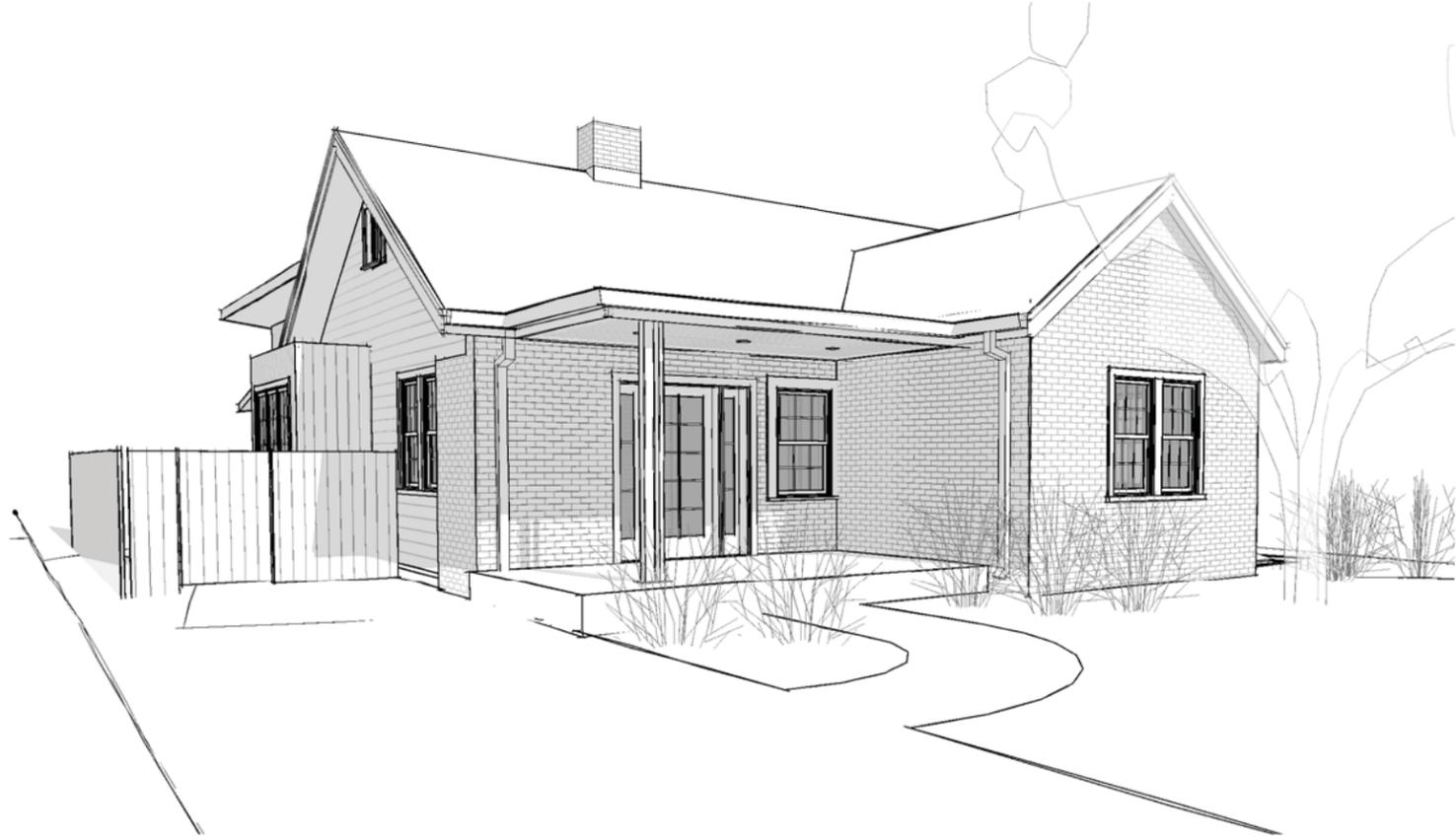


2 AXON VIEW FROM SOUTHWEST





1 FRONT PORCH - VIEW FROM EAST



2 FRONT PORCH -VIEW FROM SOUTHEAST

