

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**

**1104 Halcyon Avenue**

**May 18, 2016**

**Application:** New construction – outbuilding; Setback determination  
**District:** Waverly-Belmont Neighborhood Conservation Zoning Overlay  
**Council District:** 07  
**Map and Parcel Number:** 11801013700  
**Applicant:** Hudson Walker  
**Project Lead:** Sean Alexander@nashville.gov

**Description of Project:** The applicant is proposing to construct a detached outbuilding at the rear of the lot. The applicant has not proposed to use the building as a detached accessory dwelling.

**Recommendation Summary:** Staff recommends disapproval of the proposed outbuilding, finding that the design would not meet section III.H the design guidelines for the Waverly-Belmont-Neighborhood Conservation Zoning Overlay.

Because lowering the eave heights could dramatically change the slope of the roof and/or the plans for the interior, staff recommends disapproval rather than an approval with conditions.

**Attachments**

**A:** Photographs

**B:** Site Plan

**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **III. A. New Construction**

#### **H. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

#### *Outbuildings: Height & Scale*

- a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*
  - b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*
  - c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*
2. Historically, outbuildings were utilitarian in character. High-style accessory structures are generally not appropriate for Waverly-Belmont.
3. Roof
    - a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Waverly-Belmont, historic accessory buildings were between 8' and 14' tall.
    - b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
    - c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
    - d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*
4. Windows and Doors
    - a. Publicly visible windows should be appropriate to the style of the house.
    - b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
    - c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
    - d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
    - e. Decorative raised panels on publicly visible garage doors are generally not appropriate.
5. Siding and Trim
    - a. Weatherboard, and board-and-batten are typical siding materials.
    - b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
    - c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
    - d. Stud wall lumber and embossed wood grain are prohibited.

- e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.
6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.
- a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
  - b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
  - c. Generally, attached garages are not appropriate.

*Setbacks & Site Requirements.*

- d. *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- e. *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- f. *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- g. *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- h. *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- i. *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- J. *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

7. *Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.*

- a. *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- b. *The DADU may not exceed the maximums outlined previously for outbuildings.*
- c. *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*
- d. *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met or the lot has been subdivided since August 15, 1984.*

*Ownership.*

- e. *No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
- f. *The DADU cannot be divided from the property ownership of the principal dwelling.*
- g. *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- h. *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

*Bulk and Massing.*

- i. *The living space of a DADU shall not exceed seven hundred square feet.*

**Background:** The house at 1104 Halcyon Avenue is a one and one-half story Folk Victorian house, constructed circa 1900. The house has a hipped roof with dormers on the front and rear slopes and a wrap-around front porch. The house is on a double lot, one hundred feet (100') wide at the street.



**Analysis and Findings:** The applicant is proposing to construct a detached outbuilding at the rear of the lot. The applicant has not proposed to use the building as a detached accessory dwelling.

Outbuilding: See attached “Outbuilding Worksheet” for a full analysis of the proposed outbuilding as it relates to section III.H of the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay

Height & Scale: The roof height of the proposed outbuilding, averaged from the grade, would be twenty-four feet (24') and the eave height would be fifteen feet (15'). The roof height for the historic house, by comparison, is twenty-nine feet (29') with an eave height of fourteen feet (14'). This includes approximately four feet (4') of foundation above grade. Section III.H.1 of the design guidelines state that the ridge and eave heights of outbuildings should not exceed the corresponding heights of their principal building, up to a maximum of twenty-five feet (25') for ridge height and ten feet (10') for eaves. Staff finds the height of the eaves on the proposed outbuilding to be inappropriate and to not meet section III.H.1 of the design guidelines.

The outbuilding will be twenty-one feet (21') wide and twenty-eight feet (28') deep, giving it a five hundred, eighty-eight square foot (588 sf) footprint. This footprint will be less than half the area of the footprint of the historic house, which is appropriate and would meet section III.H.1 of the design guidelines for outbuildings.

Note: The outbuilding is not proposed as a detached accessory dwelling unit. With eaves greater than ten feet (10') in height, the outbuilding would not meet the standards for a DADU under Section 17.16.030 of the Metro Code.

Setbacks: The outbuilding will be located behind the principal building at the rear of the lot, with a rear setback of nine feet (9'), a left side setback of three feet (3'), and a right side setback of seventy-five feet (75'). The footprint of the building will be located twenty-two feet (22') from the rear of the existing house. The required side setbacks for an outbuilding of this size with a rear-facing garage are ten feet (10') for the rear and three feet (3') for the sides, and the design guidelines require outbuildings to be separated

from a principal building by twenty feet (20'). Staff finds the proposed nine foot (9') rear setback to be appropriate because it would be in keeping with the typical location of historic outbuildings. Staff finds the location of the proposed outbuilding to meet section III.H.6 of the design guidelines.

Materials, Texture, and Details and Material Color: The primary cladding material will be cement-fiberboard siding with a reveal to match the siding on the house. The windows and pedestrian doors is not known, therefore Staff would ask to approve them prior to purchase and installation. The roof will be asphalt shingles to match the roof of the house. With a condition that the final selections for the windows and doors are approved prior to purchase and installation, Staff finds these materials to be appropriate for an outbuilding, and that the project will meet section III.H.4 of the design guidelines.

Roof form: The primary roof of the outbuilding will be a front-oriented gable with a pitch of 10:12, matching the roof of the house. There will be a shed dormer on the right slope of the roof with a 6.5:12 pitch. The dormer will stack directly over the wall of the first story. While section III.H.3 of the design guidelines requires dormers to sit back two feet (2'), this façade of the building faces the interior of the lot and will therefore be obscured behind the principal building. For those reasons, Staff finds the roof form to be compatible. Staff finds the roofs of the proposed outbuilding to be compatible with those of the principal building and to meet section III.H.3 of the design guidelines.

Note: The outbuilding is not proposed to be a Detached Accessory Dwelling Unit. Under Section 17.16.030 of the Metro Code it could not be converted to one because it would not meet the standards for a DADU if the dormer does not sit back two feet (2').

**Recommendation Summary:** Staff recommends disapproval of the proposed outbuilding, finding that the design would not meet section III.H the design guidelines for the Waverly-Belmont- Neighborhood Conservation Zoning Overlay.

Because lowering the eave heights could dramatically change the slope of the roof and/or the plans for the interior, staff recommends disapproval rather than an approval with conditions.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use, an outbuilding that is not being used as a detached accessory dwelling unit.



# 1104 Halcyon Avenue

## OUTBUILDING/DADU WORK SHEET

The following worksheet serves as a guide to facilitate the approval process for construction of outbuildings and DADUs. Completing the following tables will help determine if your proposed project meets the basic requirements defined by the design guidelines. After completion of the worksheet, reference the specific zoning overlay’s design guidelines for additional design requirements.

### Section I: General requirements for DADUs and Outbuildings

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	N/A	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2’?		No
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

### Section II: General Requirements for DADU

If the accessory building does not include a dwelling unit skip this section and go to Section III. If the accessory building is to include a dwelling unit (full bathroom and/or kitchen), the answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn’t zoned two-family or doesn’t have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?		No
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		N/A

\*Note: A restrictive covenant must be filed for DADUs before the permit may be issued. For more information, visit <http://www.nashville.gov/Codes-Administration/Land-Use-and-Zoning-Information/Zoning-Examinations/Restrictive-Covenants.aspx>

**Section III: Site Planning**

To determine the appropriate location of the outbuilding or DADU, complete the information below for “proposed” and compare to the minimums allowed.

	MINIMUM	PROPOSED
Space between principle building and DADU/Garage	20’	22’
Rear setback	3’	9’
L side setback**	3’	3’
R side setback**	3’	75’
How is the building accessed?	From the alley or existing curb cut	Rear/Alley Facing

\*\*If the lot is a corner lot, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback shall be a minimum of 10’.

**Section IV: Massing Planning**

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the right)
Ridge Height	29’	25’	24’
Eave Height	10’	1 story 10’ or 2 story 17’	15’+

To determine the maximum allowed square footage of the accessory building, complete the table below and choose the lesser number.

One-story building:

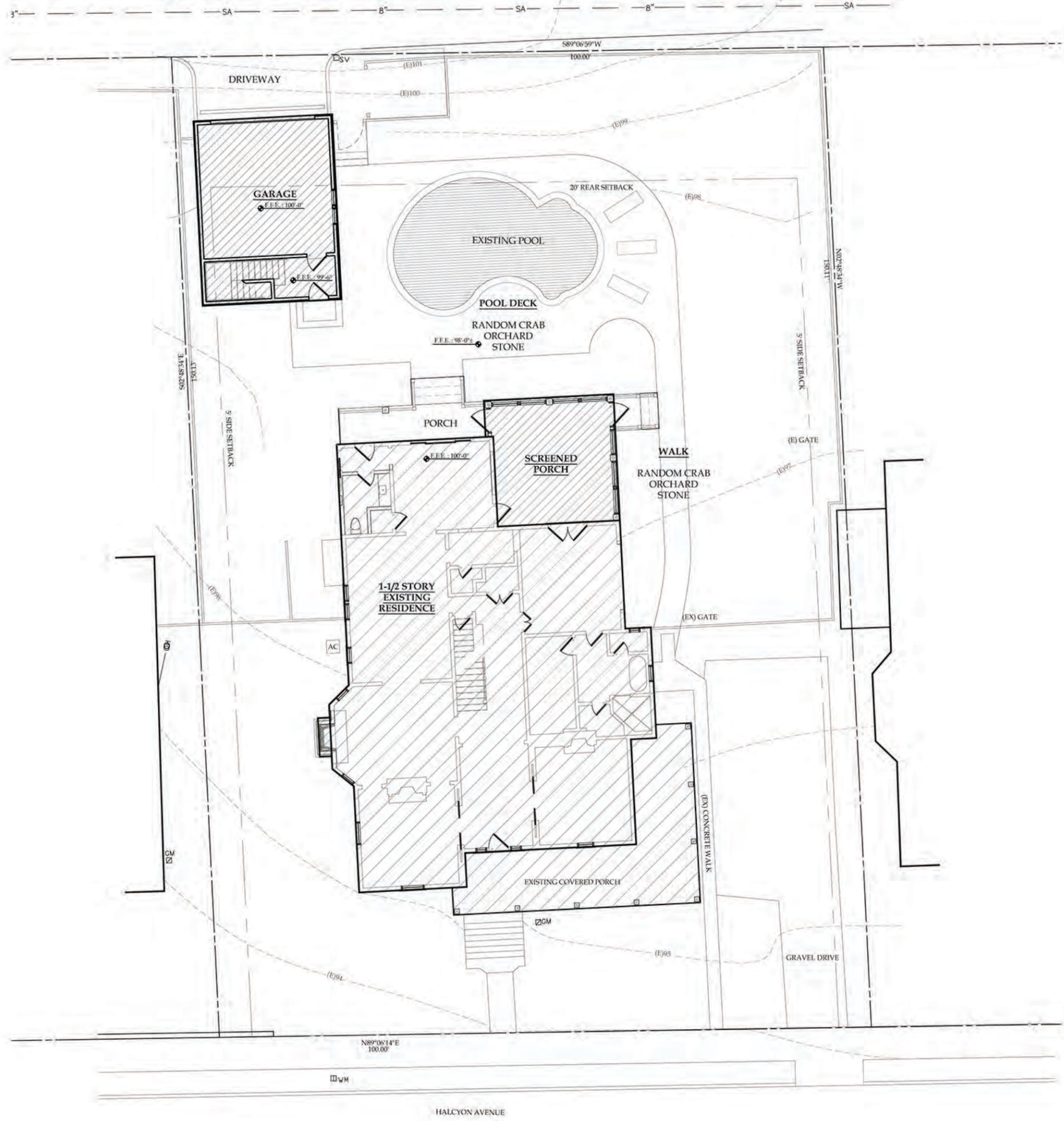
	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1,000 sq. ft.		588 sf

Two-story building:

	Lot is less than 10,000 square feet	Lot is more than 10,000 square feet	40% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	550 sq. ft.	1,000 sq. ft.		

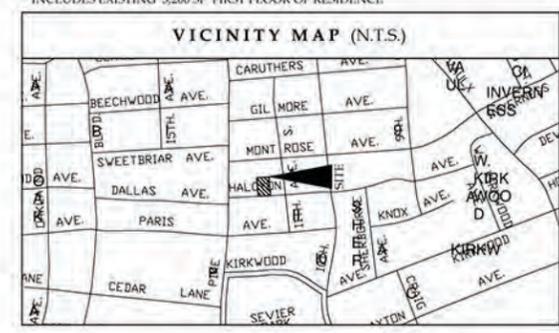
*Please ask staff about any unusual lot conditions that do not allow an outbuilding to meet any of these requirements.*

*Please see design guidelines for information about materials and detailing.*



SHEET INDEX	
A0.1	SITE PLAN & PROJECT DATA
D1.0	DEMOLITION PLANS
A1.0	FOUNDATION & ROOF PLAN
A1.1	FIRST FLOOR PLAN & SECOND FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS & BUILDING SECTIONS
A2.1	EXTERIOR ELEVATIONS & BUILDING SECTIONS

SQUARE FOOTAGE	
HEATED/COOLED SPACES:	
FIRST FLOOR:	3,026 SF
SECOND FLOOR:	EXT- SF
TOTAL:	-SF
OTHER:	
PORCHES:	506 SF
GARAGE:	686 SF
*SQUARE FOOTAGE TOTAL:	-SF



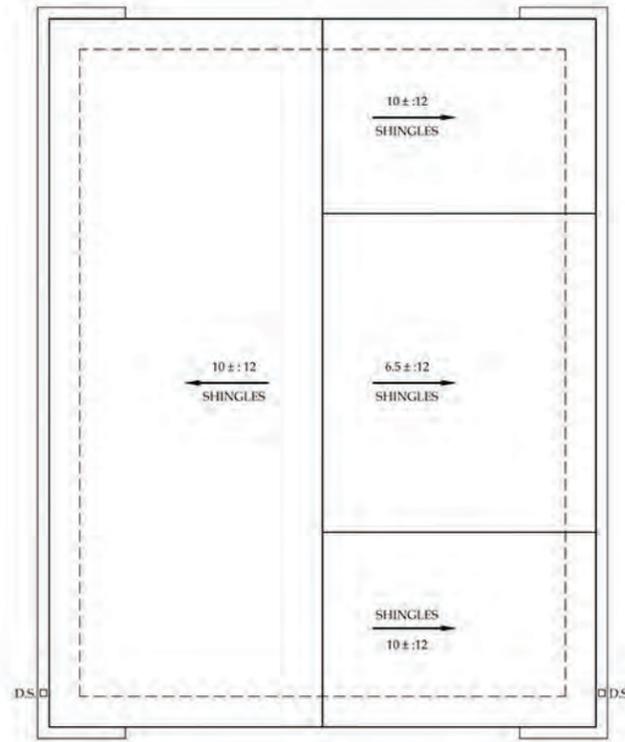
ZONING TABLE			
1104 HALCYON AVENUE NASHVILLE, TN 37204			
MINIMUM BUILDING SETBACKS (PER BULK TABLE 17.12.020)			
FRONT.....AVG.			
SIDE.....5'			
REAR.....20'			
AREA CALCULATION			
ZONING- RS	ALLOWABLE	EXISTING	PROPOSED
LOT		.34 AC± / 15,004 SF	
HOUSE FOOTPRINT		3,200 SF	3,533 SF
GARAGE FOOTPRINT		400 SF	686 SF
MAX BUILDING COVERAGE(45)	6,752 SF	3,200 SF	4,219 SF

**ALEXANDER RESIDENCE  
1104 HALCYON AVENUE  
NASHVILLE, TN 37204**

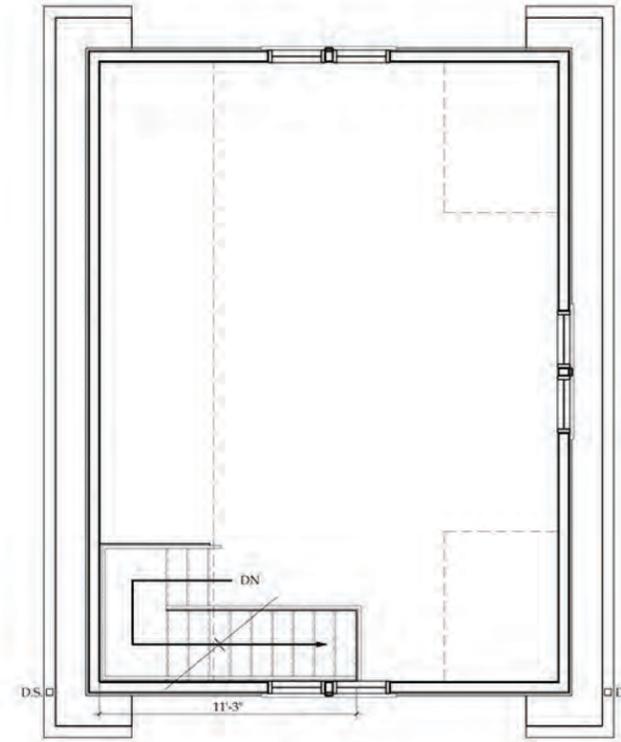
SITE PLAN & PROJECT DATA

REVISIONS  
△

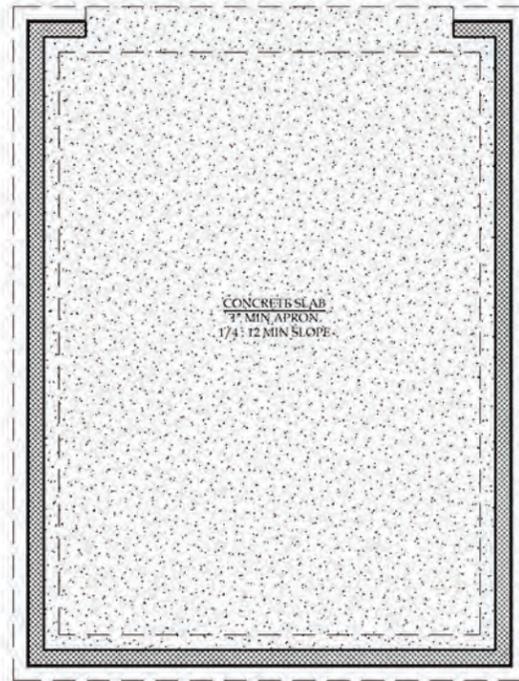
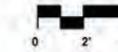
**WELLS DESIGN ASSOCIATES**  
1440 15TH AVENUE SOUTH + NASHVILLE, TN + 37212 + 615.300.6766



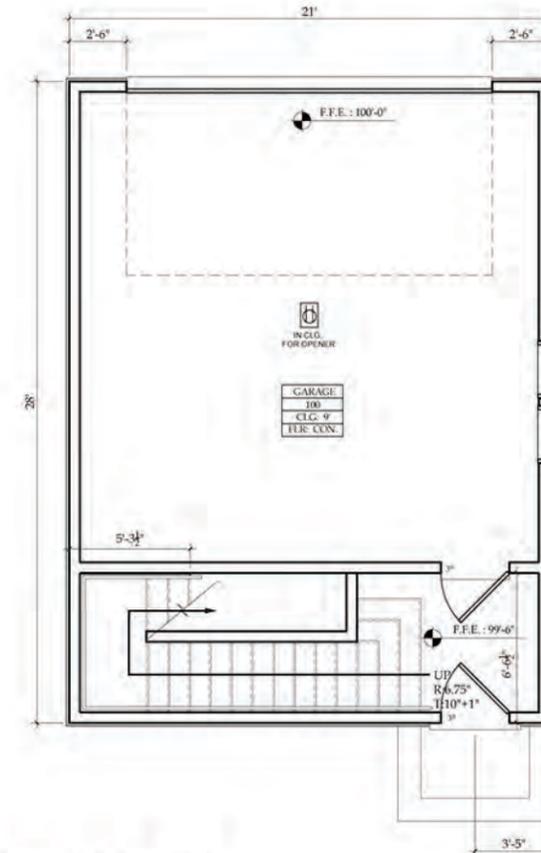
**4 ROOF PLAN**  
1/4"=1'-0"



**3 SECOND FLOOR PLAN**  
1/4"=1'-0"



**2 FOUNDATION PLAN**  
1/4"=1'-0"



**1 FIRST FLOOR PLAN**  
1/4"=1'-0"



**ALEXANDER RESIDENCE**  
**1104 HALCYON AVENUE**  
**NASHVILLE, TN 37204**

GARAGE PLANS

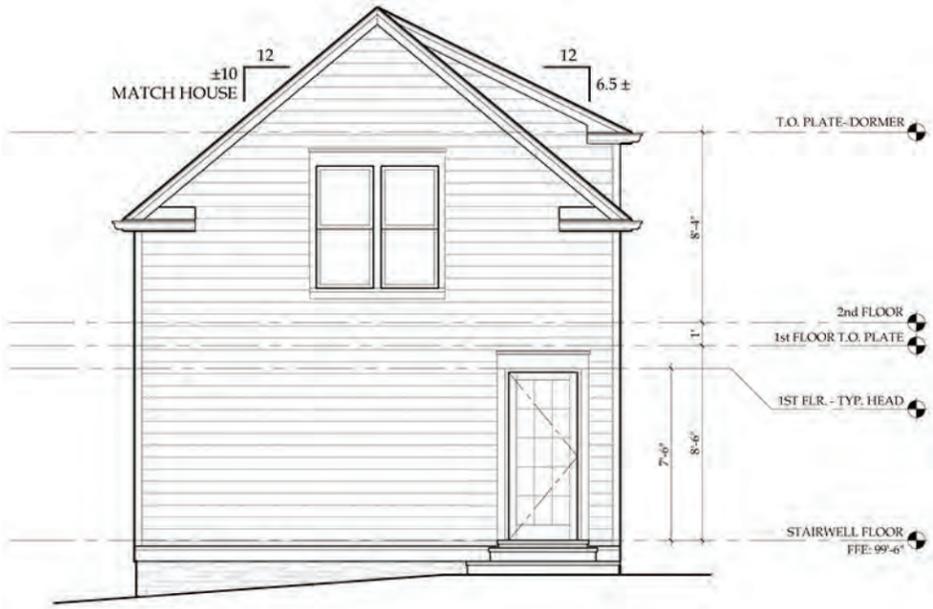
REVISIONS  
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**WELLS DESIGN ASSOCIATES**  
1440 15TH AVENUE SOUTH + NASHVILLE, TN + 37212 + 615.300.6766

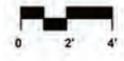
**A1.3**

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

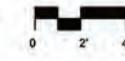
REVISIONS  
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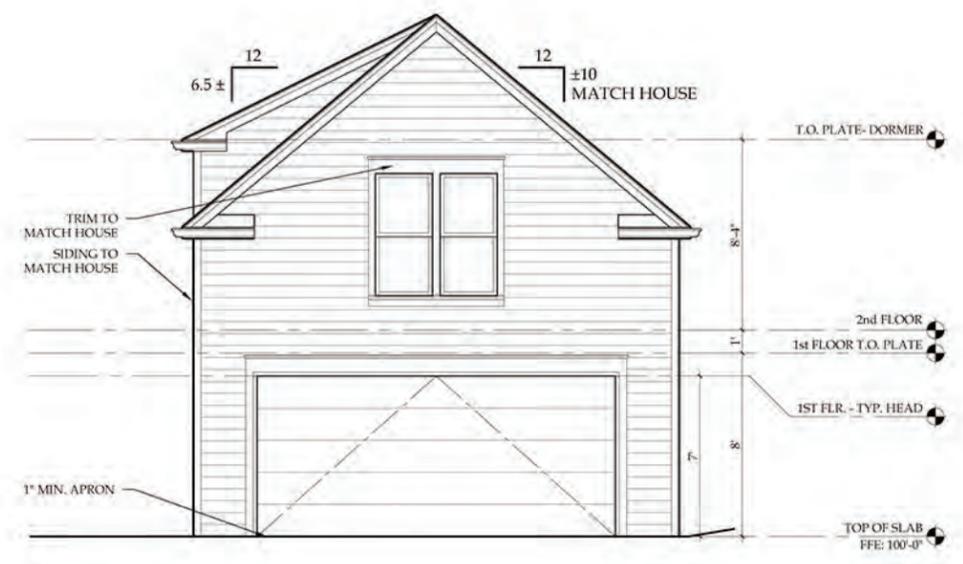
4 REAR ELEVATION  
 1/4"=1'-0"



3 SIDE ELEVATION (POOL SIDE)  
 1/4"=1'-0"



2 SIDE ELEVATION  
 1/4"=1'-0"



1 FRONT ELEVATION  
 1/4"=1'-0"

