

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
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**STAFF RECOMMENDATION**  
**1226 4<sup>th</sup> Avenue North**  
**May 18, 2016**

**Application:** New construction - infill  
**District:** Germantown Historic Preservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 08209032200  
**Applicant:** Barry Brechak  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

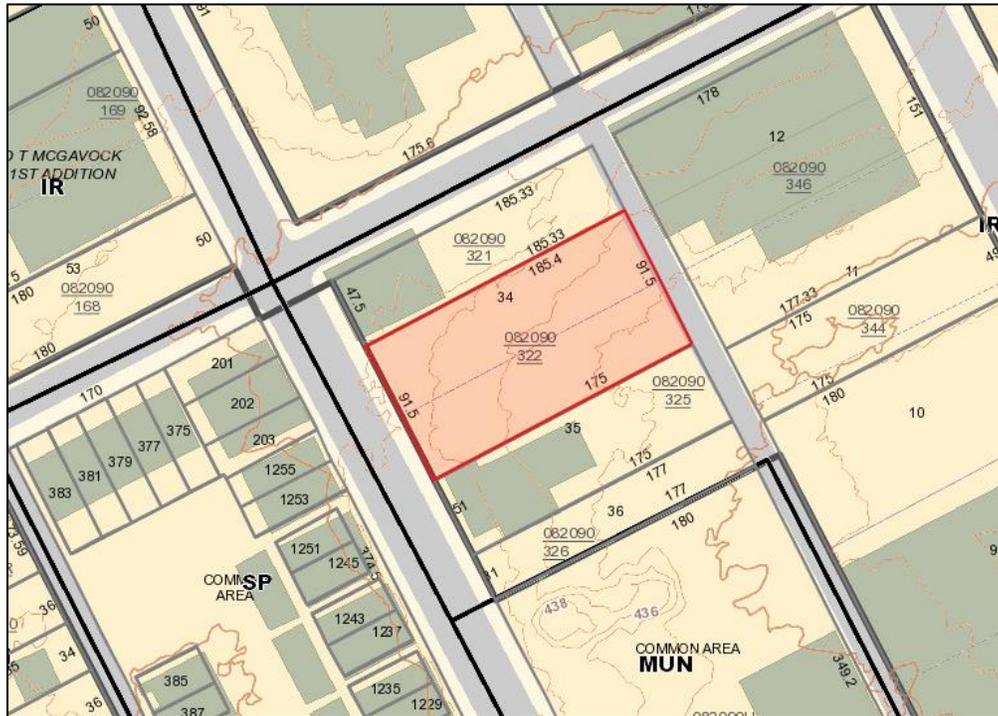
**Description of Project:** The applicant proposes to construct two new buildings on a vacant lot. Both buildings will be one-story tall with gabled roofs, with setbacks more than twice that of an adjacent historic house at 1222 4<sup>th</sup> Avenue North.

**Recommendation Summary:** Staff recommends disapproval of the infill construction, finding that the proposal does not meet sections 3.1 General Principles, 3.2 Site, Building Planning and Setbacks, 3.2.3 orientation, 3.2.4.2 façade articulation, 3.3 materials, 3.5 windows and 3.7 utilities/mechanicals in the Germantown Historic Preservation Zoning Overlay.

**Attachments**

- A:** Photographs
- B:** Site Plan
- C:** Elevations
- D:** Neighborhood Group Letter

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### 3.0 New Construction - where there is minimal historic context or historic context no longer exists

Guidelines apply only to the exteriors of new construction. Public facades shall be more carefully reviewed than non-public facades. *Public facades are those that are visible from the public right of way, street or streets. Non-public facades are those not visible from the public right of way, street or streets. Facades facing the alley are generally not considered public facades.*

#### 3.1 General Principles

*Construction in the District has taken place continuously from the mid-19th through the present and a variety of building styles and building types have resulted. This variety reflects the style, culture and values of the District over time. New construction that imitates historic architectural styles may compromise the value of authentic historic structures by confusing genuine history with reproduction. Exterior building design should avoid the creation of themed environments that create a false sense of being in an alternate time or place. Because a great variety of building forms exist within Germantown, flexibility in the design of new buildings is possible and encouraged. New buildings should continue this variety while remaining compatible with development patterns consistent with mixed-use urban neighborhood design.*

- 3.1.1 Buildings should be sited on their respective parcels in ways that are appropriate to their context and the context it creates.
- 3.1.2 The architectural styles and forms of new buildings should be appropriate to their context.
- 3.1.3 New buildings should relate to a pattern and rhythm of development consistent with a mixed-use urban neighborhood.
- 3.1.4 New projects have the ability to create place. Proposed projects shall be reviewed both in relationship to its context and the context it creates.
- 3.1.5 The ground floors of new buildings should be designed to encourage pedestrian activity.
- 3.1.6 New construction will be reviewed for height, scale, setback, relationship of materials, texture and color; massing; orientation; and proportion and rhythm of openings.

#### 3.2 Site and Building Planning

- 3.2.1 New development should be sited and designed to encourage pedestrian/human activity on the street. The siting of buildings should acknowledge and reinforce desirable characteristics of the right-of way and streetscape.

*Livelier street edges make for safer streets. Ground floor shops and market spaces providing services attract activity on the street. Entrances, porches, balconies, front yards, decks, seating, street lighting, street trees, landscaping and other streetscape elements promote use of the street front and provide places for human interaction. Siting decisions shall consider the importance of these features in a particular context and allow for their incorporation.*

##### 3.2.2 Setbacks

*The character of a neighborhood or district is often a product of the experience of traveling along its streets. One of the defining characteristics of that experience is how buildings face and are set back from the street.*

*The guidelines below are not specific to individual parcels or streets. Because street rights of way vary significantly throughout the district it is important to first analyze and consider the desired streetscape prior to establishing the setback and building face for a given project. While the guidelines encourage some buildings at the edge of the sidewalk, locating a building on the property line only 48" from the edge of the existing curb drastically limits and may altogether prohibit the placement of features identified in 3.2.1 and limit the ability of a project to comply with 3.2.1.*

*It is further the intent of these guidelines to avoid the arbitrary establishment of setbacks resulting in haphazard building placement and a resulting interruption or absence of visual order within the District.*

1. Commercial Corridor Setbacks (Rosa L Parks and Jefferson Street) – the siting of buildings along major commercial corridors should provide desirable streetscape characteristics: pedestrian oriented businesses and shops at ground level, corner entrances and a consistent building edge abutting the sidewalk.

2. Commercial Setbacks (Interior to the District) – Generally, commercial buildings within the district are encouraged to build to the property line/sidewalk.

*The intent is to encourage pedestrian oriented development*

3. Corner Lots: Buildings on corner lots should be oriented to the corner and public street fronts to reinforce the street corner. Buildings should appropriately address setbacks on both streets. Corner lots offer unique opportunities because of their visibility and access from two streets. Corner pedestrian entrances, towers, turrets, accentuated rooflines, special architectural details, balconies and other design features are encouraged.

4. Residential Setbacks – the space between the building and the sidewalk should provide security and privacy for residents while encouraging social interaction among residents and neighbors. Within the district the transition between residential buildings and the street varies with the depth of the front setback and the relative elevation of the building to the street.

*The following examples illustrate various conditions and suggest how this guideline may be met through setbacks, entry design, landscape treatment and other techniques.*

*Minimal Front setback – Buildings with little or no front yard should include creative use of landscaping and or window placement and treatment to provide privacy. Recessed entries can be used to provide security and/or weather protection.*

*Shallow Residential Street Front – Buildings with a shallow setback from the sidewalk provide sufficient area to include balconies or decks, which allow privacy while encouraging visual interaction with the street. Small courtyards, arcades, recessed entries or other similar entry designs may be desirable to provide privacy to ground floor residents.*

*Deep Residential Setback – Buildings with deep setbacks from the sidewalk provide sufficient privacy through spatial separation to permit more open porches, fenestration and garden space for ground floor residential units. Fences may provide further separation from the sidewalk.*

*High Bank Residential Street Front – Within the district topography may cause the ground floor of a building to be elevated above pedestrian eye level. Therefore it is easier to achieve a sense of privacy and separation from the street activity – thus creating more opportunity for social spaces*

5. Alley Setback: Setback from any alley (rear or side) shall be a minimum of 5 feet in order to retain urban street character.

### 3.2.3 Orientation

1. The primary entrances of buildings shall be clearly identifiable and visible from the street. *Generally this means primary entrances are oriented to the public street.*

*The intent is to encourage pedestrian oriented development, interaction with the street environment and allow for transition between the street/public domain and the interior of the building/private domain. Entries that are visible from the street generally make a building more approachable and create a sense of association among users, customers and neighbors. Clear entries should be provided off of public streets not solely from parking lots.*

*This does not preclude site developments for residential projects from utilizing courtyards and mews. It is intended to foster siting that recognizes the importance of the public street and the transition from the street to the building.*

### 3.2.4 Mass and Scale

1. The mass and scale of new buildings will be reviewed relative to use and location within the District. *Generally taller more massive structures are anticipated at the edges where Commercial Corridors (Jefferson Street and Rosa L. Parks Boulevard) bound the District. Lower height, smaller scale and less massive structures are predominant at the interior of the District. Third Avenue North is unique in the fact that it is an arterial passing through the eastern part of the District connecting downtown to Metro Center. Therefore as a connecting street with potentially higher traffic volumes more commercial uses, greater densities and taller heights may be appropriate. These guidelines and the Design Review Process are intended to provide a balance between the development potential of a particular site and compatibility of existing and adjacent buildings.*

2. Façade Articulation: New structures shall employ design techniques that avoid large expanses of unbroken façade planes and/or materials particularly on public facades. *For multiple story buildings, the width of any unbroken façade shall not exceed the building height. This width to height ratio is considered a minimum – more modulation is encouraged. Some appropriate techniques for building articulation include but are not limited to:*

*Modulating the façade by stepping back or extending forward a portion of the façade (articulating a building's façade vertically and/or horizontally in intervals that are informed by existing platting patterns or structures within the District is encouraged)*

*Pilasters, recesses and or projections*

*Repeating window patterns at an interval that equals the articulation interval*

*Providing a balcony, porch, patio, deck, covered entry, bay window (or other special window) or other significant architectural detail for each interval*

*Changing the roof line by varying parapet heights, alternating dormers, stepped roofs, gables or other roof elements to reinforce the modulation or articulation interval*

*Changing materials with a change in building plane (changes in a materials, texture or color are appropriate techniques – however changes solely in paint color alone is generally not sufficient to meet the intent of this guideline)*

### 3.2.5 Height

1. New buildings shall be constructed to a height that is compatible with adjacent context.

*Consideration of the physical characteristics of a property will be given in determining compatible heights (e.g. exceptional topographic condition, lot size and/or lot shape)*

*Height, bulk and scale mitigation may be required in two general circumstances:*

*Projects on or near the edge of a less intensive area. A substantial incompatibility in scale may result from different development standards in the two areas and may be compounded by physical factors such as large development sites, slopes or lot orientation.*

*Projects proposed on sites with unusual physical characteristics such as large lot size, unusual shape, or topography where buildings may appear substantially greater in height, bulk and scale than that generally anticipated for the area.*

*Factors to consider in analyzing potential height, bulk and scale impacts include:*

- *distance from the edge of an existing structure or less intensive area*
- *differences in development standards between abutting area (allowable building height, width, lot coverage, etc.)*
- *effect of site size and shape*
- *height, bulk and scale relationships resulting from lot orientation (e.g. backlot line to back lot line vs. back of lot line to side lot line)*
- *Type and amount of separation between lots in the different area (e.g. separation by only a property line, by an alley or street, or by other physical features such as grade changes.)*

*In many cases, careful siting and design treatment are sufficient to achieve reasonable transition and mitigation of height, bulk and scale impacts. Some techniques for achieving compatibility are as follows:*

- *Location of features on-site to facilitate transition such as locating required open space on the zone edge so the building is farther from the lower intensity area.*
- *Treating topographic conditions in ways that minimize impacts on neighborhood development, such as architectural details to give a more human scale to a project, or stepping a project down a sloping site.*
- *In a mixed-use project, siting the more compatible use near the adjoining edge.*

*In some cases, reductions in the actual height, bulk and scale of the proposed structure may be necessary in order to mitigate adverse impacts and achieve an acceptance of compatibility. Some techniques that can be used in these cases include:*

- *articulating the building's facades vertically or horizontally in intervals that*
- *conform to existing structures or platting pattern.*
- *increasing building setbacks from the zone edge at ground level*
- *reducing the bulk of the building's upper floors*
- *limiting the length of, or otherwise modifying, facades*
- *reducing the height of the structure*
- *reducing the number or size of accessory structures*

2. In the absence of adjacent context with taller heights the following heights are permitted.

### 3.3 Walls/Exterior Materials

3.3.1 Exterior materials will be reviewed for characteristics of scale, design, finish, texture, durability and detailing. Materials must demonstrate adherence to The Secretary of Interior's Standards.

- 3.3.2 Large expanses of featureless wall surface are not appropriate
- 3.3.3 Material change between the foundation and the first floor is encouraged.
- 3.3.4 Exterior Insulation Finish System (EFIS) and vinyl siding are not appropriate exterior materials.
- 3.3.5 The painting of wood and metal surfaces is not reviewed by the MHZC.

### 3.5 Windows

- 3.5.1. Window profiles will be reviewed for dimensional depth of rails, stiles, mullions, muntins, divided lites, sills, casing and or trim.

### 3.6 Roof

- 3.6.1 Rooftop equipment, skylights, solar panels, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. *Generally, they should be placed rear of the mid-point of the building.*

### 3.7 Utilities / Mechanical

- 3.7.1 Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their impact and visibility at the public street. Exterior utilities and mechanical equipment shall be screened from visibility from the building's street facades. Building utilities shall be planned, sited and screened to minimize their impact on the pedestrian environment.

**Background:** The lot at 1226 is currently vacant.

On the adjacent lot to the south is a one-story historic house constructed prior to 1897, to the north is a one-story commercial building constructed in 1957, and across the street are a three-story mixed use development and townhouses constructed in 2008. The historic house has a nine-foot (9') front setback, the commercial building to the left was built to the front property line. The commercial component of the mixed use development has a six foot (6') setback for the building wall with a seating area between the building and the sidewalk, and the townhouse development has a ten foot (10') setback to the wall with front stoops that extend five feet (5') forward with walkways connecting them to the sidewalk.



Figures 1 and 2: Development across the street.



Figures 3 and 4: New construction to the left and historic building to the right.

**Analysis and Findings:** The applicant proposes to construct two new buildings on the vacant lot. Both buildings will be one story, matching the number of stories of the two adjacent buildings.

**Mass and Scale, Height:** The two new buildings will each be one story, the left building will have a side-gabled roof and the right building will have a front-gabled roof. These forms are similar to several historic buildings in the area. Staff finds these roof forms will be compatible with the historic character of the district and meet guideline 3.1.2.

The ridge heights of the new buildings will be seventeen feet, nine inches (17'-9") with eaves at nine feet (9'). These heights are compatible with the adjacent one-story buildings and meet guideline 3.2.5.

The left building will be forty-nine feet, five inches (49'-5") wide, and the right building will be twenty-five feet (25') wide. Between the new buildings there will be a walkway

leading from the sidewalk back to a shared courtyard at the center of the lot. Staff finds the widths of the building will be compatible with the surrounding character and meet guideline 3.2.1. There will be approximately three feet (3') between the new buildings and the existing buildings on either side, which is a common situation in the densely built Germantown area.

Façade Articulation: The storefronts are primarily glass and will not have a balance of walls and openings that is typical of historic buildings in the area. The design guidelines call for design techniques that avoid large expanses of unbroken façade plans and/or materials in two sections of the design guidelines. Staff finds that the glass front facades without breaks by solid features do not meet section 3.3.2 for materials and 3.2.4.2 for façade articulation in the design guidelines. In addition, the design guidelines for windows assumes buildings with “punched openings” by stating that windows will reviewed for the dimensional depth of rails, stiles, mullions, muntins, divided lights, stills, casing or trim (section 3.5).

General Principles, Site & Building Planning, Setbacks: The new buildings will have their front facades parallel to the street and will be shifted toward the sides of the lot with a fourteen foot (14') wide walkway between them. The left (northern) building will sit twenty feet (20') back from the sidewalk.

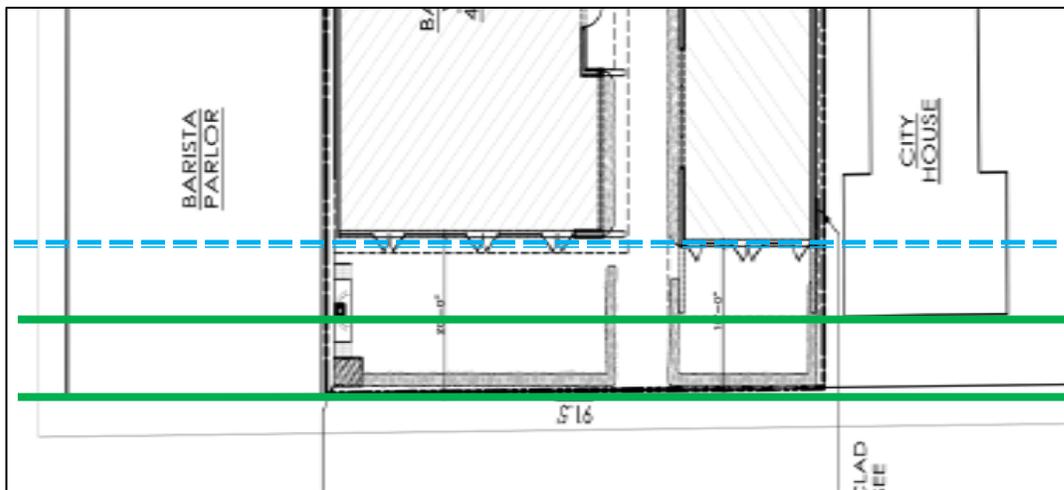


Figure 5: Proposed setbacks compared to existing setback. Solid green line indicates existing setbacks and dashed blue line is approximate proposed setback.

Staff finds that this setback would contrast greatly with the adjacent building, which sits at the front edge of the property. The building to the right will sit eighteen feet (18') back from the sidewalk, double the setback of the historic house to the right. Although the right building will have a nine-foot (9') deep cantilevered eave extending toward the front, Staff finds that the perceived setback will be much deeper than the adjacent building. Staff finds that the new buildings' setbacks are not appropriate for the surrounding context. The project does not meet section 3.1.1 and 3.1.4 of “general principles” which states that buildings should be sited in a way that is appropriate for their context and the context they create.

The space in front of the proposed buildings will have dining patios enclosed by hedges. In the patio area of the left building there will be a freestanding open fireplace and

chimney. No other front fireplace/chimneys exist in the neighborhood. The design guidelines also require a “spatial separation’ from the sidewalk in the case of deep setbacks. In this case, the proposal is for a deep setback like what is seen with residential buildings; however, the setback is greater than what is seen within the context and the area does not create a spatial separation but instead creates a public space with use of a patio, which is more appropriate for a commercial building with a shallower setback. The design guidelines encourage front seating and landscaping for commercial buildings to enliven the streetscape but it also states that it is important to avoid arbitrary establishment of setbacks resulting in “haphazard building placement and a resulting interruption or absence of visual order within the District.” Staff finds the depth of the proposed patios and the fireplace feature individually are not in keeping with the character of the surrounding context and that combined with the deep setback does not meet the design guidelines for either residential or commercial uses.

Staff finds that the proposal does not meet sections 3.1 and 3.2 of the Germantown design guidelines.

Materials: The front facades of the two buildings will be primarily glass storefront systems with metal framing. The roof will be galvanized standing seam metal. Staff finds the roof material to be appropriate and to meet guideline 3.3.1. The proposed front patio fireplace and the lateral walls of the storefront will be stacked fieldstone, with the walls switching to concrete block as they continue back. The roof structural elements, including beams, rafters, and fascia, will be reclaimed wood.

Guideline 3.3.1 requires that new materials meet the Secretary of Interior Standards. Standard #9 for rehabilitation states that new construction should include materials that are compatible with historic materials. While some types of wood and masonry cladding can be appropriate for new construction, Staff finds that the details and texture of stacked stone and rough wood are not compatible with the finishes on surrounding buildings which are more typically brick with milled and painted wood and so do not meet guideline 3.3.1. Furthermore, as these materials are not typical of an urban commercial building, they do not meet guideline 3.1 (Secretary of Interior Standard #3) as it gives the building “a false sense of being in an alternate time and place.”

Orientation: The primary entrances to the new buildings will be from the sides, accessed through the central walkway. The front facades will be separated from the sidewalk by front patios enclosed by hedges, further reducing the prominence of the doors on the front façade. Staff finds that that this does not meet guideline 3.2.3, which requires buildings to have primary entrances oriented toward the street.

Utilities/Mechanical: The location of external utilities (connections, compressors, etc.) is not known.

**Recommendation:** Staff recommends disapproval of the infill construction, finding that the proposal does not meet sections 3.1 General Principles, 3.2 Site, Building Planning and Setbacks, 3.2.3 orientation, 3.2.4.2 façade articulation, 3.3 materials, 3.5 windows and 3.7 utilities/mechanicals in the Germantown Historic Preservation Zoning Overlay.



1230 4<sup>th</sup> Ave. N. (c. 1957) – 1226 4<sup>th</sup> Ave. N. (vacant) – 1222 4<sup>th</sup> Ave. N. (pre 1897)



1222 4<sup>th</sup> Avenue North with a nine foot (9') front setback.



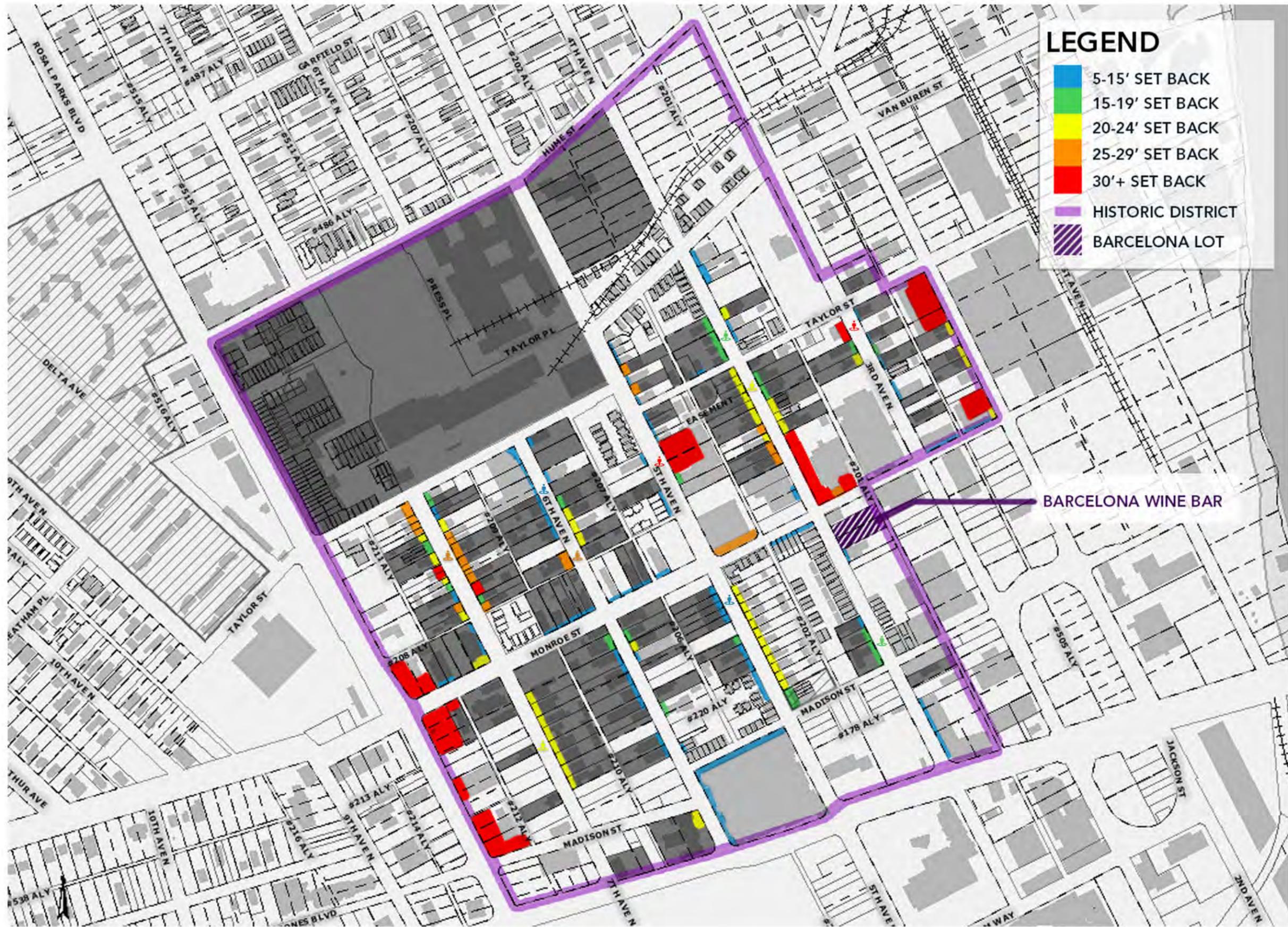
1230 4<sup>th</sup> Avenue North with no front setback.



Mixed use development opposite 1226 4<sup>th</sup> Avenue North.



Townhouse development opposite 1226 4<sup>th</sup> Avenue North.



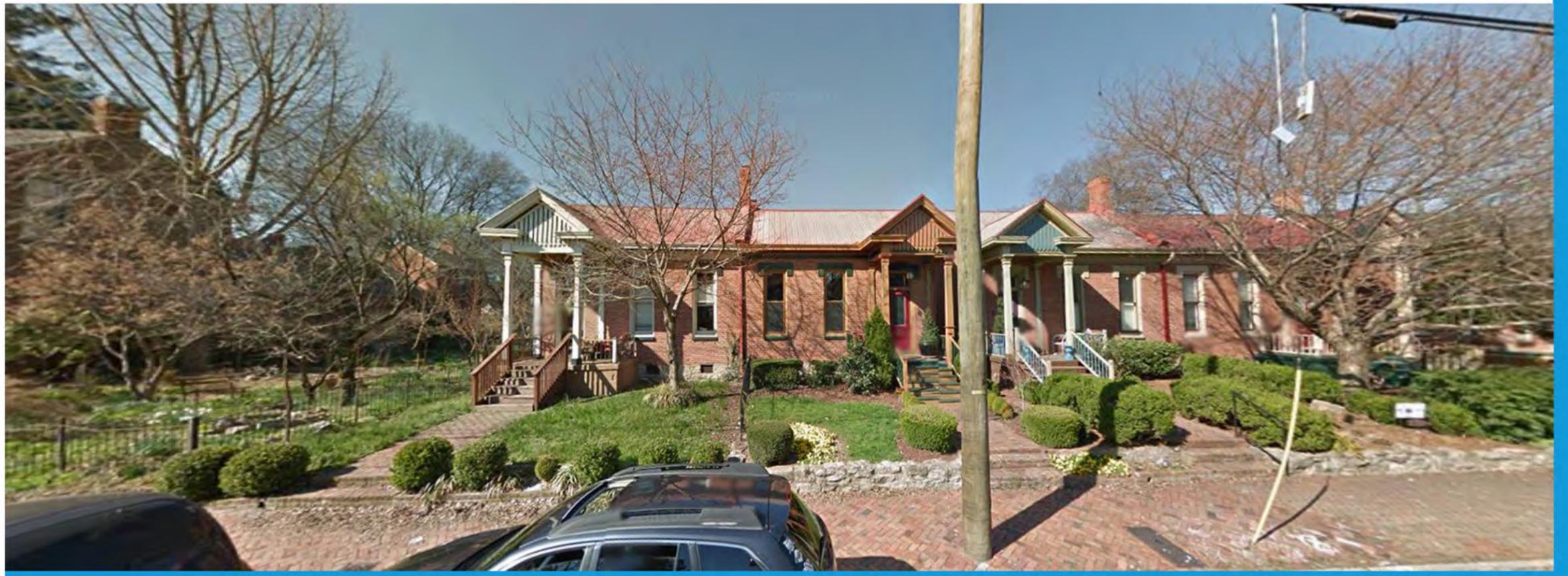
### LEGEND

- 5-15' SET BACK
- 15-19' SET BACK
- 20-24' SET BACK
- 25-29' SET BACK
- 30'+ SET BACK
- HISTORIC DISTRICT
- BARCELONA LOT

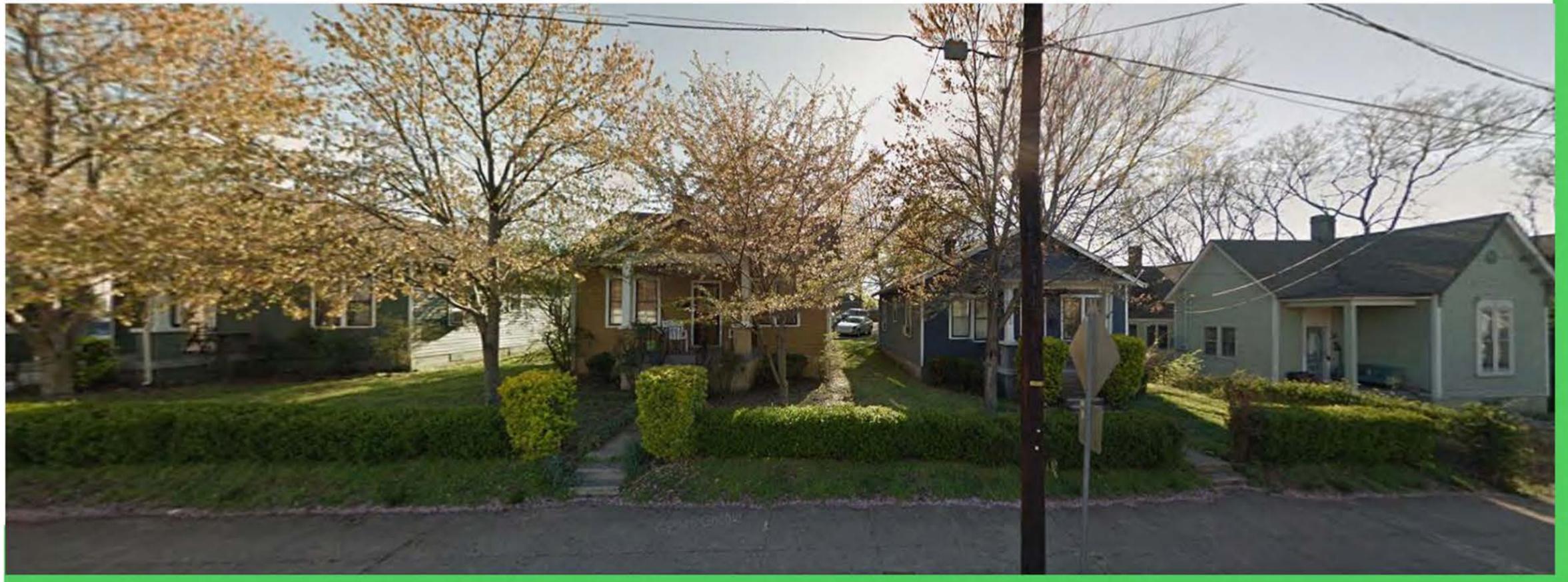
BARCELONA WINE BAR



**GERMANTOWN HISTORIC DISTRICT MAP - SITE SET BACKS**



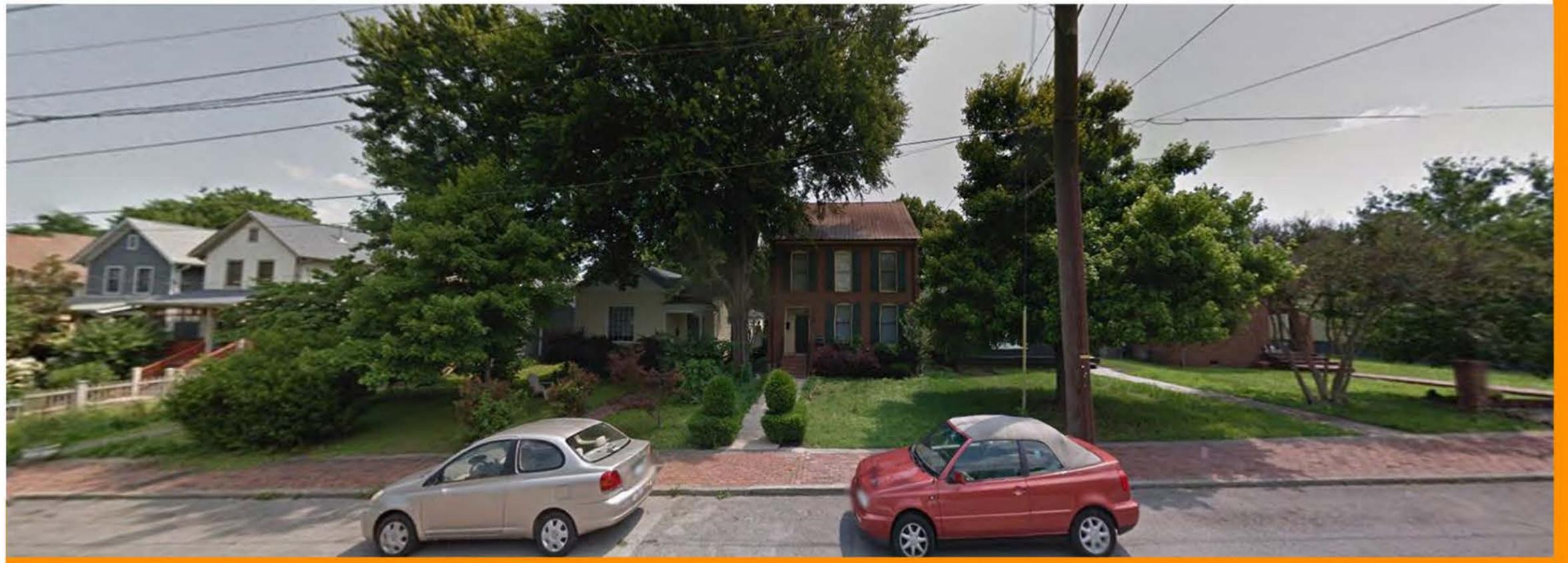
**STREET VIEWS - 5' - 15' SET BACKS**



**STREET VIEWS - 15'-19' SET BACKS**



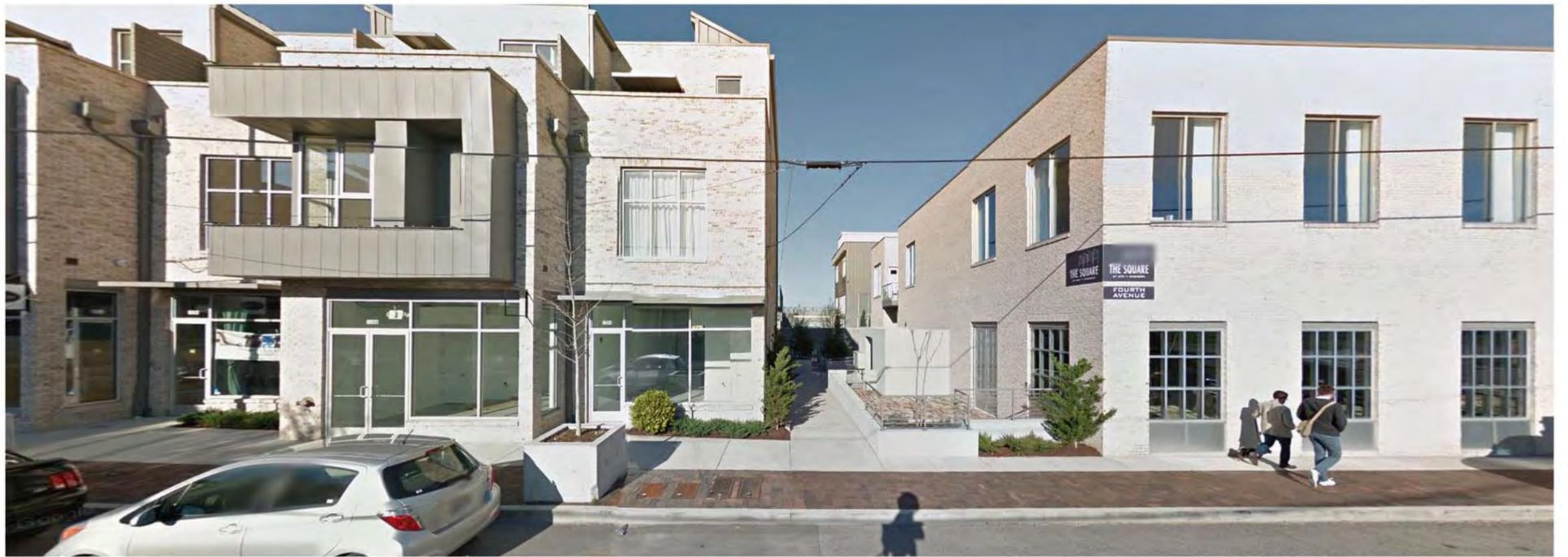
**STREET VIEWS - 20'-24' SET BACKS**



**STREET VIEWS - 25-29' SET BACKS**



**STREET VIEWS - 30'+ SET BACKS**



**STREET VIEWS - 0' SET BACKS**

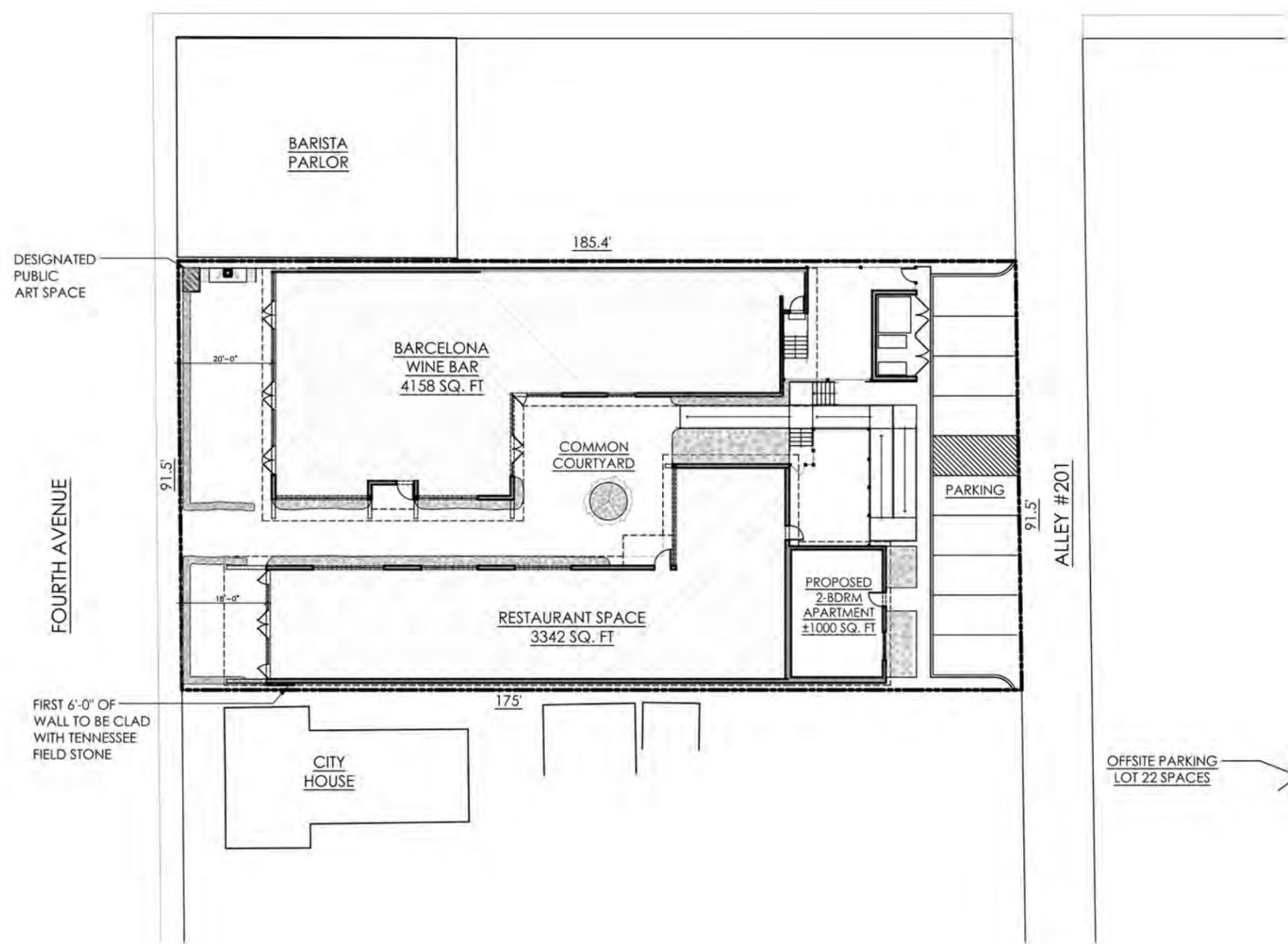
PROPOSED RESTAURANT SITE  
FOURTH AVENUE - GERMANTOWN, NASHVILLE, TN 37208 // 04.27.16 // PRELIMINARY DESIGN PACKAGE // SCHEME 5

BARTECA RESTAURANTS, LLC.



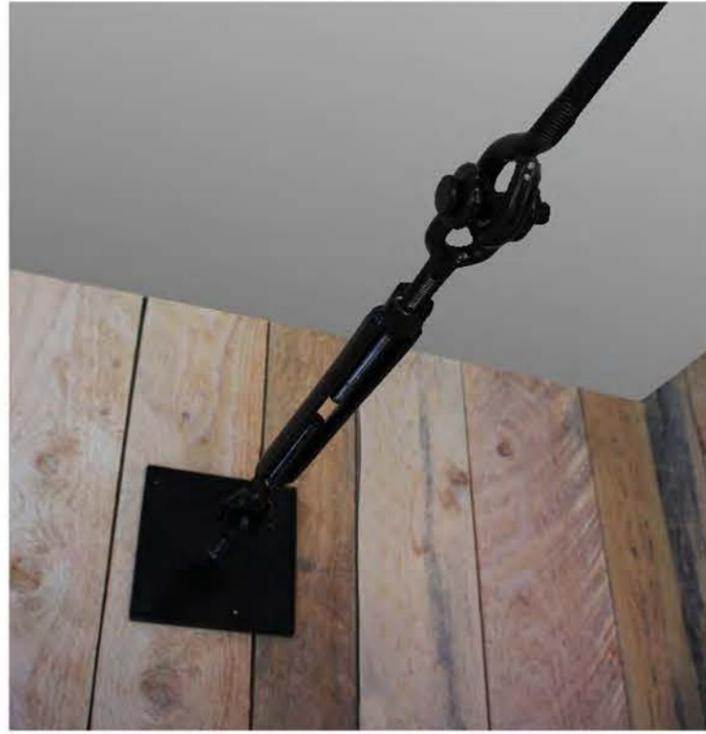
**SITE PLAN**

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SCALE: 1 : 30

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**INSPIRATIONAL IMAGES**



**FRONT PERSPECTIVE**

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**FRONT PERSPECTIVE**

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**PATIO RENDERING**

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**PATHWAY PERSPECTIVE**

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**PATIO RENDERING**

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**COURTYARD RENDERING**

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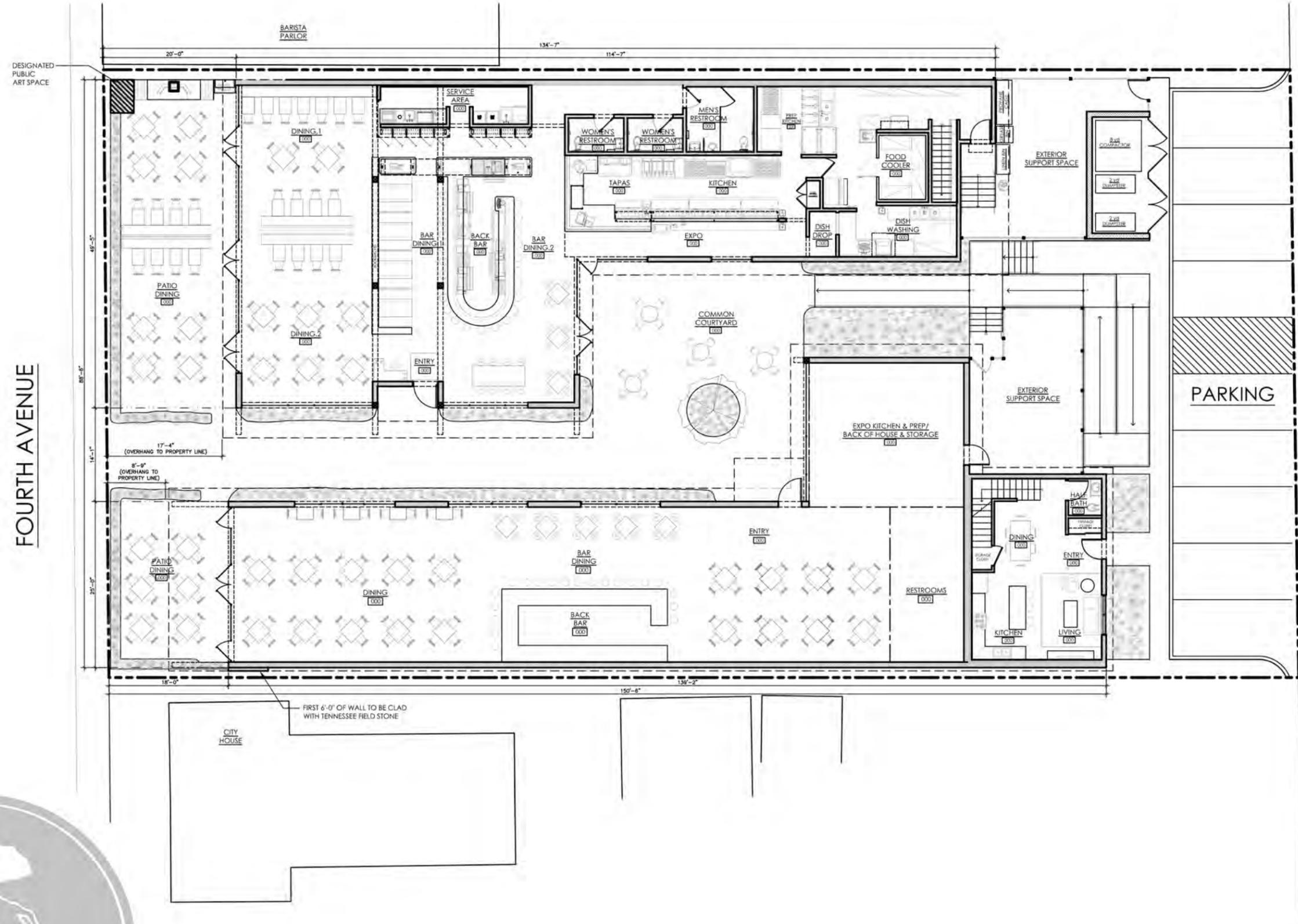


**COURTYARD RENDERING**

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FOURTH AVENUE

ALLEY #201



**GROUND FLOOR PLAN**

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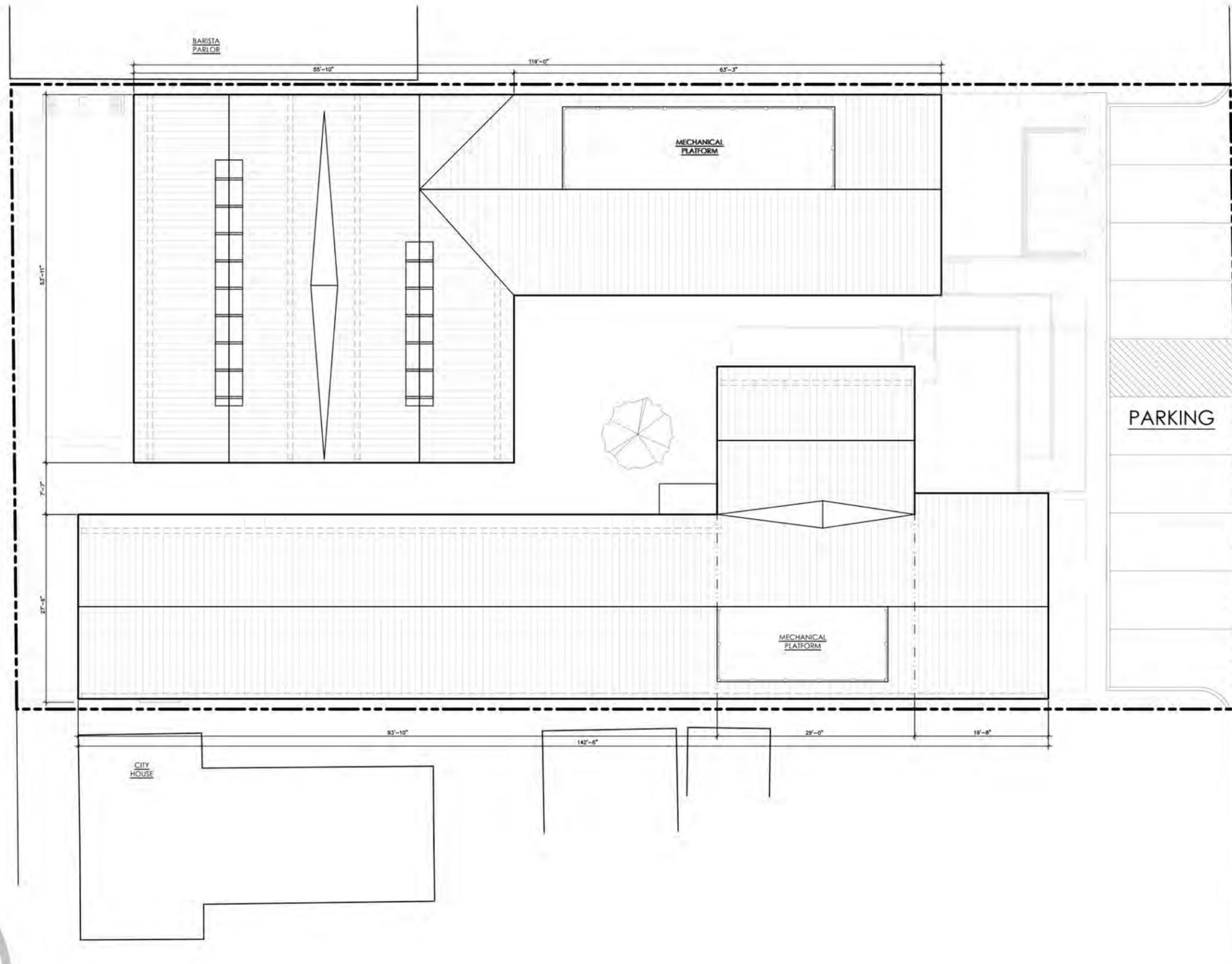


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FOURTH AVENUE

ALLEY #201



ROOF PLAN

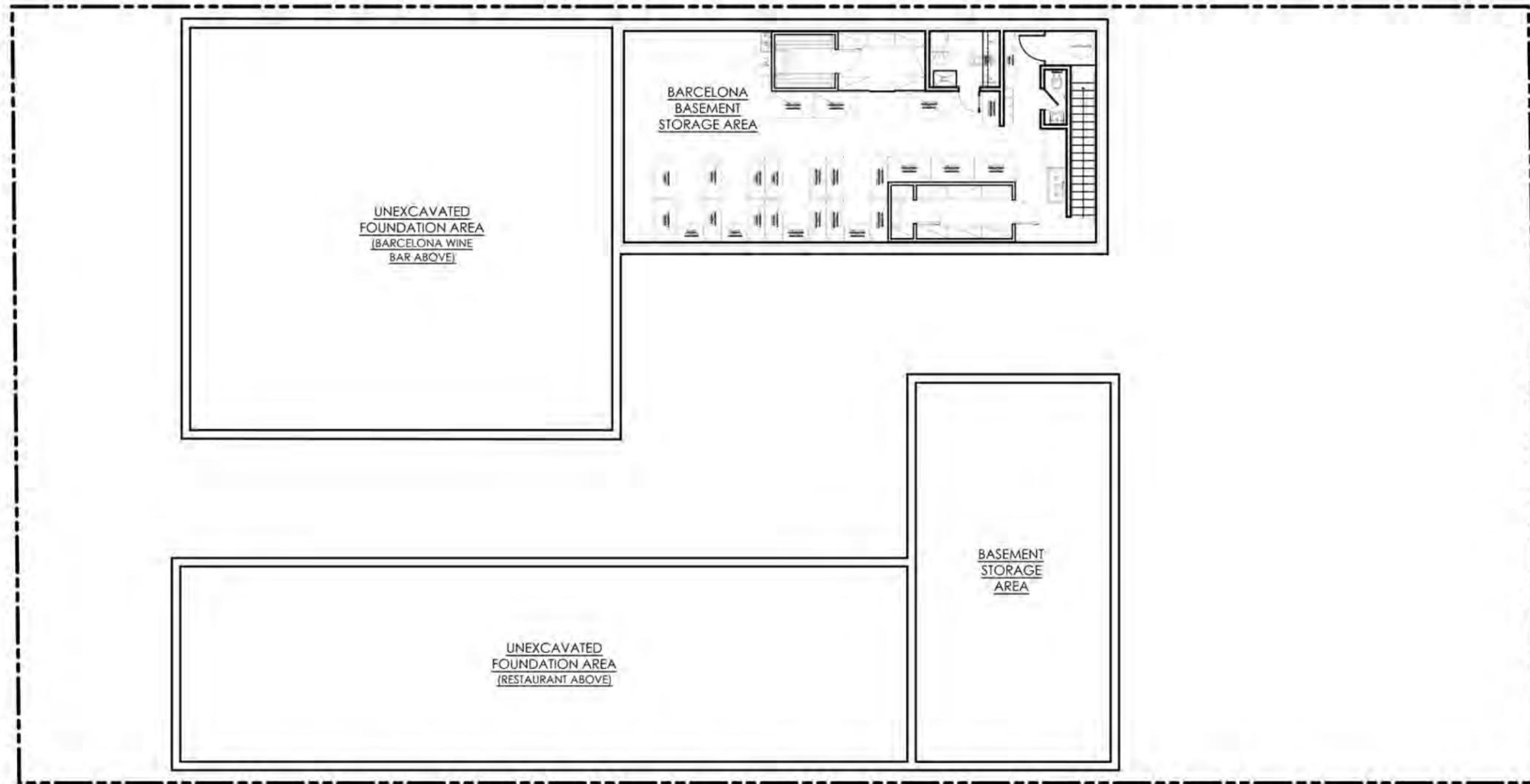
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**BASEMENT FLOOR PLAN**

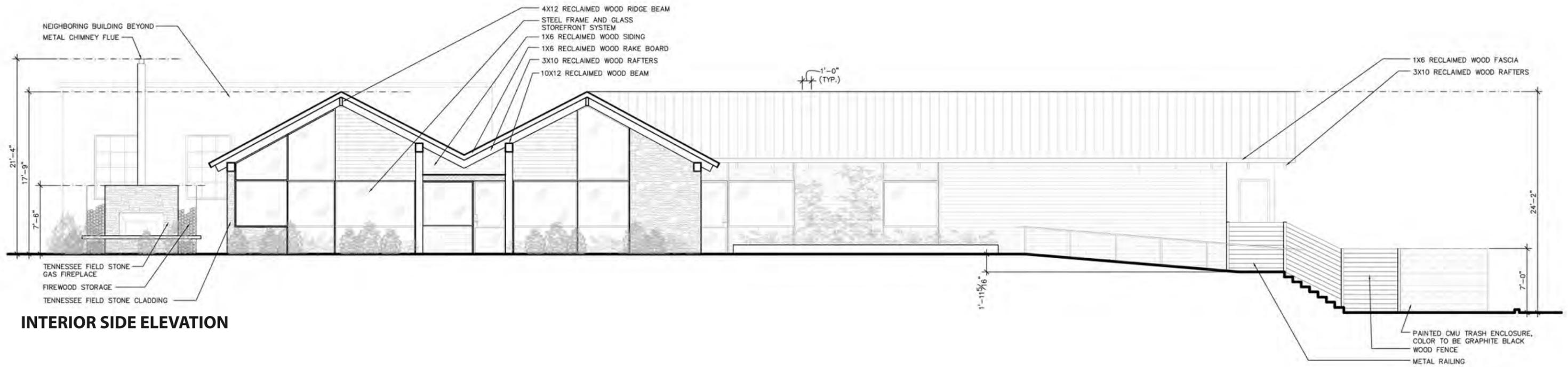
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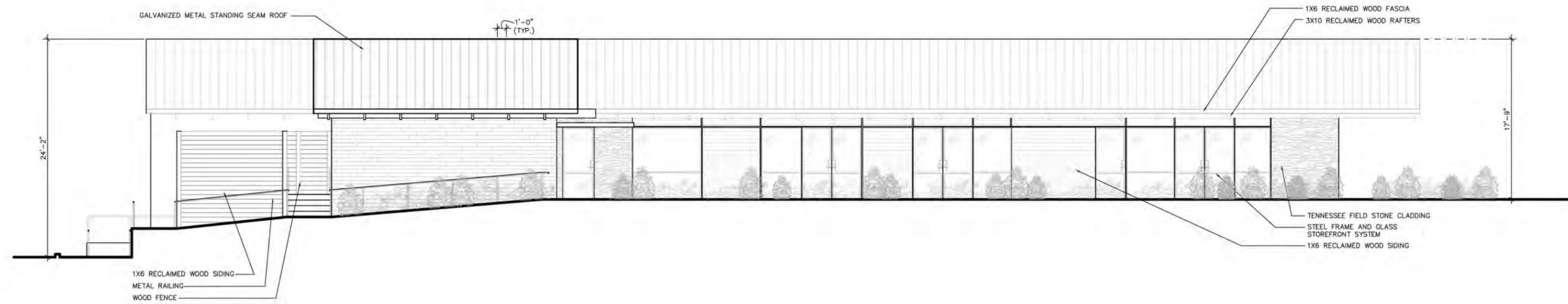
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BARTECA RESTAURANTS, LLC.



**INTERIOR SIDE ELEVATION**



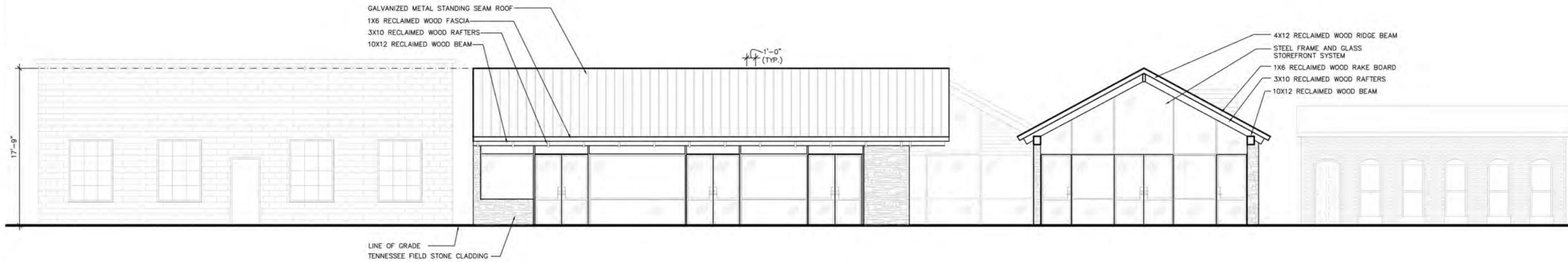
**INTERIOR SIDE ELEVATION**



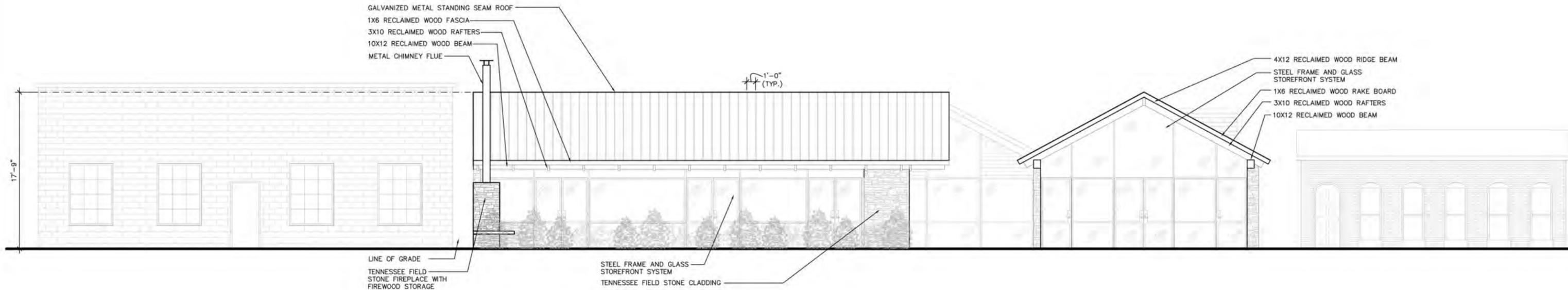
**EXTERIOR ELEVATIONS**



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**FRONT ELEVATION @ PATIO**



**FRONT ELEVATION @ STREET**



**EXTERIOR ELEVATIONS**

PROPOSED RESTAURANT SITE  
 FOURTH AVENUE - GERMANTOWN, NASHVILLE, TN 37208 // 04.27.16 // PRELIMINARY DESIGN PACKAGE // SCHEME 5

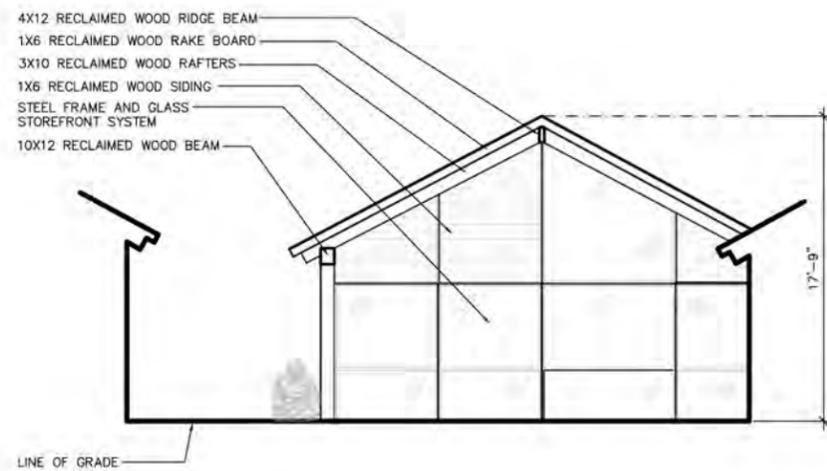


SCALE: 3/32" = 1'-0"

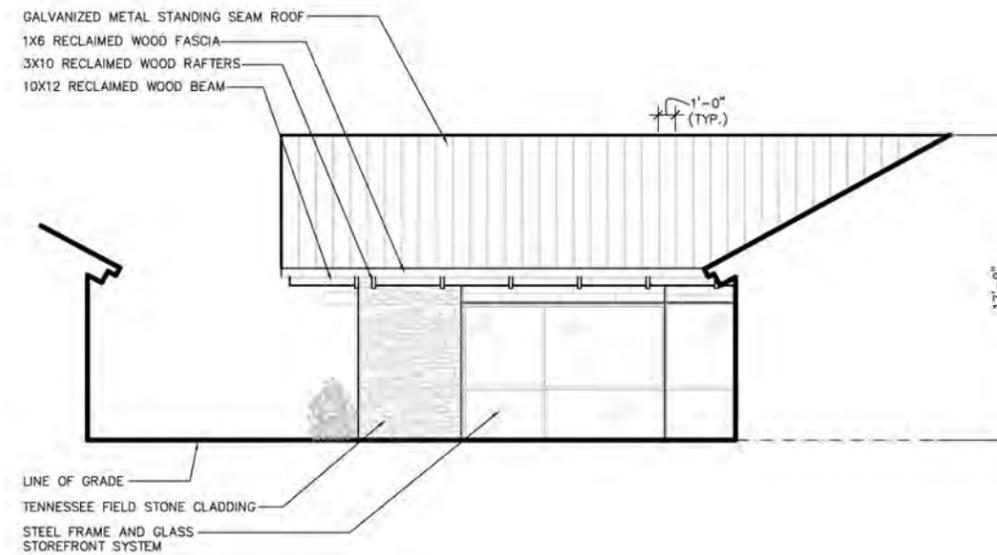
BARTECA RESTAURANTS, LLC.



**REAR ELEVATION**



**REAR ELEVATION @ COURTYARD**



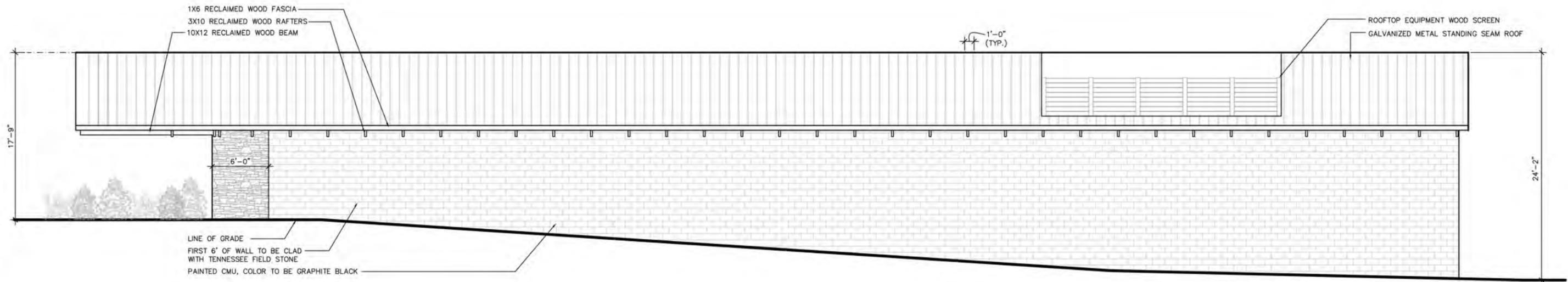
**FRONT ELEVATION @ COURTYARD**



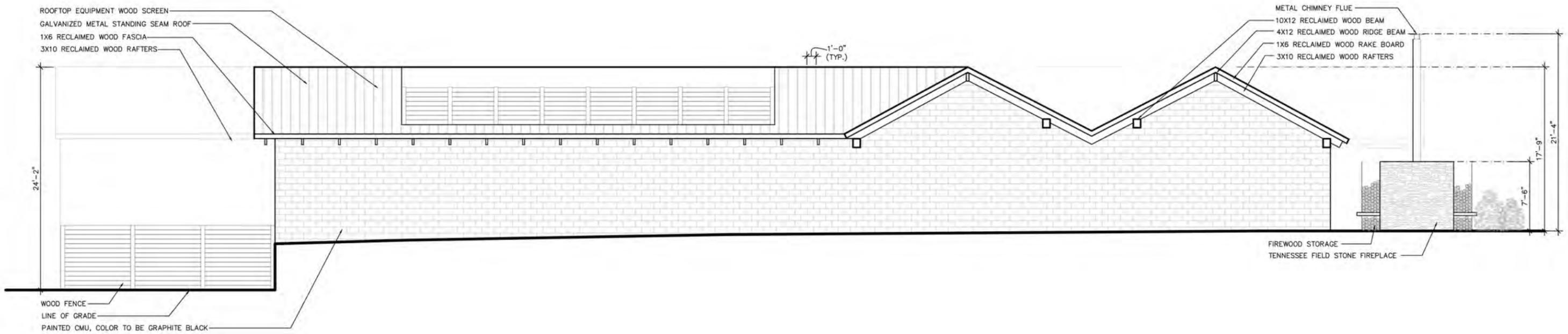
**EXTERIOR ELEVATIONS**



SCALE: 3/32" = 1'-0"



**SIDE ELEVATION**



**SIDE ELEVATION**



**EXTERIOR ELEVATIONS**



SCALE: 3/32" = 1'-0"

PRELIMINARY ZONING WORKSHEET

DATE: 6/5/2015

PROJECT:	RESTAURANT SITE DUE DILLIGENCE
PROJECT #:	2842-01
MAP / PARCEL:	82-9 / 322 & 323
ADDRESS:	1226 4TH AVE N & 1228 4TH AVE N, NASHVILLE, TN 37208

SITE CHARACTERISTICS	
PARCEL AREA (322 & 323) (ACRE)	0.377
PARCEL AREA (322 & 323) (SF)	16404
PROPOSED BUILDING AREA (SF)*	8258
PROPOSED IMPERVIOUS AREA (SF)*	13299

\*NOTE: ESTIMATED VALUES, SUBJECT TO CHANGE

ZONING INFORMATION		ADMINISTERED BY	GENERAL NOTES
BASE ZONING DISTRICT:	INDUSTRIAL RESTRICTIVE (IR)	METRO CODES	
OTHER ZONING DISTRICTS:	PHILLIPS-JACKSON REDEVELOPMENT DISTRICT	MDHA	
OVERLAYS:	URBAN ZONING OVERLAY (UZO)	METRO CODES	
	HISTORIC PRESERVATION OVERLAY	HISTORIC ZONING COMMISSION	
EXISTING USE:	VACANT		
PROPOSED USE:	RESTAURANT, FULL SERVICE		USE PERMITTED IN IR ZONING

ZONING DISTRICT REGULATIONS (TABLE 17.08.030)	
MIN. LOT AREA	NONE
MAX. FAR (%)	0.6
MAX. ISR (%)	0.9
MIN. REAR SETBACK (FT)	20
MIN. SIDE SETBACK (FT)	NONE
MAX. HEIGHT AT SETBACK LINE (FT)	45
SLOPE OF HEIGHT CONTROL PLANE (V TO H)	1.5 TO 1

PARKING REQUIREMENTS (TABLE 17.20.030)	
REQUIRED PARKING	1 SPACE PER 150 SF
EXEMPTIONS	UZO DISTRICT (1ST 1000 SF EXEMPT)
POTENTIAL ADJUSTMENTS*	VICINITY TO TRANSIT (10% REDUCTION)
POTENTIAL ADJUSTMENTS*	PEDESTRIAN ACCESS (10% REDUCTION)
POTENTIAL ADJUSTMENTS*	ON-STREET PARKING

\*NOTE: POTENTIAL ADJUSTMENTS ARE SUBJECT TO THE INTERPRETATION AND REVIEW PROCESS OF METRO NASHVILLE

ADA PARKING	2 SPACES PER (26 TO 50) TOTAL PARKING SPACES
BICYCLE PARKING	4 SPACES PER ESTABLISHMENT

\*NOTE: ADA PARKING VALUE SHALL BE PORTION OF TOTAL ESTIMATED AMOUNT LISTED ABOVE

LOADING REQUIREMENTS (TABLE 17.20.130)	
REQUIRED LOADING	1 - 10'X25' SPACE

DESIGN GUIDELINE REQUIREMENTS	
GERMANTOWN HISTORIC OVERLAY DESIGN GUIDELINES	
PHILLIPS-JACKSON REDEVELOPMENT DISTRICT PLAN DESIGN GUIDELINES	

\*NOTE: REFER TO THESE DOCUMENTS FOR ARCHITECTURAL INFO, BUILDING PLACEMENT, ETC.

CALCULATED ZONING REQUIREMENTS	
LOT AREA (SF)	16404
MAX ALLOWABLE FAR (SF)	9842
MAX ALLOWABLE ISR (SF)	14764
REAR SETBACK (FT)	20
SIDE SETBACK (FT)	0
HEIGHT AT SETBACK LINE (FT)	TBD
SLOPE CONTROL PLANE (V TO H)	TBD

\*NOTE: ESTIMATED VALUES, SUBJECT TO CHANGE

CALCULATED PARKING REQUIREMENTS	
REQ PARKING (w/o exemption)	50
REQ PARKING (w/ exemption)	37
REDUCTION PER ADJUSTMENT*	4.4
REDUCTION PER ADJUSTMENT*	4.4
REDUCTION PER ADJUSTMENT*	1
TOTAL ESTIMATED PARKING REQUIRED	27 (1 security residence)
PARKING SPOTS PROVIDED	31

\*NOTE: ESTIMATED VALUES, SUBJECT TO CHANGE

ADA PARKING	2
BICYCLE PARKING	4

\*NOTE: ESTIMATED VALUES, SUBJECT TO CHANGE



ZONING WORKSHEET

Dear Members of the Metro Historic Zoning Commission:

Three Board Members of the Historic Germantown Neighborhood Association and three other members were presented with the updated plans for the Barcelona Wine Bar that will be located on Fourth Avenue.

We found that the architect had made significant changes to the original plan that make it more acceptable as a project in Germantown.

1. The front facade was changed from overhead doors to less obtrusive hinged doors.
2. The front facade materials that original called for repurposed wood has been changed to be mostly glazing with limestone trims which will make it transparent to the street.
3. Interior restaurant walls will be covered with limestone that will be visible from the street.
4. A dedicated space for a public art installation has been added along Fourth Avenue.
5. An addition 29 parking spaces has been secured on the opposite side of the back alley.
6. A limestone wall return has been added to the side facing City House which will improve the view of the side façade.
7. The original setbacks have been reduced but the two building placements are staggered.
8. The roof overhang on the south build extends to the same approximate off street setback as City House.

We remain concerned about the fuel supply for the fireplace. Several restaurants in Germantown cook with wood stoves and this has resulted in a persistent wood smoke odor across the neighborhood. We would like to see the amount of air pollution reduced; not increased.

This block of Fourth Avenue is one of our neighborhood's most eclectic streets in terms of its architectural composition. It has a limited historic context with only 3 historic buildings adjacent to the corner of Madison. In light of the above changes that emerged from our earlier meeting with project personnel, HGN is supportive of the new design. We also regard this as a good example of how the neighborhood and developers communities can collaborate to reach mutually acceptable accommodations

Respectfully submitted,  
Richard H. Audet  
HGN President  
April 29, 2016