

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**1404 Lillian Street**  
**July 20, 2016**

**Application:** Demolition, New construction-infill  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08313032300  
**Applicant:** Kate Sullivan, Owner  
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

**Description of Project:** The applicant proposes to demolish a non-contributing house and construct a new one and one-half story house on the lot.

**Recommendation Summary:** Staff recommends approval of the proposed demolition of a non-contributing house and construction of a new one and one-half story house with the following conditions:

1. The height of the porch floor shall be consistent with adjacent houses, to be verified during construction;
2. The front setback for infill at 1404 Lillian Street shall be the average of the adjacent buildings to be verified during construction;
3. The siding exposure shall not exceed five inches (5") and that the roof color and selections of the windows and doors shall be administratively approved;
4. The front dormer shall be set back two feet (2') from the wall below;
5. The driveway not be shorted;
6. The rhythm and proportion of windows shall be typical of historic buildings with no large expanses of wallspace without any openings and with the first story windows generally as large or larger than those of the upperstory.

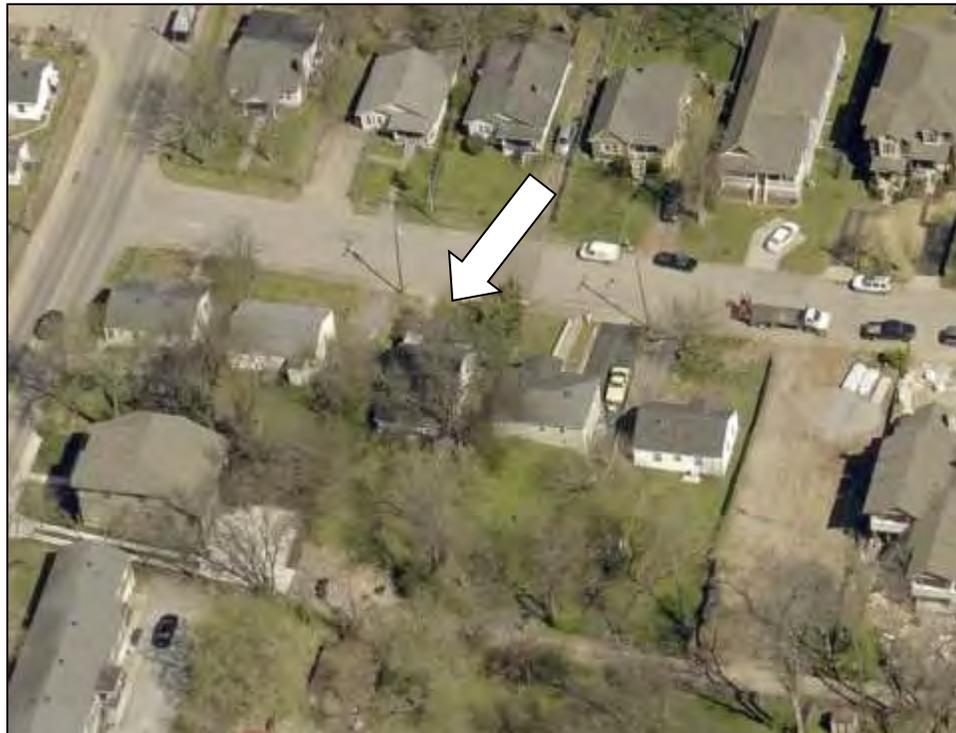
Meeting those conditions, Staff finds that the proposal meets the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Floorplans  
**D:** Elevations

**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **1. Height**

New buildings must be constructed to the same number of stories and to a height which is compatible with the height of adjacent buildings.

*The height of the foundation wall, porch roof, and main roofs should all be compatible with those of surrounding historic buildings.*

*Infill construction on the 1400 -1600 blocks of Boscobel Street may be up to two-stories.*

*For those lots located within the Five Points Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. A third story and 15' may be added provided that is for residential use only and is compatible with existing adjacent historic structures. The third story must be stepped back at least 10' from façade planes facing a residential subdistrict, an existing house (regardless of use), and public streets. All front and side building walls shall be a minimum of 20' in height. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor. Exception: buildings with first floor residential use, minimum first floor height shall be 12'.*

*For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.*

*For those lots located within the Residential Subdistrict of the Five Points Redevelopment District shall not exceed 3 stories .*

#### **2. Scale**

The size of a new building and its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with surrounding historic buildings.

*Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.*

#### **3. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings must be maintained. When a definite rhythm along a street is established by uniform lot and building width, infill new buildings should maintain that rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setback reductions will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*

- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

*Infill construction on the 1400 - 1600 blocks of Boscobel Street may have widths up to 40'.*

#### **4. Relationship of Materials, Textures, Details, and Material Colors**

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **5. Roof Shape**

The roofs of new buildings shall be visually compatible, by not contrasting greatly, with the roof shape and orientation of surrounding buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

*Infill construction on the 1400 -1600 blocks of Boscobel Street may have flat roofs or roofs with a minimal slope.*

## 6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

## 7. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (*walls*) to voids (*door and window openings*) in a new building shall be compatible, by not contrasting greatly, with surrounding *historic* buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

## 9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

### *Utilities*

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

## IV. B. Demolition

### 1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

### 2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

**Background:** The building at 1404 Lillian Street is a one story side-gabled house. Although the form is similar to that of a Craftsman style house, the house was constructed circa 1950, after the significant period of development for the Lockeland-Springs neighborhood. Therefore the house is not considered to be a contributing structure.



Figure 1: Principle dwelling at 1404 Lillian Street.

**Analysis and Findings:** The application is to demolish the house and construct a new one and one-half story house.

**Demolition:** Although 1404 Lillian Street resembles several nearby historic structures in its general form and appearance, Sanborn Fire Insurance maps show that it was constructed between 1945 and 1951. Also, the foundation is concrete block and the siding and windows are vinyl, which are not historic materials. Because of its later date of construction, demolition meets Section III.B.2.b for appropriate demolition and does not meet section III.B.1.b for inappropriate demolition.

Height & Scale:

The new house will be one and one-half stories tall, with a roof height of twenty-five feet (25') above the finished floor level with an eave line at nine feet, six inches (9'-6") above the floor level. The plans depict the floor level as being three feet (3') above grade with an exposed foundation giving it a total height of twenty-eight feet (28') from grade.

There are few historic houses in the immediate vicinity. Recently approved infill on the street ranges from twenty-four feet (24') to thirty-two feet (32') tall from grade, with eave heights ranging from approximately nine feet, six inches (9') to thirteen feet (13'). The grade of this lot appears to drop toward the front, so as a condition of approval Staff asks that the height of the porch floor level shall be consistent with adjacent houses, to be verified during construction.

At the front, the new house will be twenty-eight feet (28') wide. This width is compatible with nearby houses including recent infill, which ranges from twenty-eight to forty feet (28'-40') wide. The house will be forty-two feet (42') deep with an eight foot (8') porch bringing the total depth of the house to fifty feet (50').

**Height:**

	# of Stories	Foundation	Eave	Ridge
Proposed at front	1.5	3' (parged)	9'-6"	25' above floor
Range of historic block face	1-2	2'-5' with grade	10'-16'	18'-30' from grade

**Width:**

	Width
Proposed house width	28'
Range of historic house on block face on lots of similar width	28'-40'

Staff finds that the massing and scale of the proposal are compatible with the surrounding context and that the project meets sections II.B.1 and II.B.2 of the design guidelines.

Setback & Rhythm of Spacing: The proposed infill will have side setbacks of approximately seven feet (7') on the left side and fifteen feet (15') on the right side. This meets the base zoning setback requirements and maintains the rhythm of spacing on the block, as the other houses are typically off-center with side-yard driveways. The leading front edge of the building is proposed to be set back approximately thirty-four feet (34') from the front property line.

	Front Setback	Left Setback	Right Setback	Rear Setback
<b>Bulk Standards</b>	Average of adjacent	5'	5'	20'
<b>Proposed</b>	34'	7'	15'	78'
<b>Range of historic block face</b>	30'-38'	4'-9'	4'-9'	65'-85'

Staff recommends that, as a condition of approval, the front setback for infill at 1404 Lillian Street be the average of the adjacent buildings to be verified during construction. With that condition, Staff finds that the project will meet section II.B.3 of the design guideline.

Materials: The new house will primarily be clad in smooth face cement fiberboard with a reveal of six inches (6”). In the Lockeland Springs neighborhood, clapboard siding historically would not have had an exposure greater than five inches (5”). The trim will be cement-fiber. The foundation will be concrete block with a parge-coat finish, and the roof will be architectural fiberglass shingles. The window and door selections have not been indicated, and staff asks to approve them prior to purchase and installation.

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Approved Previously or Typical of Neighborhood</b>
<b>Foundation</b>	Parged	Not indicated	X
<b>Cladding</b>	Cement-fiber	Smooth faced, 6” reveal	Smooth siding with 5” reveal is typical.
<b>Trim</b>	Cement-fiber	Smooth faced	X
<b>Roofing</b>	Asphalt shingle	Not indicated	X – color needs approval
<b>Chimney</b>	None	n/a	n/a
<b>Porch floor</b>	Not indicated	n/a	Needs approval
<b>Porch Posts</b>	Wood	Square, smooth	X
<b>Porch Railing</b>	Wood	Not indicated	X
<b>Driveway</b>	Concrete	n/a	X
<b>Walkway</b>	Concrete	n/a	X
<b>Fencing</b>	Existing to remain	n/a	X

With conditions that the siding exposure not exceed five inches (5”) and that the roof color and selections of the windows and doors are administratively approved, Staff finds that the known materials meet section II.B.4 of the design guidelines.

Roof form: The roof on the new house will have a side-gabled roof with a pitch of 8:12, with a gabled dormer on the front slope of the roof. The front dormer is shown with the front wall sitting directly over the front wall of the first story below, whereas dormers are typically set back at least two feet (2’) from the primary front edge of a building.

<b>Proposed Element</b>	<b>Proposed Form</b>	<b>Typical of district?</b>
Primary massing	Side-gable	X
Primary roof slope	8:12	X
Dormer	Gable	X
Skylights	n/a	n/a
Solar Panels	n/a	n/a
Chimney	n/a	n/a

Staff recommends that as a condition of approval the front dormer shall be set back two feet (2') from the wall below. With that condition, Staff finds that the roofs of the proposed infill would be compatible with surrounding historic houses and that the project would meet section II.B.5 of the design guidelines.

Orientation: The house will address Lillian Street directly, as is appropriate for the context, with a front door facing the street. The house will have a partial-width front porch that is eight feet (8') deep. An existing driveway on the west side of the site will be retained along with a concrete walkway leading from Lillian Street to the front porch.

<b>Orientation elements</b>	<b>Proposed?</b>
Principle entrance facing Street	X
Front porch/stoop or hood	X
Walkway leading to street	X
Parking in Rear	No

Staff recommends that existing driveway not be shortened and that it extends to at least the mid-point of the house. With the condition that the driveway not be shorted, staff finds that the infill's orientation meets Section II.B.6 of the design guidelines.

Proportion and Rhythm of Openings: The windows on the proposed infill are all generally twice as tall as they are wide on the left side of the house, as is typical of windows on historic buildings. On the right side, however, the majority of windows are shorter and narrower than those in the upperstory. On the right side of the house there will be no large expanses of wall space without a window or door opening, but on the left side toward the back there will be approximately eighteen feet (18') of wall without any door opening. Double and triple windows will have a four to six inch (4"-6") mullion between them. Staff recommends that the rhythm and proportion of windows be more typical of historic buildings with no expanse of wall space without any openings and that the first story windows are generally as large or larger than those of the upperstory.

With that condition, Staff finds the project's proportion and rhythm of openings would meet Section II.B.7 of the design guidelines.

Appurtenances & Utilities: No changes to the appurtenances were indicated on the drawings. The HVAC will be on the left side of the building at the midpoint.

	<b>Material/design</b>	<b>Location</b>	<b>Typical of District?</b>
<b>Driveway</b>	Existing concrete drive to remain.	Front, right side	X
<b>Walkway</b>	Existing gravel path to remain.	Front, right side	X
<b>Fencing</b>	Existing wood and chain link fence to remain.	Rear	X
<b>HVAC</b>	Typical	midpoint of structure	X

Staff finds that the project meets section II.B.9 of the design guidelines.

**Recommendation:** Staff recommends approval of the proposed demolition of a non-contributing house and construction of a new one and one-half story house with the following conditions:

1. The height of the porch floor shall be consistent with adjacent houses, to be verified during construction;
2. The front setback for infill at 1404 Lillian Street shall be the average of the adjacent buildings to be verified during construction;
3. The siding exposure shall not exceed five inches (5”) and that the roof color and selections of the windows and doors shall be administratively approved;
4. The front dormer shall be set back two feet (2’) from the wall below;
5. The driveway not be shorted;
6. The rhythm and proportion of windows shall be typical of historic buildings with no large expanses of wallspace without any openings and with the first story windows generally as larger or larger than those of the upperstory.

Meeting those conditions, Staff finds that the proposal meets the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

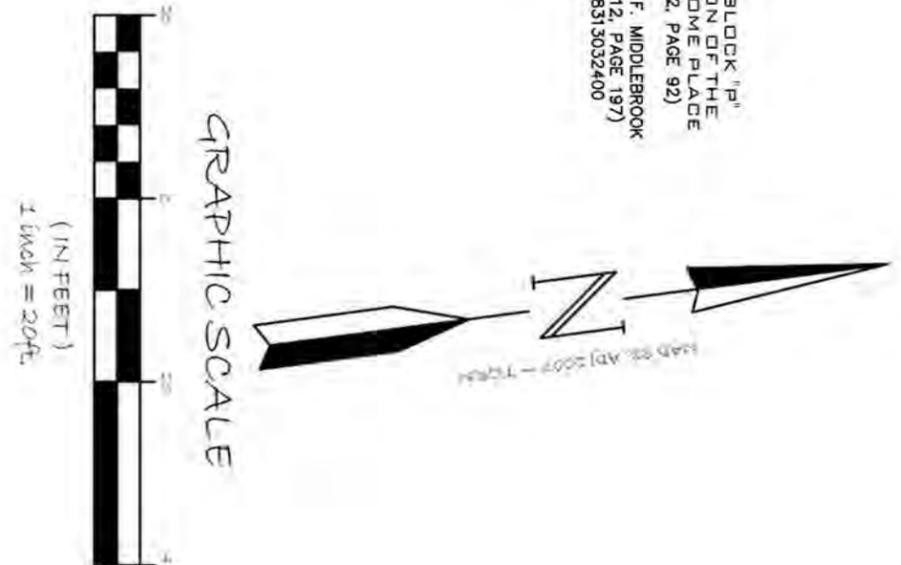
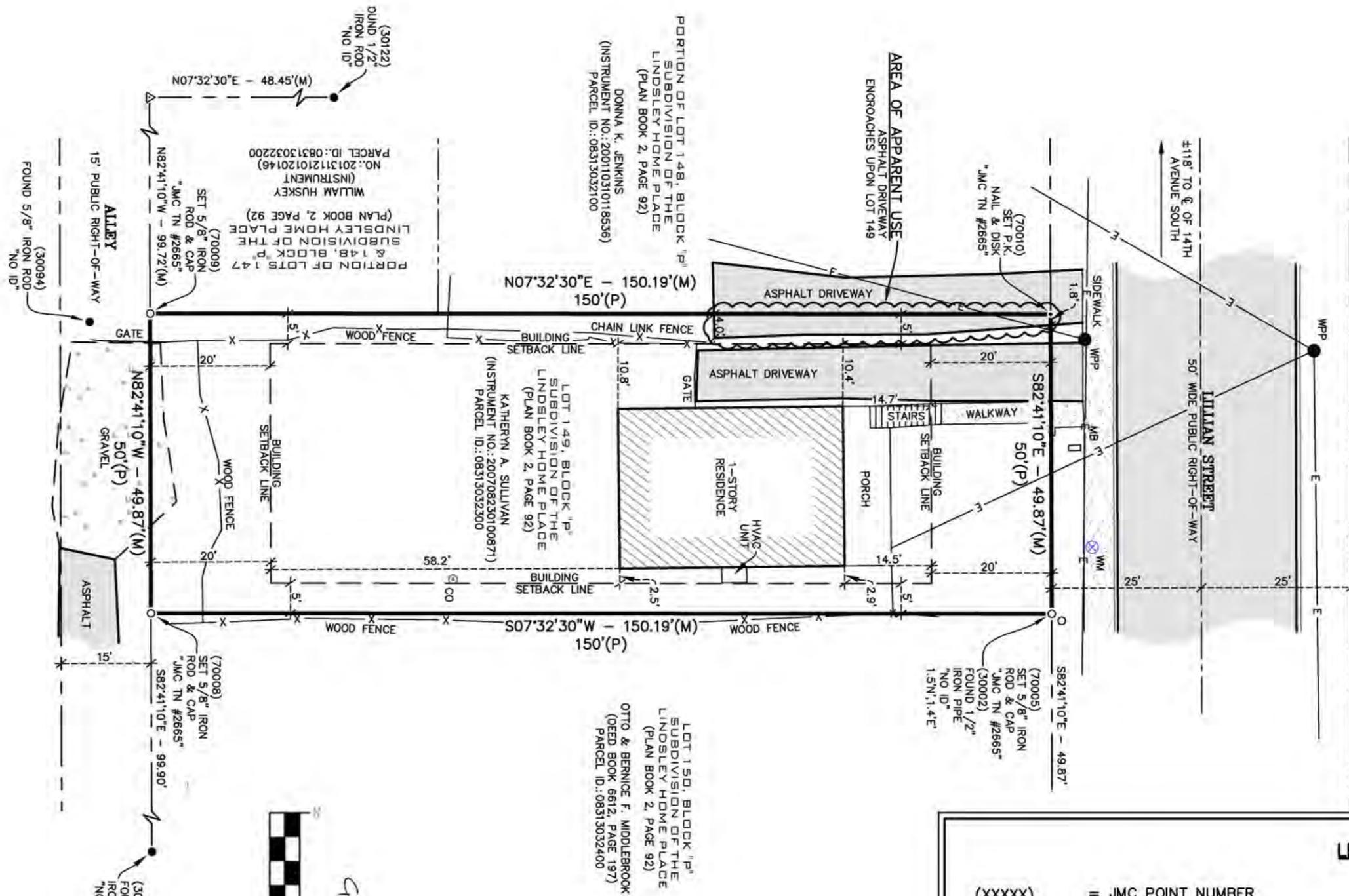
The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.



1404 Lillian Street, front view circa 2012.



1404 Lillian Street, Tax Assessor's photo circa 1964.



LEGEND	
(XXXXX)	= JMC POINT NUMBER
(P)	= PLAT MEASUREMENT
(M)	= FIELD MEASUREMENT
△	= CALCULATED POINT
HVAC	= HEATING, VENTILATION, AND AIR CONDITIONING
WM	= WATER METER
EM	= ELECTRIC METER
WPP	= WOOD POWER POLE
□ MB	= MAILBOX
⊙ CO	= SEWER CLEANOUT
— E —	= OVERHEAD UTILITY LINE
—	= BOUNDARY/PROPERTY LINE
- - - -	= RIGHT-OF-WAY LINE, LINE NOT SURVEYED. LINE MAPPED FROM DEEDS OR PLATS (UNLESS NOTED)
- - - -	= ADJOINER LINE, LINE NOT SURVEYED. LINE MAPPED FROM DEEDS OR PLATS (UNLESS NOTED)

PORTION OF LOT 148, BLOCK "P" SUBDIVISION OF THE LINDSLEY HOME PLACE (PLAN BOOK 2, PAGE 92)  
 DONNA K. JENKINS  
 (INSTRUMENT NO.: 200110310118536)  
 PARCEL ID.: 08313032100

LOT 149, BLOCK "P" SUBDIVISION OF THE LINDSLEY HOME PLACE (PLAN BOOK 2, PAGE 92)  
 KATHERYN A. SULLIVAN  
 (INSTRUMENT NO.: 200708230100871)  
 PARCEL ID.: 08313032300

LOT 150, BLOCK "P" SUBDIVISION OF THE LINDSLEY HOME PLACE (PLAN BOOK 2, PAGE 92)  
 OTTO & BERNICE F. MIDDLEBROOK  
 (DEED BOOK 6612, PAGE 197)  
 PARCEL ID.: 08313032400

PORTION OF LOTS 147 & 148, BLOCK "P" SUBDIVISION OF THE LINDSLEY HOME PLACE (PLAN BOOK 2, PAGE 92)  
 WILLIAM HUSKEY  
 (INSTRUMENT NO.: 201311210120146)  
 PARCEL ID.: 08313032200

AREA OF APPARENT USE  
 ASPHALT DRIVEWAY ENROACHES UPON LOT 149

±118' TO C. OF 14TH AVENUE SOUTH

LILLIAN STREET  
 50' WIDE PUBLIC RIGHT-OF-WAY

ALLEY  
 15' PUBLIC RIGHT-OF-WAY

GRAVEL

ASPHALT

ASPHALT DRIVEWAY

ASPHALT DRIVEWAY

1-STORY RESIDENCE

HVAC UNIT

PORCH

WALKWAY

STAIRS

GATE

CHAIN LINK FENCE

WOOD FENCE

WOOD FENCE

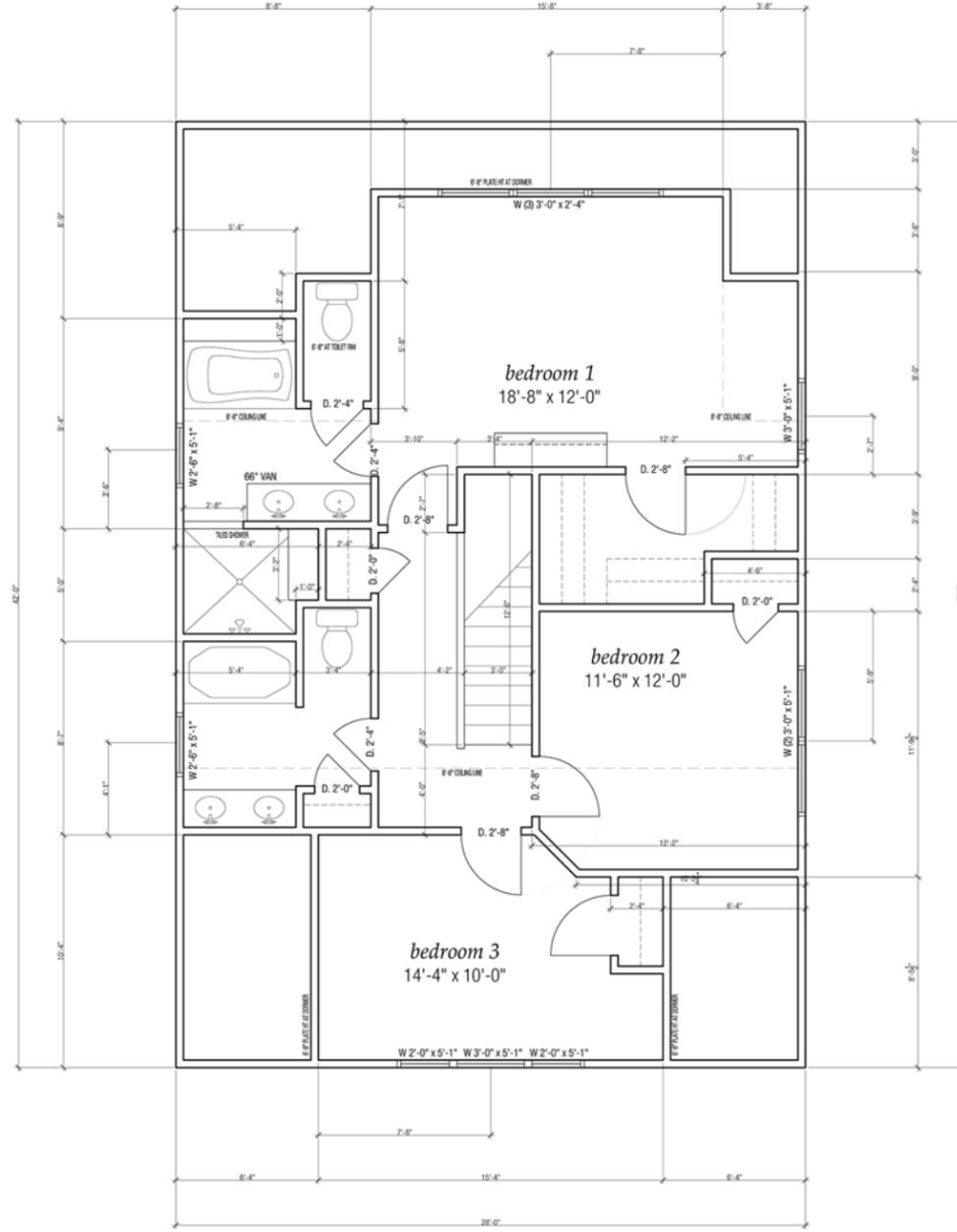
WOOD FENCE

WOOD FENCE

WOOD FENCE

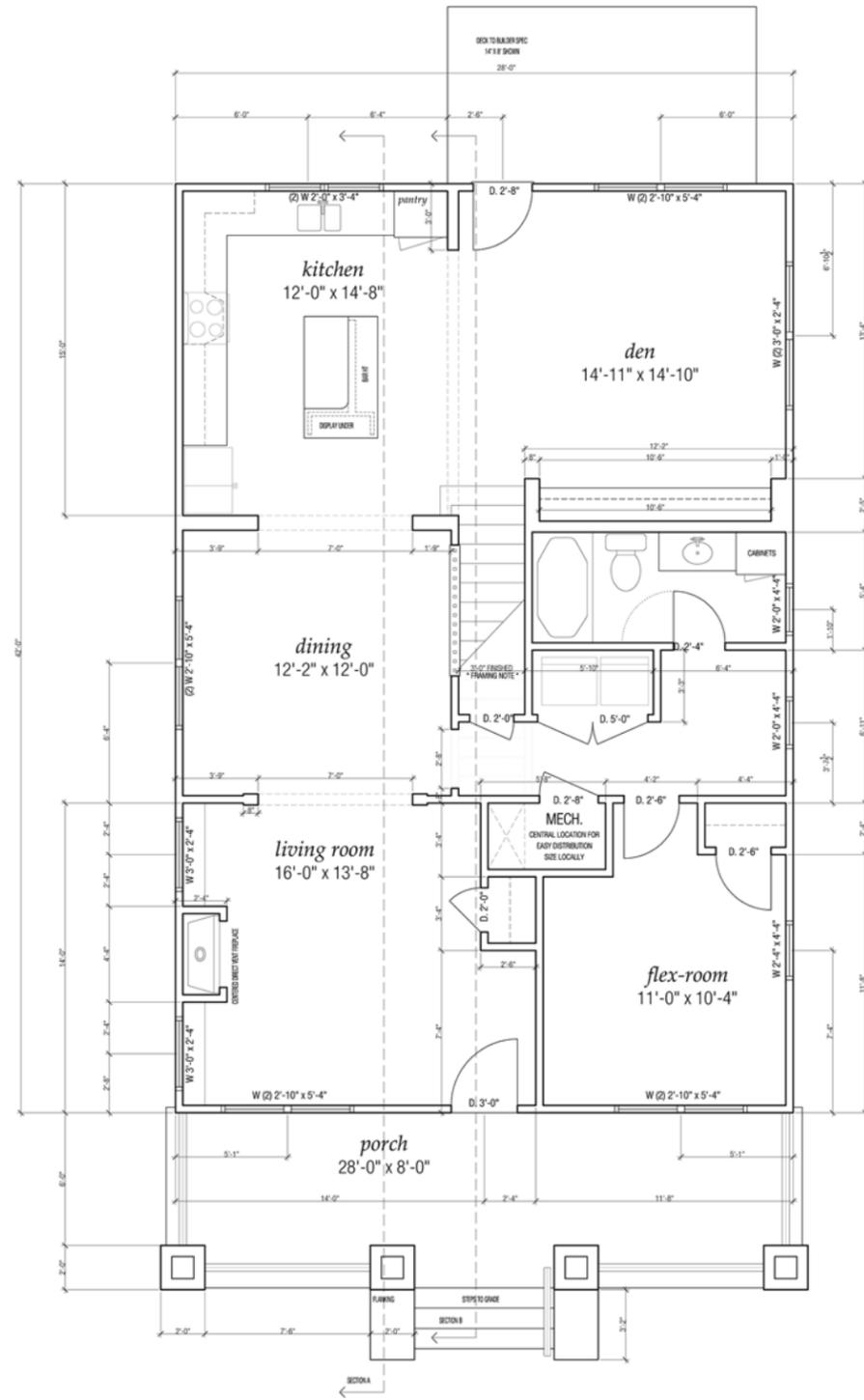
**FLOOR PLAN NOTES**

- A. EXTERIOR AND INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
- B. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY ROUGH OPENING SIZES. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- C. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
- D. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- E. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.
- F. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD AND METAL CORNER REINFORCING. USE 5/8" GYPSUM BOARD ON CEILINGS.
- G. HANDRAILS SHALL BE MOUNTED 32"-34" ABOVE NOSING OF STAIRS. GUARDRAILS SHALL BE MOUNTED AT 36"
- H. PROVIDE ACCESS TO ALL CONCEALED ATTIC SPACES.



SECOND FLOOR PLAN

1/4"=1'-0"



FIRST FLOOR PLAN

1/4"=1'-0"

Revisions/Additions By Others:

Date of issue: 17 March 2016

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 (864) 278-0068 INFO@HOMEPATTERNS.COM



BACK ELEVATION

1/4"=1'-0"

ELEVATION NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY ADJUSTMENTS NECESSARY TO HOUSE WITH OWNER.
- B. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- C. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
- D. CONTRACTOR TO VERIFY FINAL DIMENSIONS FOR EXTERIOR TIMBER TRIM MEMBERS AND BRICK PATTERNS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



SIDE 1 ELEVATION

1/4"=1'-0"

BUNGALOW BASICS

