

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 1415 McKennie Avenue July 20, 2016

Application: Demolition; New construction—outbuilding; Setback determination
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08302000900
Applicant: Lynn Taylor
Project Lead: Melissa.sajid@nashville.gov

Description of Project: Application is to demolish an existing outbuilding and to construct a new outbuilding at the rear of the lot. (It is not proposed to include a detached accessory dwelling unit.) The structure requires a rear setback determination from twenty feet (20') to six feet (6').

Recommendation Summary: Staff recommends approval of the demolition of the existing outbuilding and construction of the proposed outbuilding with the following conditions:

1. The footprint of the outbuilding shall not exceed seven hundred and fifty square feet (750 sq. ft.); and
2. Staff approve the final details, dimensions and materials of windows, door, garage doors, roof color, and driveway material prior to purchase and installation.

With this condition, staff finds that the outbuilding meets Section II.B. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

h. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;

- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.

Background: The house located at 1415 McKennie Avenue was built c. 1925 and contributes to the historic character of the Eastwood Neighborhood Conservation Zoning Overlay (Figure 1).



Figure 1: 1415 McKennie Avenue

Analysis and Findings: Application is to demolish an existing outbuilding and to construct a new outbuilding at the rear of the lot. The new structure requires a rear setback determination from twenty feet (20') to six feet (6').

Demolition:

Demolition is proposed for the existing non-contributing outbuilding. The Sanborn maps show an outbuilding on the property in 1957; that outbuilding, however, was smaller and located closer to the right property line than the outbuilding to be demolished which is situated closer to the rear of the site, near the left property line (Figures 2 & 3). Staff therefore finds that the structure does not contribute to the architectural and historical character and significance of the district, and that its demolition meets Section III.B.2 for appropriate demolition and does not meet section III.B.1 for inappropriate demolition.

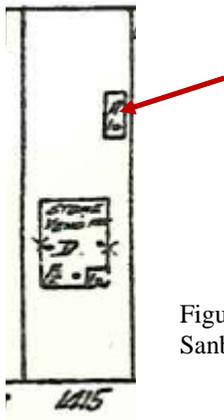


Figure 2: 1957 Sanborn map



Figure 3: Aerial map showing outbuilding to be demolished

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Cross-gable	X
Primary roof slope	12/12	X
Porch form	n/a	n/a
Porch slope	n/a	n/a

Since the form and slopes are similar to historic outbuildings, the project meets Section II.B.h.1 of the design guidelines.

Design Standards:

The accessory structure has a design that reflects the character of the primary structure, which is appropriate for outbuildings. Its roof form, detailing, and form take cues from the primary structure. The fenestration also reflects the character of the historic house and is appropriate the neighborhood context. It is also in a minimally-visible location at the side and rear of the building. The design meets section II.B.h.1 of the design guidelines.

Material:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Split face CMU	n/a	X
Cladding	Hardie plank	Smooth with maximum 5" reveal	X
Secondary Cladding	Cedar shake	To match existing on house	X
Roofing	Architectural shingles	Needs final approval	X
Trim	Wood	smooth	X
Chimney	n/a	n/a	n/a
Porch floor	Concrete slab	natural	X
Porch Posts	n/a	n/a	n/a
Porch Railing	n/a	n/a	n/a
Porch Roof	n/a	n/a	n/a
Driveway	Unknown	Needs final review	
Fencing	n/a	n/a	n/a
Windows	Not indicated	Needs final approval	
Pedestrian Door	Not indicated	Needs final approval	
Vehicular Door	Not indicated	Needs final approval	

With staff’s final approval of the windows, door, garage doors, driveway, and roof color, material information that has not yet been provided, staff finds that the known materials meet Section II.B.h.1.

Setbacks:

With approval of the rear setback determination, staff finds that the project meets Section II.B.h.2 of the design guidelines.

Appurtenances & Utilities: No changes to the site’s appurtenances were indicated on the drawings. Given that the outbuilding is located approximately sixty-five feet (65’) behind the front wall of the house; it is unlikely that any utilities, if added, would be visible from McKennie Avenue.

Setbacks & Site Planning:

The new outbuilding requires a rear setback determination. Since the footprint of the outbuilding exceeds seven hundred square feet (700 sq. ft.), the base zoning requires that the structure meet the full rear setback of twenty feet (20’). The applicant proposes to locate the outbuilding just six feet (6’) from the rear property line. Staff finds that the proposed rear setback is appropriate since outbuildings were located historically at the rear of the property, close to or even on the rear property line. In addition, an analysis of existing outbuildings in the immediate vicinity shows that there are several outbuildings that are located just a few feet or even on the rear property line. Staff recommends approval of the rear setback determination.

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20’	30’
Rear setback	20’	6’
L side setback	5’	5’-1”
R side setback	5’	11’-11”
How is the building accessed?	From the alley or existing curb cut	Alley

The project meets section II.B.h.2 of the design guidelines.

Massing Planning:

To determine the maximum height of the outbuilding, as measured from grade, complete the table below and choose the lesser number.

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the right)
Ridge	34’	25’	25’

Height			
Eave Height	15'-6"	1 story 10'	12'

One-story building:

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	821 sq. ft.	820 sq. ft.

The proposed detached garage is one and one-half story and does not exceed the maximum ridge height per the design guidelines. The average eave height for the outbuilding is taller than the maximum single-story eave height but does not exceed the average eave height of the historic house, which includes a recent two-story rear addition. Since the average eave height of the outbuilding is more than three feet (3') less than the average eave height of the house and the building is not required to follow the standards of a detached accessory dwelling unit since it will not be used as such, Staff recommends approval of the proposed average eave height.

The outbuilding also exceeds the maximum permitted footprint of seven hundred and fifty square feet (750 sq. ft.) by seventy square feet (70 sq. ft.). While the proposed outbuilding does not have to meet the DADU standards, the overage is significant. Staff recommends a condition that the footprint of the outbuilding not exceed the maximum of seven hundred and fifty square feet (750 sq. ft.) to ensure that the outbuilding is appropriately scaled for the site. With this condition, staff finds that the project meets Section II.B.h.1 of the design guidelines.

Recommendation Summary: Staff recommends approval of the demolition of the existing outbuilding and construction of the proposed outbuilding with the following conditions:

1. The footprint of the outbuilding shall not exceed seven hundred and fifty square feet (750 sq. ft.); and
2. Staff approve the final details, dimensions and materials of windows, door, garage doors, roof color, and driveway material prior to purchase and installation.

With this condition, staff finds that the outbuilding meets Section II.B. of the *Eastwood Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

7/1/2016

1415 McKennie Ave.,
Nashville, TN 37206

TOP TRIM OF DOORS AND WINDOWS:

SLOPED PRESSURE TREATED WOOD DRIP EDGE OVER 2x4 WOOD TRIM OR 5/4" TRIM BOARD - ORDERED WITH WINDOWS

SIDE TRIM OF DOORS AND WINDOWS:

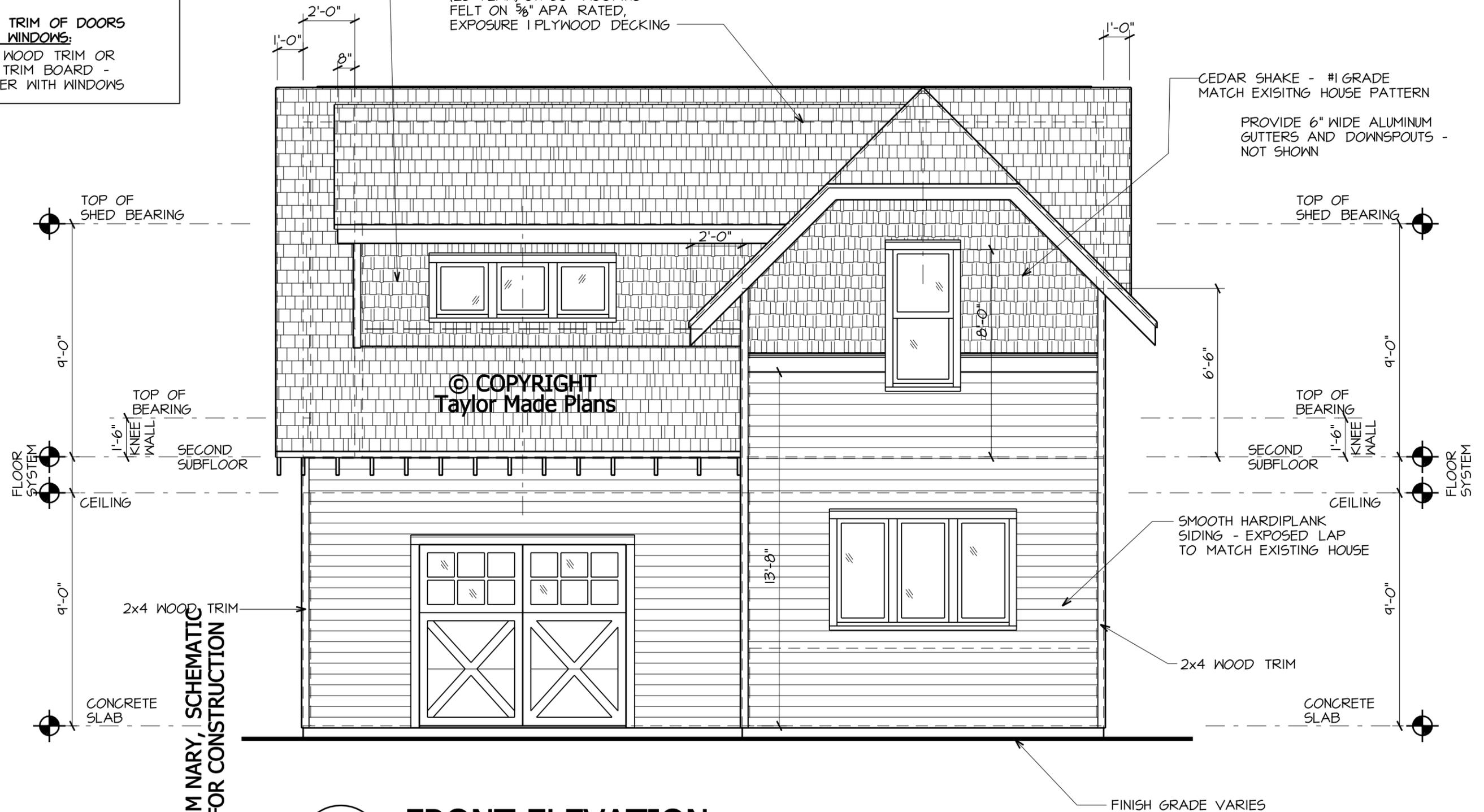
2x4 WOOD TRIM OR 5/4" TRIM BOARD - ORDER WITH WINDOWS

CEDAR SHAKE - #1 GRADE MATCH EXISTING HOUSE PATTERN

ARCHITECTURAL SHINGLES (25 YEAR) ON 30# ROOFING FELT ON 5/8" APA RATED, EXPOSURE 1 PLYWOOD DECKING

CEDAR SHAKE - #1 GRADE MATCH EXISTING HOUSE PATTERN

PROVIDE 6" WIDE ALUMINUM GUTTERS AND DOWNSPOUTS - NOT SHOWN



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NOT FOR CONSTRUCTION

1

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

7/1/2016

1415 McKennie Ave.,
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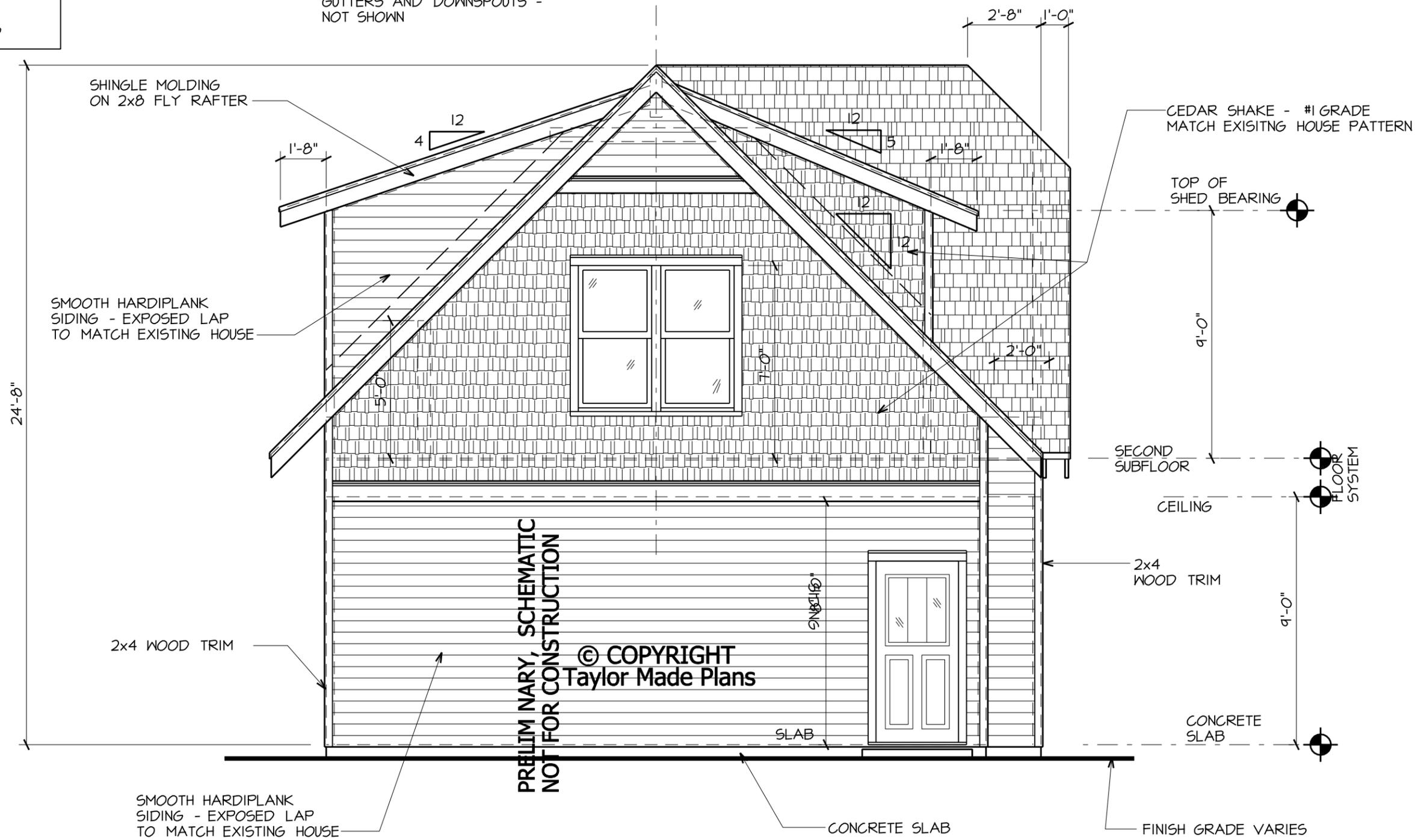
**TOP TRIM OF DOORS
AND WINDOWS:**

SLOPED PRESSURE
TREATED WOOD DRIP EDGE
OVER 2x4 WOOD TRIM OR
5/4" TRIM BOARD -
ORDERED WITH WINDOWS

**SIDE TRIM OF DOORS
AND WINDOWS:**

2x4 WOOD TRIM OR
5/4" TRIM BOARD -
ORDER WITH WINDOWS

PROVIDE 6" WIDE ALUMINUM
GUTTERS AND DOWNSPOUTS -
NOT SHOWN



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2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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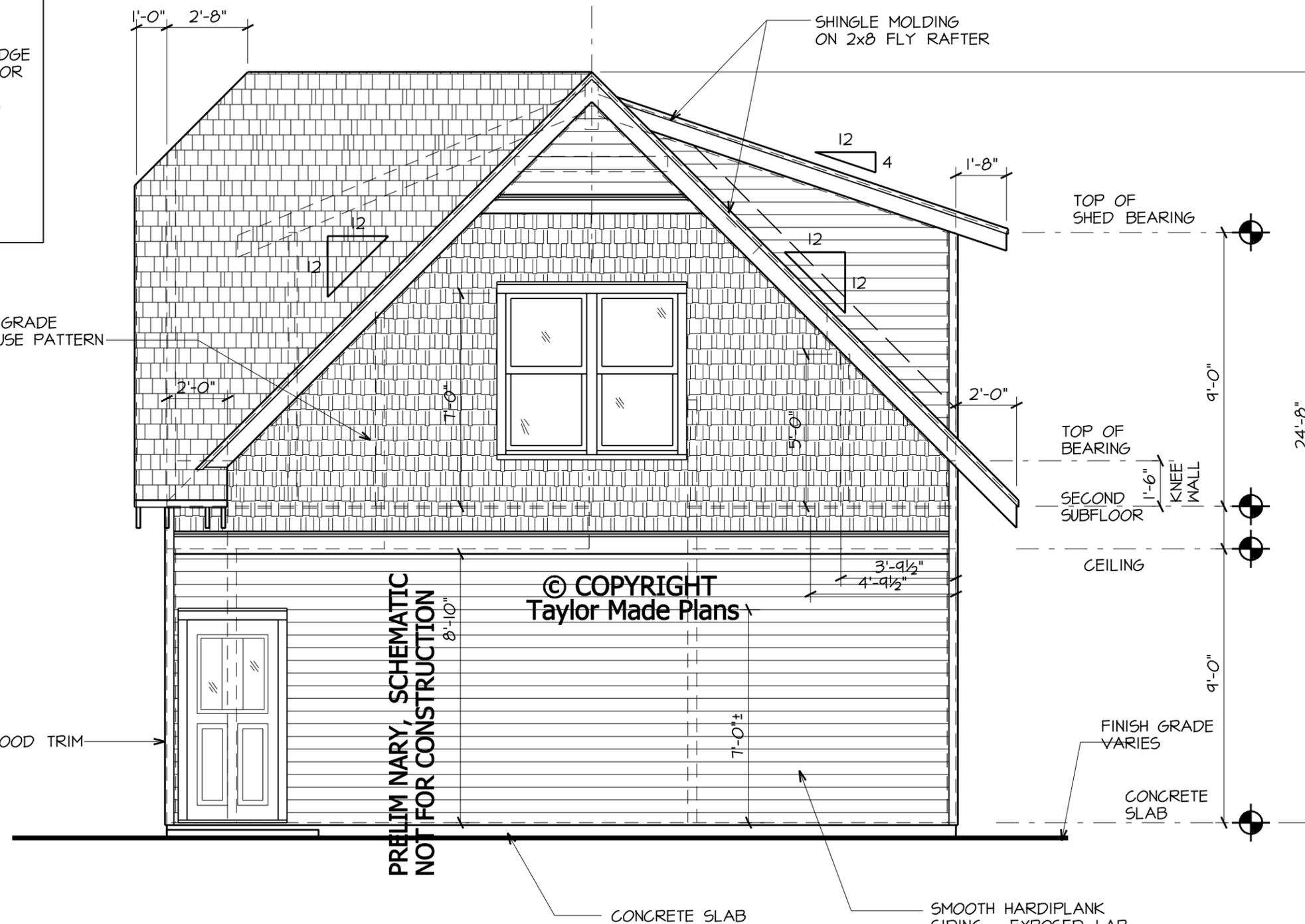
1415 McKennie Ave.,
Nashville, TN 37206

**TOP TRIM OF DOORS
AND WINDOWS:**
SLOPED PRESSURE
TREATED WOOD DRIP EDGE
OVER 2x4 WOOD TRIM OR
5/4" TRIM BOARD -
ORDERED WITH WINDOWS

**SIDE TRIM OF DOORS
AND WINDOWS:**
2x4 WOOD TRIM OR
5/4" TRIM BOARD -
ORDER WITH WINDOWS

CEDAR SHAKE - #1 GRADE
MATCH EXISTING HOUSE PATTERN

2x4 WOOD TRIM



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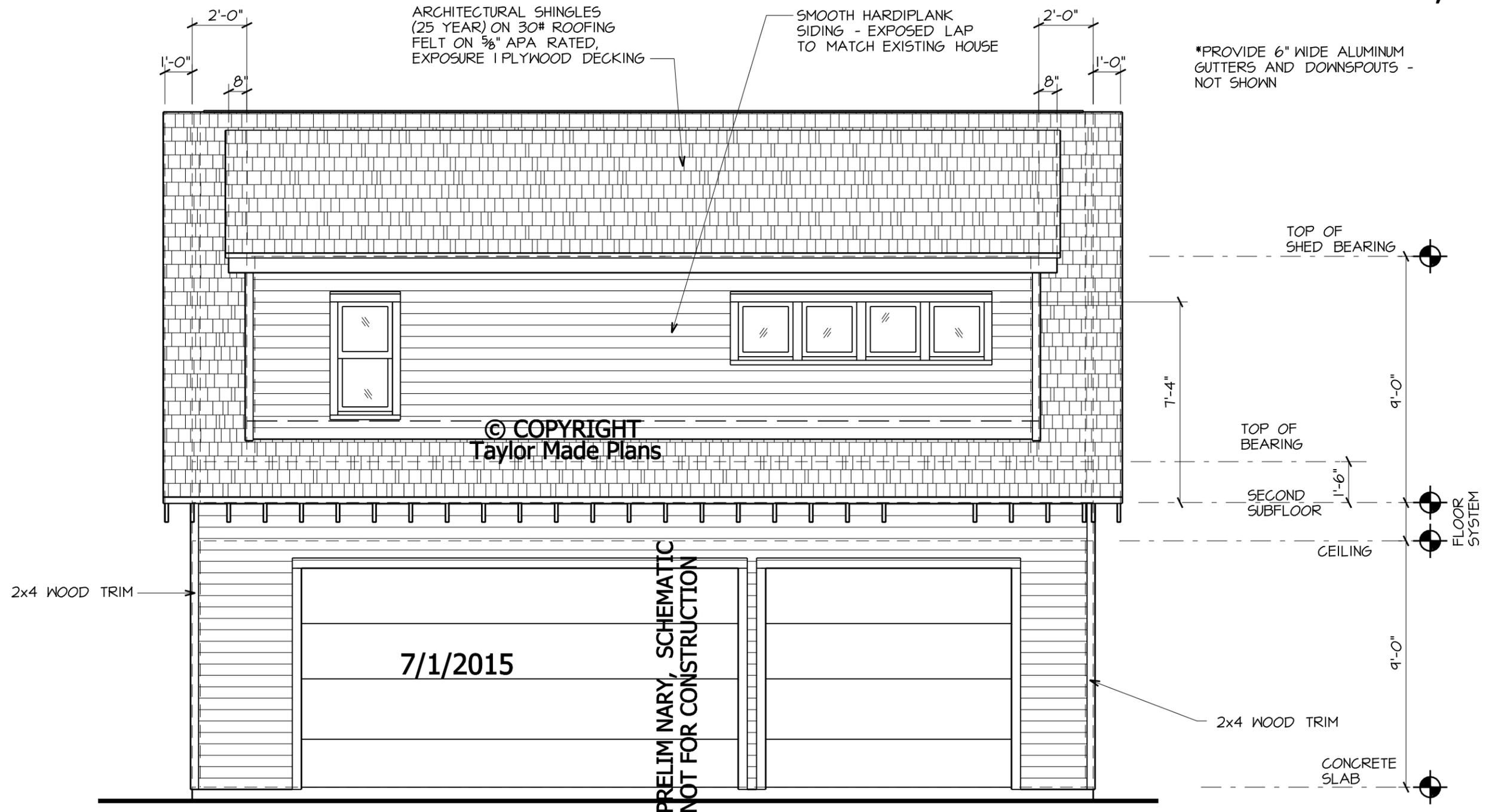
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

SMOOTH HARDIPLANK
SIDING - EXPOSED LAP
TO MATCH EXISTING HOUSE

7/1/2016

1415 McKennie Ave.,
Nashville, TN 37206



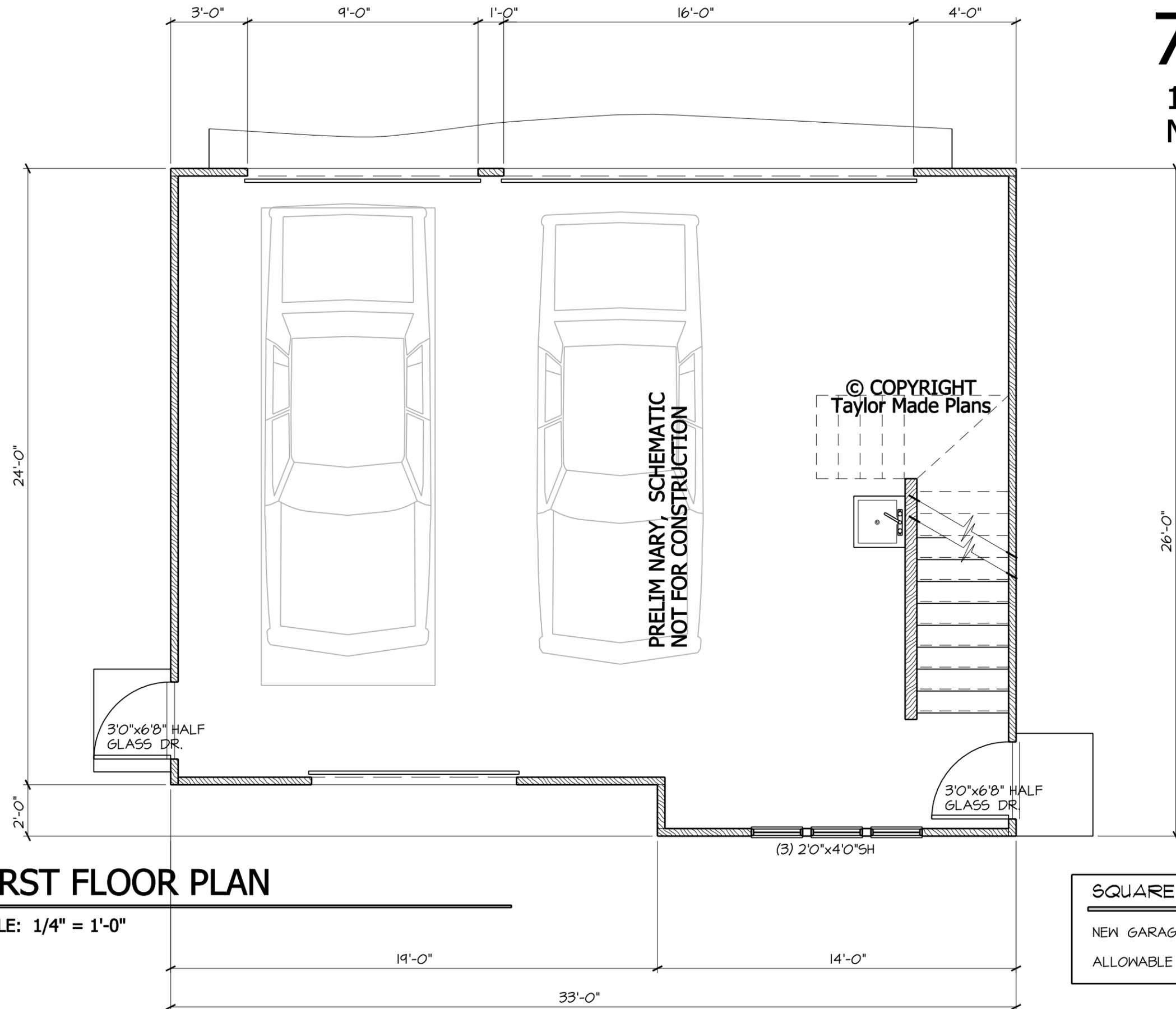
4

REAR ELEVATION

SCALE: 1/4" = 1'-0"

7/1/2016

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Nashville, TN 37206



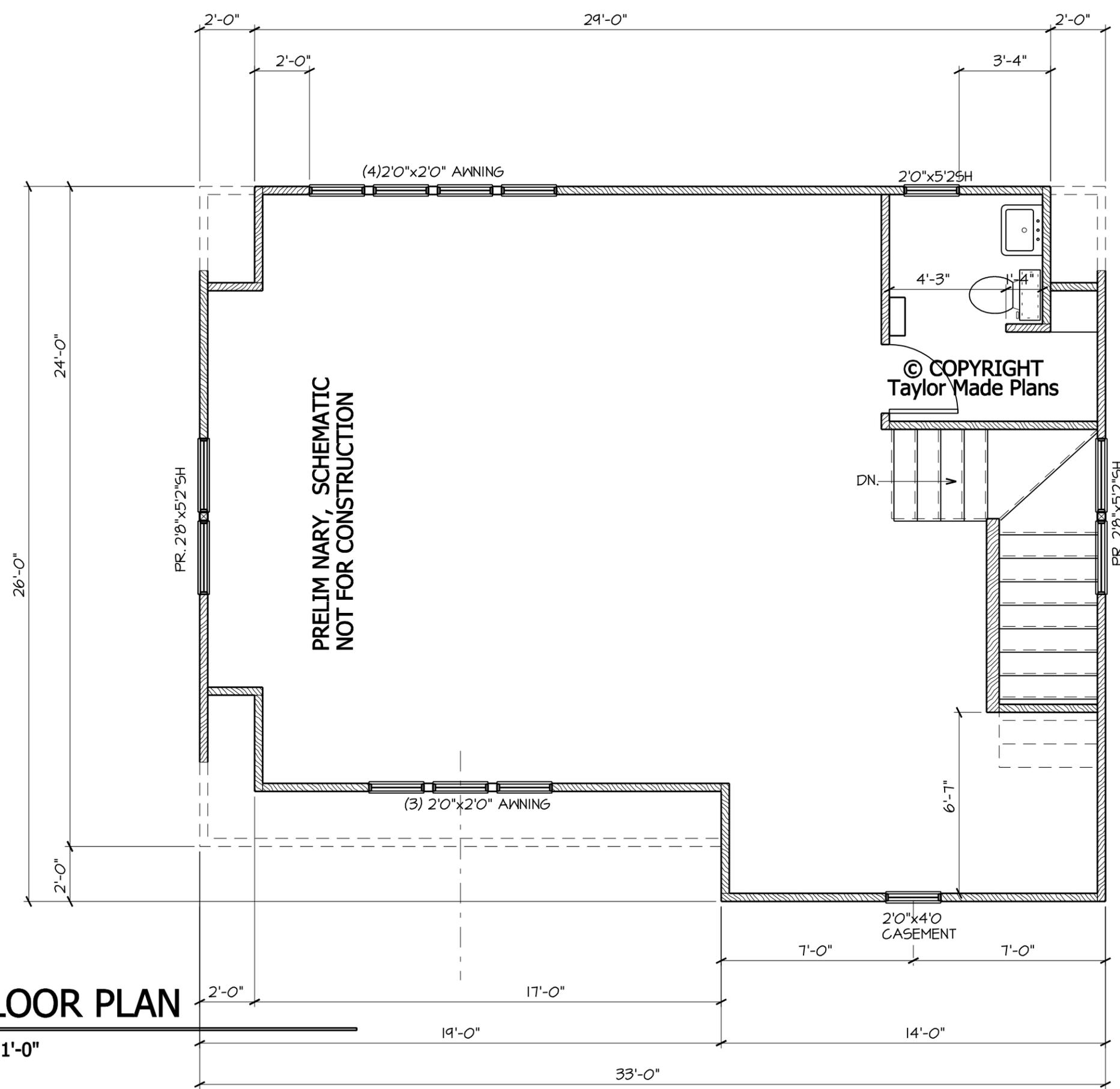
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	GROSS
NEW GARAGE FOOTPRINT	820 SQ.FT.
ALLOWABLE	821 SQ.FT.

7/1/2016

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LOFT FLOOR PLAN

SCALE: 1/4" = 1'-0"