

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**  
**1610 Cedar Lane**  
**July 20, 2016**

**Application:** New construction—outbuilding  
**District:** Belmont Hillsboro Neighborhood Conservation Zoning Overlay  
**Council District:** 18  
**Map and Parcel Number:** 11704025900  
**Applicant:** Van Pond, Jr.  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Application is to construct an outbuilding at the rear of the lot.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the outbuilding with the following conditions:</p> <ol style="list-style-type: none"><li>1. Staff approve a brick sample;</li><li>2. Staff approve all window and door specifications prior to purchase and installation; and</li><li>3. Staff approve the asphalt shingle color and texture.</li></ol> <p>With these conditions, staff finds that outbuilding meets Section II.B.i. and II.B.c. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p> <p>The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
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## **Applicable Design Guidelines:**

### **II.B. New Construction**

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).*

*Appropriate setbacks will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

#### **i. Outbuildings**

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

##### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

##### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

#### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

#### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

#### *Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- *Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

## 2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

#### *Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the*

street. If there is no context, the street setback should be a minimum of 10’.

*Driveway Access.*

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

**Background:** 1610 Cedar Lane is a c. 1925 brick four square that contributes to the historic character of the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay (Figure 1). The lot, which is located at the corner of Oakland Avenue, is over fourteen thousand square feet (14,000 sq. ft.). It slopes significantly from the west to east side of the lot.



Figure 1. 1610 Cedar Lane

**Analysis and Findings:** Application is to construct an outbuilding at the rear of the lot.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Hipped	Yes
Primary roof slope	7/12	Yes
Porch form	N/A	N/A
Porch slope	N/A	N/A

The outbuilding’s roof form and dormers will be similar to the historic house’s roof form and dormers. Staff finds that the outbuilding’s roof form meets Section II.B.h.1 of the design guidelines.

Design Standards: The outbuilding, which will be highly visible from Oakland Avenue, has a design which is inspired by the design of the historic house. Staff finds this to be

appropriate for a highly-visible outbuilding. The outbuilding’s fenestration pattern is appropriate, and its materials will be similar to those on the historic house. The outbuilding’s height and scale are sufficiently subordinate to the historic structure. Staff finds that the outbuilding’s design meets Section II.B.h.1 of the design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture</b>	<b>--Approved Previously or Typical of Neighborhood</b>
<b>Foundation</b>	Concrete slab	Natural color	Yes
<b>Cladding</b>	Brick	Unknown	Yes
<b>Secondary Cladding</b>	5” cement fiberboard lap siding	Smooth	Yes
<b>Roofing</b>	Asphalt shingle	Unknown	Yes
<b>Trim</b>	Cement fiber	Smooth	Yes
<b>Porch floor</b>	Concrete slab	Natural	Yes
<b>Porch Posts</b>	Wood	Smooth	Yes
<b>Porch Railing</b>	Wood	Smooth	Yes
<b>Porch Roof</b>	Not visible	Unknown	Yes
<b>Driveway</b>	Asphalt	Typical	Yes
<b>Windows</b>	Unknown	Unknown	Unknown
<b>Pedestrian Door</b>	Unknown	Unknown	Unknown
<b>Vehicular Door</b>	Unknown	Unknown	Unknown

The known materials all have been approved by the Commission in the past and are appropriate. Staff recommends review and approval of a brick sample, the shingle color and texture, and all windows and doors. With these staff approvals, staff finds that the propose materials meet Section II.B.h.1. of the design guidelines.

Site Planning & Setbacks:

	<b>MINIMUM</b>	<b>PROPOSED</b>
<b>Space between principal building and DADU/Garage</b>	20’	28’
<b>Rear setback</b>	3’	3’
<b>L side/Oakland Ave setback**</b>	10’	40’
<b>R side setback**</b>	3’	33’
<b>How is the building accessed?</b>	From the alley or existing curb cut	From an existing curb cut on Oakland Ave. (see Figure 2).

The proposed outbuilding meets all base zoning setbacks. This site does not have an alley, so accessing the outbuilding via an existing curb cut on Oakland Avenue (the side street) is appropriate. For corner lots like this one, the outbuilding should match the context of homes on the street, or be a minimum of ten feet (10') from the side street. In this case, the house next door at 2418 Oakland Avenue is approximately thirty-five feet (35') from the front Oakland Avenue property line (Figure 2). The applicant is proposing to put the new outbuilding approximately forty feet (40') from the Oakland Avenue property line. Staff finds that having the two-story outbuilding recessed five feet (5') from the front of the one-and-a-half story house next door to be appropriate, as it will lessen its prominence along the street. Staff notes that the 1957 Sanborn Map shows a two-story outbuilding in approximately the same location as is currently proposed (Figure 3).

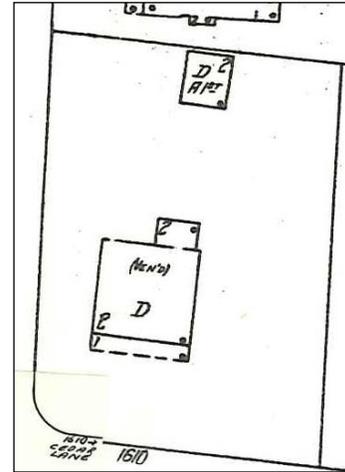


Figure 3. The 1957 Sanborn Map shows a 2 story outbuilding in approximately the same location as is proposed

Staff finds that the proposed outbuilding meets Sections II.B.h. and II.B.i. of the design guidelines



Figure 2. The rear of 1610 Cedar Lane shown in conjunction with the house at 2418 Oakland Ave.

Massing Planning:

Two-story building:

	<b>Lot is more than 10,000 square feet</b>	<b>40% of first floor area of principle structure</b>	<b>Proposed footprint</b>
<b>Maximum Square Footage</b>	1,000 sq. ft.	778 sq. ft.	690 sq. ft.

	<b>Existing conditions (height of historic portion of the home to be measured from finished floor)</b>	<b>Potential maximums (heights to be measured from grade)</b>	<b>Proposed (should be the same or less than the lesser number to the right)</b>
<b>Ridge Height</b>	36'	25'	25'
<b>Eave Height</b>	23'9"	2 story 17'	16'

The lot slopes significantly down from the west/Oakland Avenue side of the lot to the east/interior portion of the lot (Figures 4 & 5). The eave and ridge heights used to compare the historic structure and the proposed outbuilding are taken from the finished floor line for consistency. The slope will require unusually tall eave and ridge heights for the interior side of the building but it will have an appropriate massing as seen from the street.

Staff finds that the proposed outbuilding's massing, height, and scale meet Section II.B.h.1 of the design guidelines.



Figures 4 & 5 show the significant slope of the lot.

General Requirements:

	YES	NO
<b>If there are stairs, are they enclosed?</b>	Yes	
<b>If a corner lot, are the design &amp; materials similar to the principle building?</b>	Yes	
<b>If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?</b>	Yes	
<b>If dormers are used, do they sit back from the wall below by at least 2'?</b>	Yes	
<b>Is the roof pitch at least 4/12?</b>	Yes	
<b>If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?</b>	Yes	
<b>Is the building located towards the rear of the lot?</b>	Yes	

Staff finds that the proposed outbuilding meets Section II.B.h.1 of the design guidelines.

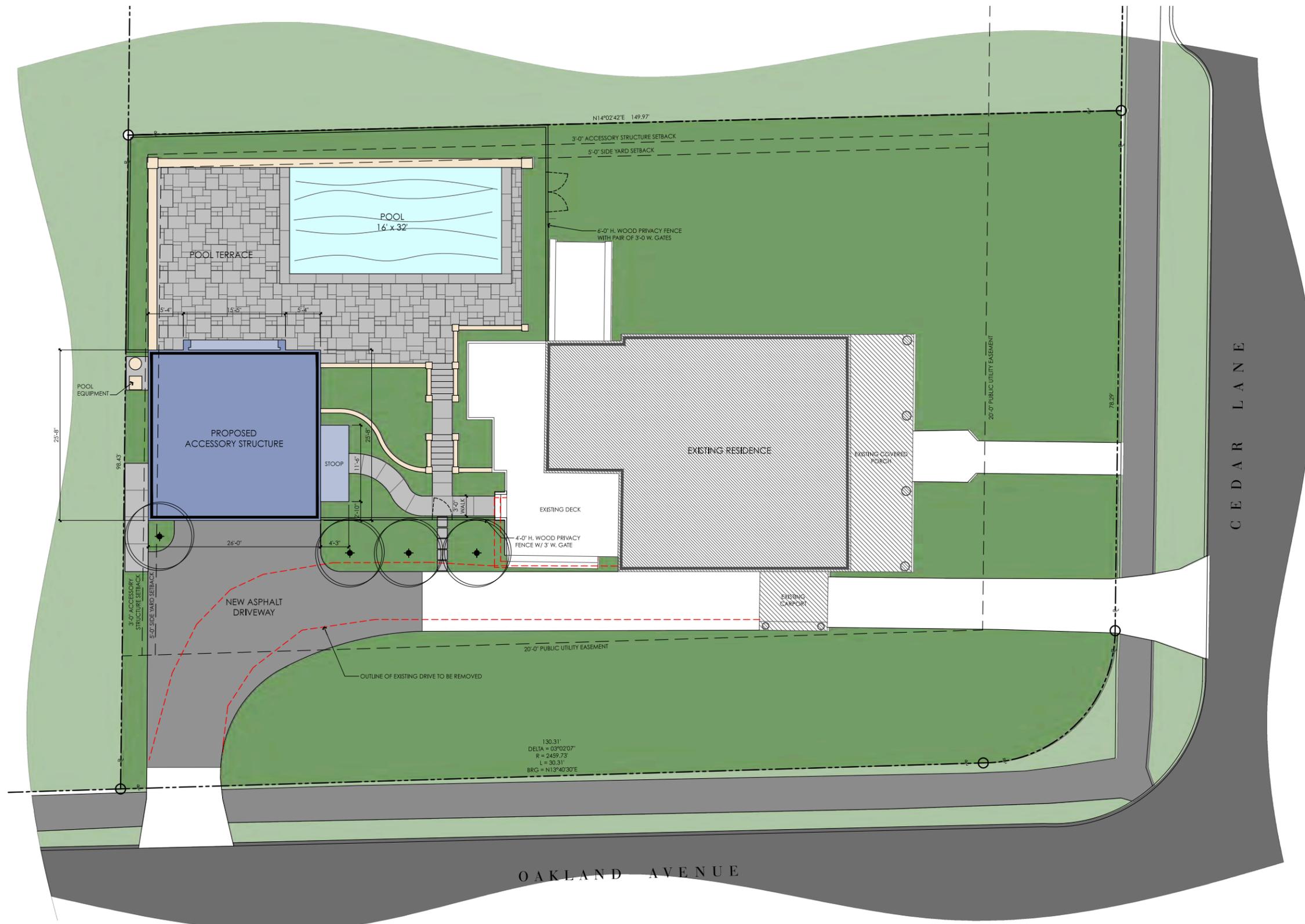
Appurtenances & Utilities: The project involves extending an existing driveway at an existing curb cut, which is appropriate since this site lacks an alley. The applicant will also be installing an in-ground pool and pool terrace. MHZC does not review in-ground pools and un-covered terraces in conservation zoning overlays like this one. No changes to the site's appurtenances were indicated on the drawings. Staff finds that the known appurtenances meet Section II.B.h.1 of the design guidelines.

**Recommendation Summary:** Staff recommends approval of the detached accessory dwelling unit with the following conditions:

1. Staff approve a brick sample:
2. Staff approve all window and door specifications prior to purchase and installation; and
3. Staff approve the asphalt shingle color and texture.

With these conditions, staff finds that outbuilding meets Section II.B.i. and II.B.c. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.



**Proposed Site Plan**

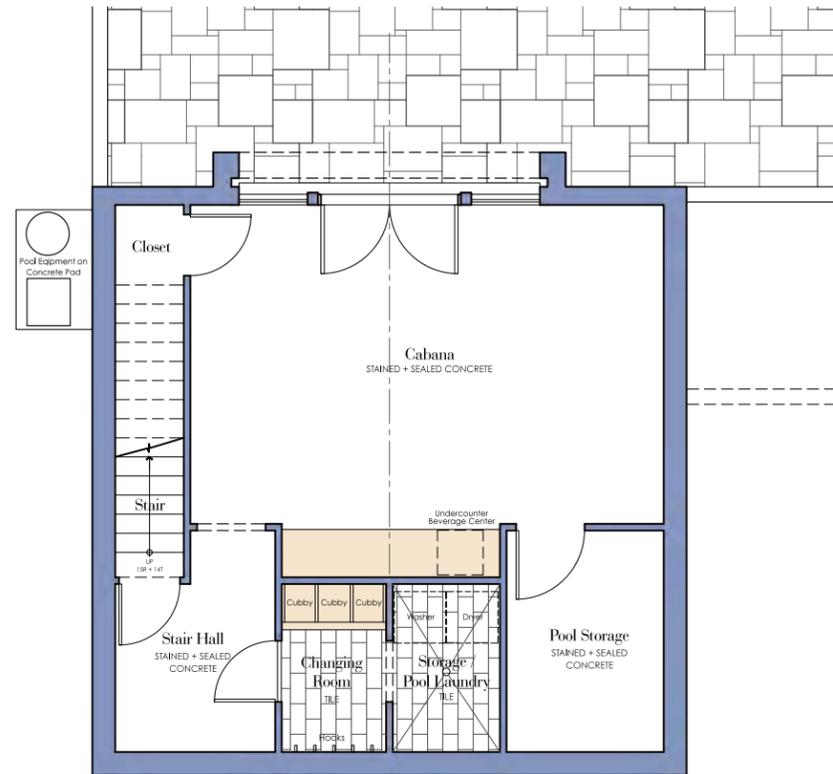
NEW DETACHED ACCESSORY BUILDING FOR:

# Alan & Natalie Grissom

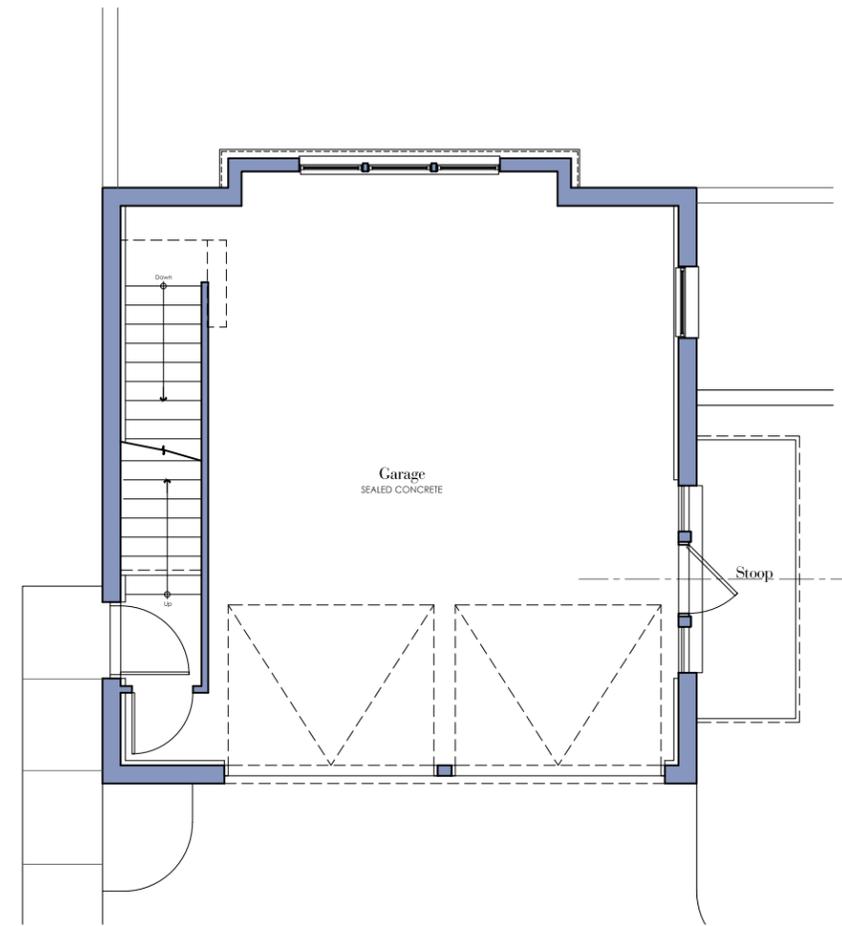
1610 Cedar Lane  
Nashville, Tennessee 37212

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13 July 2016



 Proposed Pool Level Plan  

 Proposed Garage Level Plan  

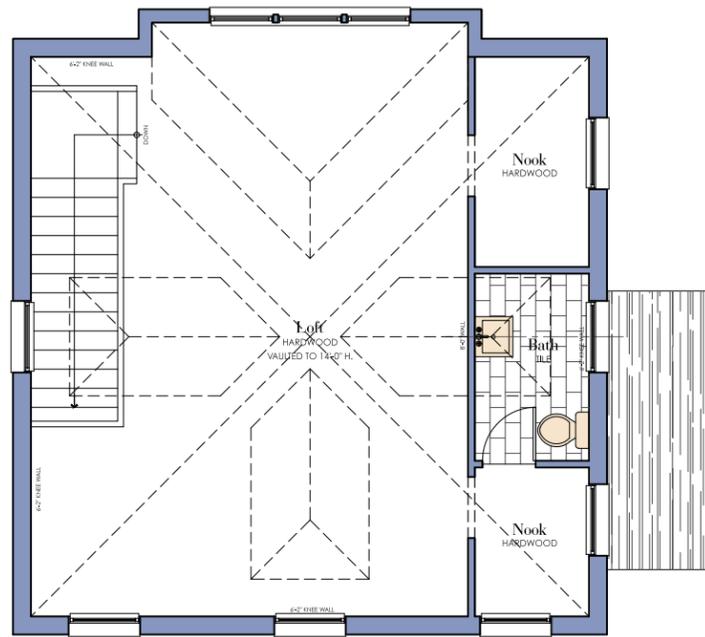

NEW DETACHED ACCESSORY BUILDING FOR:

# Alan & Natalie Grissom

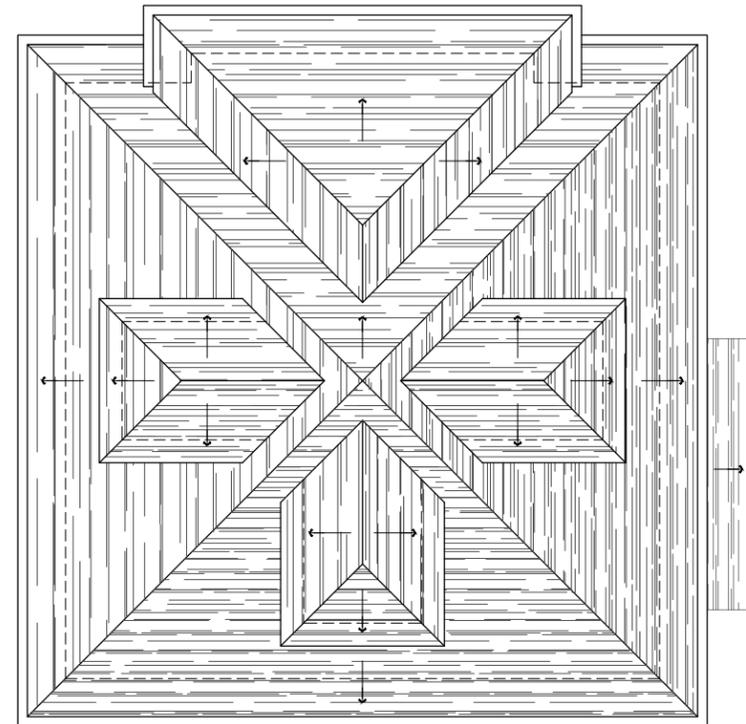
1610 Cedar Lane  
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13 July 2016




**Proposed Loft Level Plan**  


**Proposed Roof Plan**  

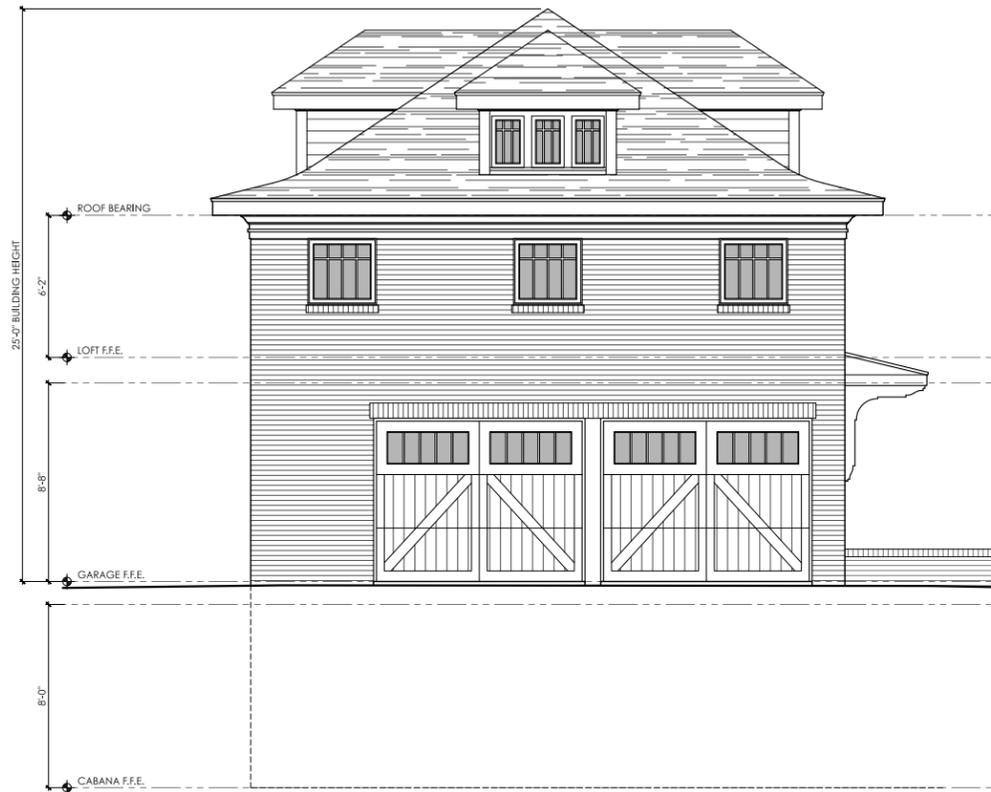

NEW DETACHED ACCESSORY BUILDING FOR:

# Alan & Natalie Grissom

1610 Cedar Lane  
Nashville, Tennessee 37212

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Proposed West Elevation Facing Street



Proposed South Elevation Facing House



NEW DETACHED ACCESSORY BUILDING FOR:

**Alan & Natalie Grissom**

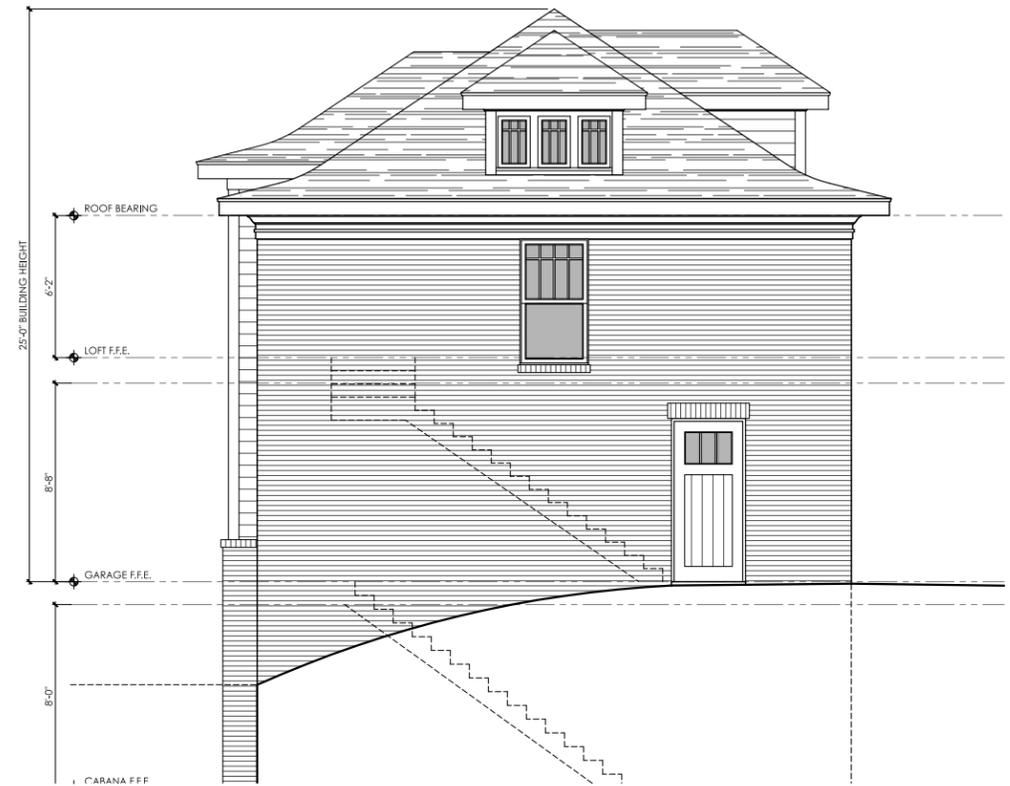
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13 July 2016



Proposed East Elevation Facing Pool



Proposed North Elevation



NEW DETACHED ACCESSORY BUILDING FOR:

**Alan & Natalie Grissom**

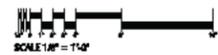
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METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL - REVISED

13 July 2016



Proposed Contextual Site Elevation From Oakland Ave (West)



NEW DETACHED ACCESSORY BUILDING FOR:

# Alan & Natalie Grissom

1610 Cedar Lane  
Nashville, Tennessee 37212

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