



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
2803 Oakland Avenue
July 20, 2016

Application: New construction—detached accessory dwelling unit; Setback determination

District: Belmont Hillsboro Neighborhood Conservation Zoning Overlay

Council District: 18

Map and Parcel Number: 11704025000

Applicant: Bill Johnson, Owner/Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: Application is to construct a detached accessory dwelling unit (DADU) at the rear of the lot. The structure requires a rear setback determination from twenty feet (20') to thirteen feet (13') and a side setback determination from five feet (5') to three feet (3').

Recommendation Summary: Staff recommends approval of the detached accessory dwelling unit with the following conditions:

1. Staff shall approve the window and door selections prior to selection and installation;
2. Staff shall receive a copy of the filed restrictive covenant for the detached accessory dwelling unit prior to issuance of a permit; and,
3. The stairs are enclosed and fire rated.

With these conditions, staff finds that the detached accessory dwelling unit meets Ordinance 17.16.030. G. and Section II.B.1.i of the Neighborhood Conservation zoning overlay design guidelines for this neighborhood.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Photographs
B: Site Plan
C: Floorplans
D: Elevations

Applicable Design Guidelines:

17.16.030. G. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Applicability.
 - a. While the following conditions listed below apply to a detached accessory dwelling they do not counter-act or over-ride the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
 - b. No accessory structure shall exceed two hundred square feet when there is a detached accessory dwelling on the lot.
2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
3. Ownership.
 - a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
 - b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
 - c. The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for accessory buildings.

The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Generally appropriate side setbacks for outbuildings is 3' for buildings with a 750 square foot footprint or less and 5' for buildings with a footprint greater than 750 square feet. Appropriate rear setbacks may be as close as 5'.

5. Site Requirements. A detached accessory dwelling may only be located behind the principal structure.
6. Driveway Access.
 - a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling.
 - b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
 - c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.
7. Bulk and Massing.
 - a. The living space of a detached accessory dwelling shall not exceed seven hundred square feet.
 - b. On lots less than ten thousand square feet, the footprint of a detached accessory dwelling shall not exceed seven hundred fifty square feet
 - c. On lots ten thousand square feet or greater, the footprint of a detached accessory dwelling shall not exceed one thousand square feet.
 - d. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.
 - e. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed twenty-seven feet in height.

In conjunction with the neighborhoods where DADUs are possible and using research of historic outbuildings, the Commission has determined that a 25' maximum is appropriate for historic neighborhoods. Please see design guidelines for outbuildings.

8. Design Standards.

- a. The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- b. The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roof slope by covering no more than fifty percent of the roof.
- c. Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

9. Historic Properties.

- a. Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.
- b. Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

10. Restrictive Covenant. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the detached accessory dwelling is being established accessory to a principal structure and may only be used under the conditions listed above.

Note: The "use" of a DADU will require approval from the Department of Codes and Building Safety. The MHZC reviews the exterior design only, based on the intended use.

II.B. New Construction

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*

· DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

· Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
· The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2’.

Outbuildings: Windows and Doors

· Publicly visible windows should be appropriate to the style of the house.
· Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.
· Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
· Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.
· For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.

Outbuildings: Siding and Trim

· Brick, weatherboard, and board-and-batten are typical siding materials.
· Exterior siding may match the existing contributing building’s original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5”), wood or smooth cement-fiberboard board-and-batten or masonry.
· Four inch (4” nominal) corner-boards are required at the face of each exposed corner.
· Stud wall lumber and embossed wood grain are prohibited.
· Four inch (4” nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4” to 6” mullion in between.
Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
· *There should be a minimum separation of 20’ between the principal structure and the DADU or outbuilding.*
· *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3’ from each property line. The rear setback may be up to 3’ from the rear property*

line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
 - On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- The lot area on which a DADU is placed shall comply with Table 17.12.020A.
 - The DADU may not exceed the maximums outlined previously for outbuildings.
 - No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.
- Density.*
- A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met.

Ownership.

- a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
 - b. The DADU cannot be divided from the property ownership of the principal dwelling.*
- The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
 - Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

Bulk and Massing.

- The living space of a DADU shall not exceed seven hundred square feet.

Background: The building at 2803 Oakland Avenue is a one and one half-story house with a cross-gabled roof. The house was constructed in 2010, having been approved by the Historic Zoning Commission in December of 2009.



Analysis and Findings: The applicant proposes to construct a new outbuilding at the rear of the lot. The structure is intended to be used as a dwelling. An existing parking pad on the lot will be retained and improved.

Massing Planning:

The tables below show the maximum outbuilding size permitted under the design guidelines:

Heights:

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the left)
Ridge Height	32'	25'	24'-11"
Eave Height	11'	1 story - 10'	9'-6"

Footprint:

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	830	616

The project meets section II.B.1.i.1 of the design guidelines and 17.16.30.G. 7 of the ordinance.

Design Standards:

The proposed structure will have a simple, utilitarian design that is appropriate for outbuildings. Its roof form, scale, and character do not contrast greatly with the primary structure. The fenestration is of a more modern layout than is typical of an historic house, but it is compatible with the character of the infill house the Commission approved in 2009. It is also in a

minimally-visible location at the rear of the lot. The design meets section II.B.1.i.1 of the design guidelines and Section 17.16.030.G.8 of the ordinance.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Cross-gable	Yes
Primary roof slope	12:12	Yes
Porch form	Recessed Balcony	Yes

Finding that the roof form and pitches are similar to historic outbuildings, Staff finds that the project meets section II.B.1.i.1 of the design guidelines and Section 17.16.030.G.8 of the ordinance.

Material:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Split-faced CMU	Natural color	X
Cladding	Cement-fiber, Clapboard	Smooth with 5” reveal	X
Secondary Cladding	Cement-fiber, Half-timber	Smooth	X
Roofing	Asphalt shingle	Needs final review	X
Trim	Cement fiber	smooth	X
Chimney	n/a	n/a	n/a
Porch floor	Wood	natural	X
Porch Posts	Wood brackets	Smooth-face	X
Porch Railing	Steel, shiprail	Match house	
Porch Roof	Under primary	Needs final review	X
Driveway	Concrete	Natural color	X
Fencing	Wood	n/a	X
Windows	Not indicated	Needs final approval	
Pedestrian Door	Not indicated	Needs final approval	
Vehicular Door	Not indicated	Needs final approval	

With the staff’s final approval of the windows and doors and material information that has not yet been provided, staff finds that the known materials meet Section II.B.1.i.1 of the design guidelines.

Site Planning:

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20'	38'
Rear setback	3'	5'
L side setback	3'	3'-6"
R side setback	3'	25'
How is the building accessed?	From the alley or existing curb cut	Rear/Alley

The project meets section II.B.1.i.2 of the design guidelines and 17.16.30.G. 4 of the ordinance.

Setbacks: The new outbuilding does require a rear setback determination because the bulk zoning would require a ten foot (10') rear setback and three foot (3') side setbacks. Staff finds that the proposed five foot (5') rear setback is more typical of outbuildings historically and is an existing condition. The application meets Section II.B.1.i.2 of the design guidelines and 17.16.030.G. 4 of the ordinance.

General requirements for DADUs:

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2'?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

The stairs are not fully enclosed. They are walled-in with fencing and the roof overhangs enough to cover the majority of the treads. The ordinance states that stairs should be enclosed and properly fire rated. The Fire Department has advised Staff that the proposed is not an

enclosed and fire-rated stair; therefore staff recommends a full enclosure. With this condition, the project meets section II.B.2.i.1 of the design guidelines and sections 17.16.30.G.5, 8 and 9 of the ordinance.

General Requirements for DADU:

The answer to each of these questions must be “no.”

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn't zoned two-family or doesn't have adequate square footage to be a legally conforming lot.)		No
Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?		No
Are there already two units on the property?		No
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

Staff recommends that receipt of the restrictive covenant for the DADU prior to issuance of the preservation permit be added as a condition of approval. The project meets section II.B.i.1 of the design guidelines and sections 17.16.30.G.1-3, and 7 of the ordinance.

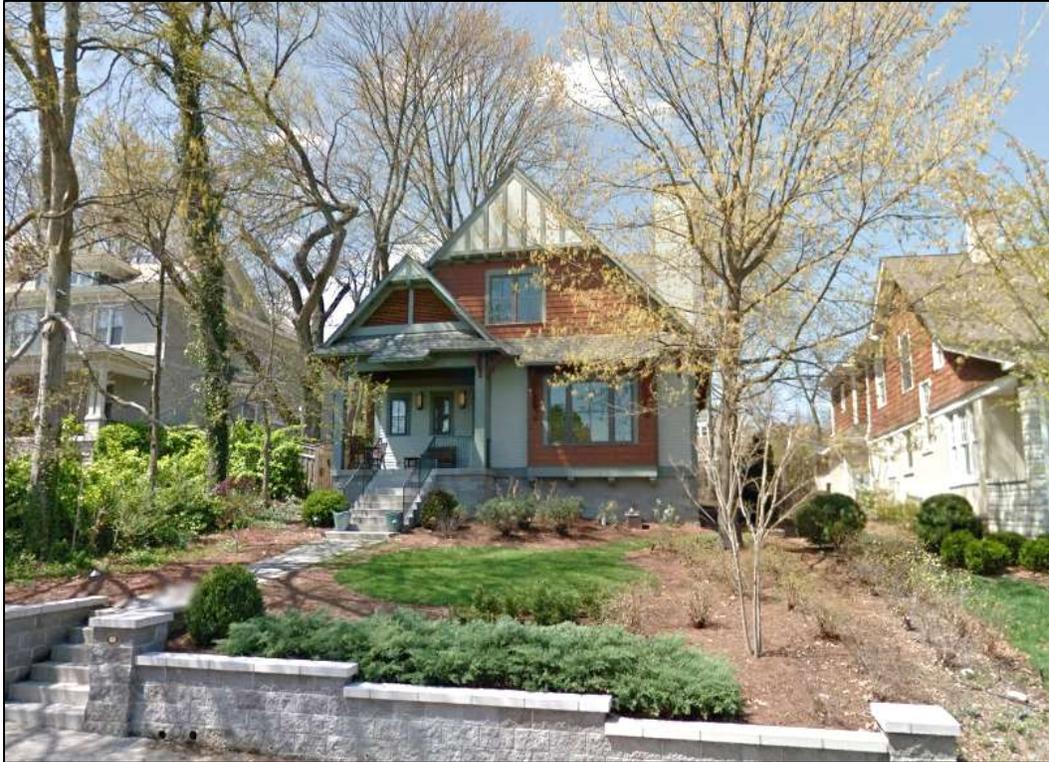
Appurtenances & Utilities: A new concrete walkway and parking area will be installed at the rear of the lot. No other changes to the site's appurtenances were indicated on the drawings. The project meets section II.B.h.1 of the design guidelines.

Recommendation Summary: Staff recommends approval of the detached accessory dwelling unit with the following conditions:

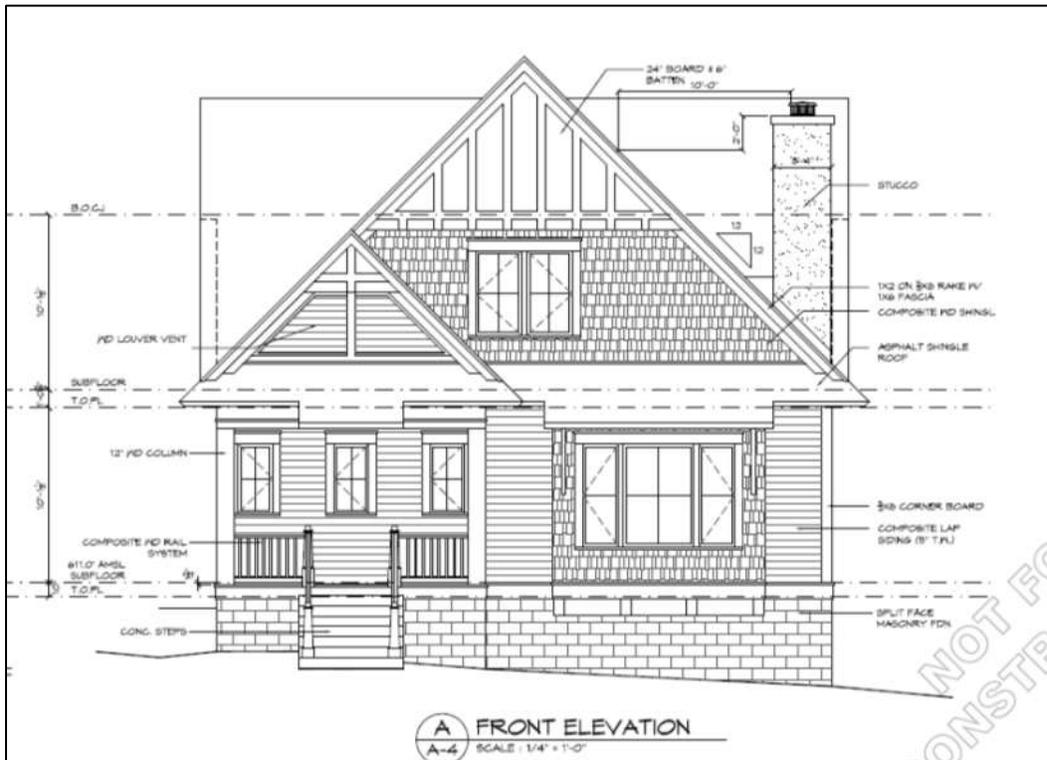
1. Staff shall approve the window and door selections prior to selection and installation;
2. Staff shall receive a copy of the filed restrictive covenant for the detached accessory dwelling unit prior to issuance of a permit; and,
3. The stairs are enclosed and fire rated.

With these conditions, staff finds that the detached accessory dwelling unit meets Ordinance 17.16.030. G. and Section II.B.1.i of the Neighborhood Conservation zoning overlay design guidelines for this neighborhood.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.



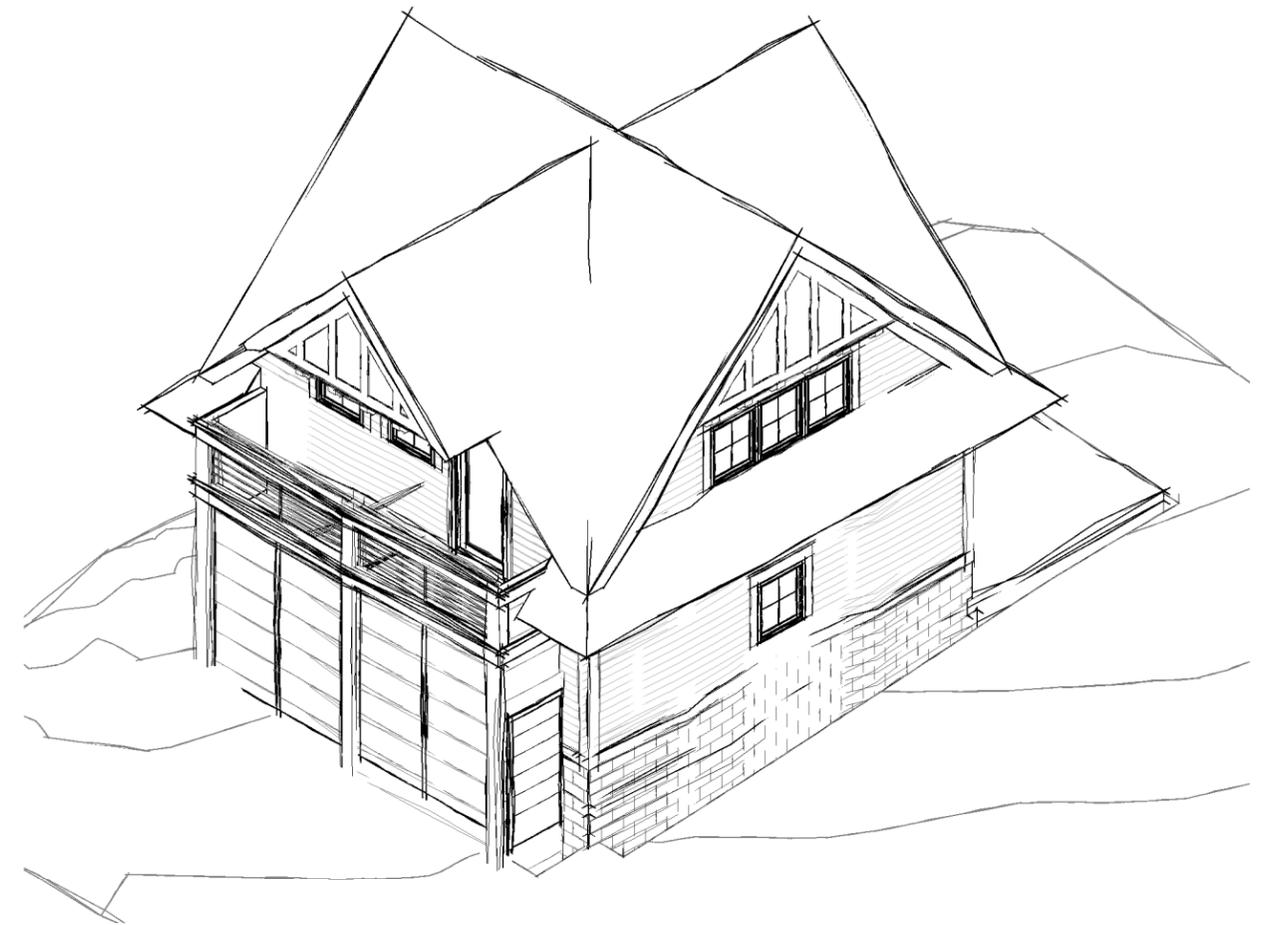
2803 Oakland Avenue, recent photo of front.



Front elevation of infill approved in December 2009.

JOHNSON GARAGE

2803 OAKLAND AVENUE
NASHVILLE, TENNESSEE



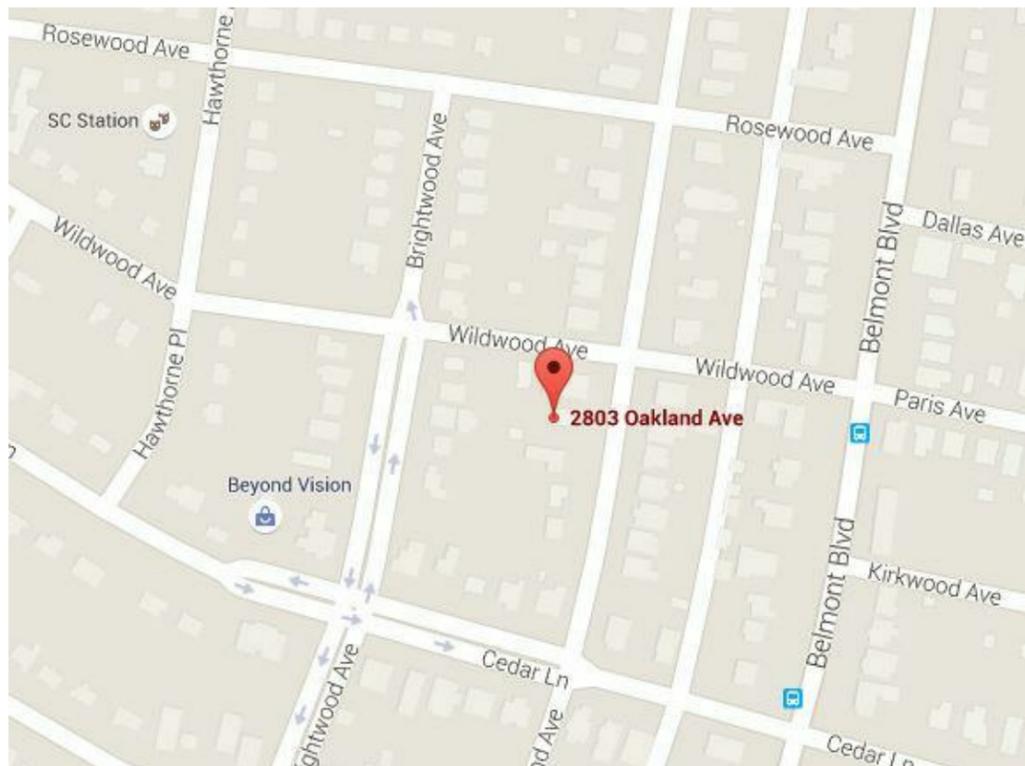
**William C.
Johnson
Architect**

P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16

LOCATION MAP



SQUARE FOOTAGES

2ND FLOOR	455 SF
2ND FLR PORCH	28 SF
ENCLOSED STAIR	68 SF
GARAGE	513 SF

DRAWING INDEX

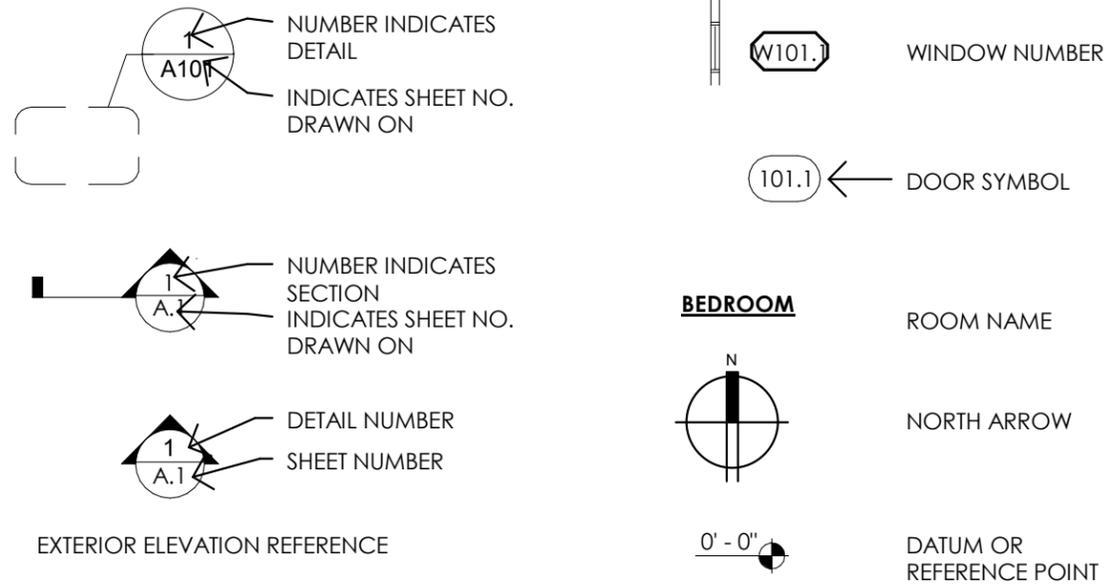
A0.0	TITLE SHEET
A0.1	ABBREVIATIONS
A0.2	GENERAL NOTES
A1.0	ARCHITECTURAL SITE PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.1	EXTERIOR ELEVATION
A2.2	EXTERIOR ELEVATION
A2.3	EXTERIOR ELEVATION
A2.4	EXTERIOR ELEVATION

TITLE SHEET

JOHNSON GARAGE
2803 OAKLAND AVENUE NASHVILLE, TENNESSEE

This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.

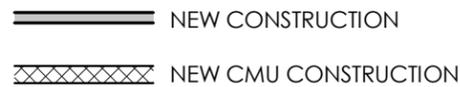
GRAPHIC SYMBOLS LEGEND



MATERIAL LEGEND



WALL TYPE LEGEND



DIMENSIONS ARE WITNESSED TO FACE OF STUD / CMU UNLESS OTHERWISE NOTED.

ABBREVIATIONS

C	CENTERLINE	GYP	GYPSUM
□	DIAMETER	GWB	GYPSUM WALLBOARD
#	POUND OR NUMBER	HDWR	HARDWARE
@	AT	HDW	HARDWOOD
AFF	ABOVE FINISH FLOOR	HGT	HEIGHT
ALT	ALTERNATE	HM	HOLLOW METAL
ALUM	ALUMINUM	INSUL	INSULATION
BD	BOARD	INT	INTERIOR
BLDG	BUILDING	JT	JOINT
BLKG	BLOCKING		
BM	BEAM		
BRG	BEARING		
CI	CONTINUOUS INSULATION	M.O.	MASONRY OPENING
C.O.	CASED OPENING	MATL	MATERIAL
C.T.	CERAMIC TILE	MECH	MECHANICAL
CJ	CONSTRUCTION JOINT	MTL	METAL
CLG	CEILING	MIN	MINIMUM
CL	CLOSET	N.I.C.	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL	COLUMN	OP'NG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS	ORIG	ORIGINAL
CP	CARPET		
DBL	DOUBLE	PL	PLATE
DET	DETAIL	PLYWD	PLYWOOD
D.F.	DRINKING FOUNTAIN	PNL	PANEL
D.H.	DOUBLE HUNG	PT	PAINT
DIA	DIAMETER		
DIAG	DIAGONAL	R.A.	RETURN AIR
DIM	DIMENSION	R.O.	ROUGH OPENING
DN	DOWN		
REF	REFRIGERATOR	REINF	REINFORCED
EJ	EXPANSION JOINT	RM	ROOM
EA	EACH		
ELEV	ELEVATION	S.F.	SQUARE FOOT
EQ	EQUAL	S.D.	SMOKE DETECTOR
EW	EACH WAY	SIM	SIMILAR
E.W.C.	ELECTRIC WATER COOLER	SPEC	SPECIFICATION
EXST'G	EXISTING	STL	STEEL
EXT	EXTERIOR		
S.V.	SHEET VINYL	T&G	TONGUE AND GROOVE
F.D.	FLOOR DRAIN	TYP'L	TYPICAL
F.E.	FIRE EXTINGUISHER		
F.E.C.	FIRE EXTINGUISHER CABINET	W.H.	WATER HEATER
F.O.S.	FACE OF STUD	W/	WITH
F.O.B.	FACE OF BLOCK	W/O	WITHOUT
F.O.C.	FACE OF CONCRETE	WC	WALLCOVERING
F.O.S.F.	FACE OF STOREFRONT	WD	WOOD
FIN	FINISH		
FLR	FLOOR		
FTG	FOOTING		



William C. Johnson Architect

P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16

ABBREVIATIONS

JOHNSON GARAGE
2803 OAKLAND AVENUE NASHVILLE, TENNESSEE
This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.

GENERAL NOTES

- 1) DO NOT SCALE THE DRAWINGS.
- 2) CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCY IMMEDIATELY TO THE ARCHITECT.
- 3) ALL WORK SHALL CONFORM TO ANY APPLICABLE CODES, ORDINANCES, AND/OR RESTRICTIONS.
- 4) ALL WORK SHALL CONFORM TO STANDARD ACCEPTABLE INDUSTRY STANDARDS UNLESS OTHERWISE INDICATED.
- 5) ALL WORK SHALL BE INSTALLED AS PER THE MANUFACTURER'S REQUIREMENTS FOR QUALITY AND WARRANTY PROTECTION.
- 6) CONTRACTOR IS TO PROTECT ALL FINISHES, STRUCTURE, AND MATERIALS ON SITE (NEW OR EXISTING) DURING THE EXTENT OF THE PROJECT.
- 7) CONTRACTOR IS TO LEGALLY REMOVE ALL DEBRIS FROM THE SITE AT FREQUENT INTERVALS DURING CONSTRUCTION.
- 8) THE PROJECT IS TO BE KEPT CLEAN AND FREE OF DEBRIS THROUGHOUT CONSTRUCTION. A FINAL CLEAN-UP IS TO BE PERFORMED PRIOR TO PROJECT CLOSE-OUT.

SITWORK / FOUNDATION NOTES:

- 1) REFER TO ENGINEERING DOCUMENTS FOR SPECIFICATIONS IF APPLICABLE. CIVIL ENGINEERING BY OTHERS.
- 2) ALL DOWNSPOUTS SHALL DISCHARGE INTO AN APPROVED UNDERGROUND DRAINAGE SYSTEM; UNLESS OTHERWISE NOTED.
- 3) STEP FOOTINGS, WHEN REQUIRED, SHALL STEP AT 30 DEGREES MAXIMUM SLOPE.
- 4) FOOTINGS SHALL REST 1'-0" MINIMUM BELOW FINISH GRADE ON UNDISTURBED, INORGANIC SOIL WITH A MINIMUM 2,000 PSI BEARING CAPACITY.
- 5) CRAWL SPACE CLEARANCE TO BE 30" MINIMUM. PROVIDE 10 MIL POLY VAPOR BARRIER.
- 6) CONCRETE SHALL BE 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
- 7) TERMITE PROTECTION, IF REQUIRED BY OWNER, SHALL BE PERFORMED BY A PROFESSIONAL, LICENSED IN THE STATE OF TENNESSEE. PROVIDE GUARANTEE TO OWNER AT THE TIME OF TREATMENT.
- 8) PROVIDE RADON MITIGATION SYSTEM.

FRAMING NOTES:

- 1) ALL 'WAFERBOARD' MATERIAL SHALL BE PROTECTED FROM THE ELEMENTS. ANY DAMAGED MATERIAL SHALL BE IMMEDIATELY REPLACED.
- 2) STRUCTURAL FRAMING LUMBER SHALL BE S.Y.P. #2, K.D. (1,400 PSI). FRAMING ENGINEERING TO BE PERFORMED BY LUMBER SUBCONTRACTOR.
- 3) ALL SECOND FLOOR INTERIOR WALLS SHALL BE 16" O.C. 'LOGGEPOLE' GRADE S.Y.P. #2 K.D. OR BETTER.
- 4) ANY FRAMING EXPOSED TO MOISTURE OR IN CONCRETE SHALL BE PRESSURE TREATED S.Y.P.
- 5) DO NOT CUT THE FRAMING. IF DRILLING IS REQUIRED FOR ELECTRICAL, PLUMBING, MECHANICAL, ETC. WORK, REINFORCE TO RESTORE INTEGRITY OF THE FRAMING MEMBER.
- 6) PROVIDE SOLID BEARING CONTINUOUS TO THE FOUNDATION BENEATH ANY POINT BEARING LOAD.
- 7) PROVIDE DOUBLE TRIMMERS AND HEADERS AT ANY ROOF OPENING.
- 8) PROVIDE DOUBLE FLOOR JOISTS BENEATH ANY WALL WHICH RUNS PARALLEL TO THE FLOOR FRAMING. DOUBLE BLOCKING BENEATH PERPENDICULAR FRAMING.
- 9) PROVIDE SPREAD JOISTS AND/OR GIRDERS BENEATH PLUMBING WALLS.
- 10) PROVIDE CROSS BRIDGING @ 8'-0" O.C. MAXIMUM AT ANY FLOOR / CEILING CONSTRUCTION.
- 11) PROVIDE BLOCKING @ 8'-0" O.C. MAXIMUM AT ANY WALL CONSTRUCTION.
- 12) HEADER SCHEDULE (UNLESS OTHERWISE NOTED ON THE DRAWINGS):

<u>SPAN</u>	<u>HEADER</u>
UNDER 5'-0"	(2) 2x8
UNDER 7'-0"	(2) 2x10
UNDER 9'-0"	(2) 2x12
OTHER	VERIFY WITH ENGINEER

- 13) PROVIDE SHOP DRAWINGS FOR ALL STRUCTURAL STEEL.
- 14) PRE-DRILL STEEL PLATES AS REQUIRED BY MANUFACTURER FOR ATTACHMENT TO WOOD.
- 15) BACK KERF AND PRIME (INCLUDING BACKS AND ENDS) ALL EXTERIOR WOOD TRIM.
- 16) PROVIDE 3/8" MINIMUM SHIM SPACE AT ALL DOORS AND WINDOWS.
- 17) HOLD ANY WOOD 8" MINIMUM ABOVE FINISH GRADE.
- 18) ALL SHEATHING SHALL BE APA RATED, USED AS PER MANUFACTURER'S INSTRUCTIONS.

THERMAL AND MOISTURE PROTECTION NOTES:

- 1) CAULK AND PROVIDE HEAD FLASHING AT ALL WINDOWS AND EXTERIOR DOORS.
- 2) PROVIDE MINIMUM INSULATION VALUES AS FOLLOWS:
 - EXTERIOR WALLS:
 - CMU (**ABOVE** GRADE) - 9.5 CI
 - CMU (**BELOW** GRADE) - 7.5 CI
 - WOOD FRAMED - R-13 + R3.8 CI **OR** R-20
 - FLOORS (FRAMED): R-30
 - ROOF / ATTIC: R-38
 - CONCRETE SLAB: 2" (R-10) x 2'-0" RIGID INSULATION AT EXTERIOR PERIMETER
- 3) INSULATE ALL PLUMBING SUPPLY IN ATTIC, CRAWL SPACE, BASEMENT, AND NEAR EXTERIOR WALLS.
- 4) INSULATE BEHIND OUTLETS AND SWITCHES AT EXTERIOR WALLS.
- 5) IF INSULATION OTHER THAN CLOSED-CELL FOAM IS USED AT THE ROOF, PROVIDE 2" CONTINUOUS SCREEN VENT AND/OR RIDGE VENT AS REQUIRED TO PROVIDE PROPER LOOP VENTILATION.

MPE SCHEMATIC NOTES:

- 1) MECHANICAL AND ELECTRICAL SCHEMATIC DRAWINGS SHALL BE USED AS A GUIDE TO ACHIEVE DESIGN INTENT ONLY. SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM DESIGN AND INSTALLATION. NOTIFY ARCHITECT IF ACTUAL INSTALLATION REQUIREMENTS VARY FROM SCHEMATICS INDICATED WITHIN.

ELECTRICAL NOTES:

- 1) COORDINATE SITE, HOUSE, AND EMERGENCY LIGHTING WITH OWNER PRIOR TO CONSTRUCTION.
- 2) CLOSET LIGHTING TO BE 18" MINIMUM TO SHELVING.
- 3) GANG SWITCHES WHENEVER POSSIBLE.
- 4) PROVIDE ALLOWANCE FOR OWNER APPROVAL AND SELECTION OF FIXTURE TYPE.
- 5) VERIFY WITH OWNER LOCATIONS OF ALL NEW OUTLETS AND LIGHTING FIXTURES.

PLUMBING NOTES:

- 1) PROVIDE ALLOWANCE FOR OWNER APPROVAL AND SELECTION OF FIXTURE TYPE.



**William C.
Johnson
Architect**

P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16

GENERAL NOTES

JOHNSON GARAGE
2803 OAKLAND AVENUE NASHVILLE, TENNESSEE
This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.

SITE CALCULATIONS

SITE REQUIREMENTS

ZONING DISTRICT	R8 , OV-NHC
LOT AREA	8,030 S.F.
45% MAX. LOT COVERAGE	3,614 S.F.
3-STORY MAX. HEIGHT	

PROPOSED 2-STORY DETACHED GARAGE

2ND FLOOR	455 SF
2ND FLR PORCH	28 SF
ENCLOSED STAIR	68 SF
GARAGE	513 SF

EXISTING 2-STORY HOUSE

EXISTING HEATED & COOLED

FIRST FLOOR	1,229 S.F.
SECOND FLOOR	1,022 S.F.
TOTAL EXISTING H&C	2,251 S.F.

EXISTING PORCHES

FRONT PORCH	320 S.F.
REAR TERRACE	307 S.F.

TOTAL PROPOSED LOT COVERAGE

TOTAL PROPOSED LOT COVERAGE	2,437 S.F.
-----------------------------	------------



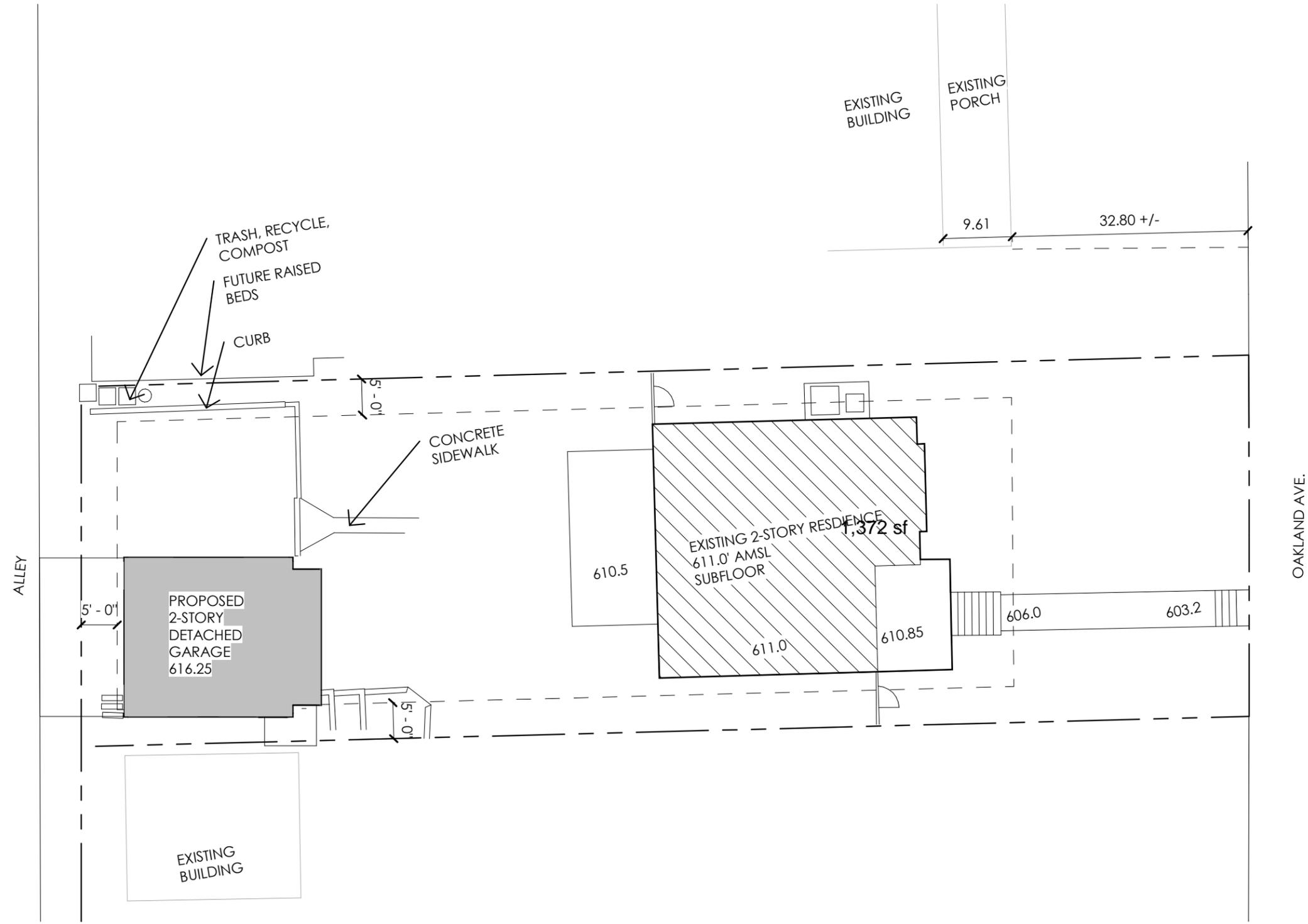
William C. Johnson
Architect

P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16

ARCHITECTURAL SITE PLAN



1 ARCHITECTURAL SITE PLAN
A1.0 SCALE: 1/16" = 1'-0"

JOHNSON GARAGE

2803 OAKLAND AVENUE NASHVILLE, TENNESSEE
This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.



William C. Johnson Architect

P.O. Box 121613
Nashville
Tennessee
37212-1613

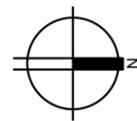
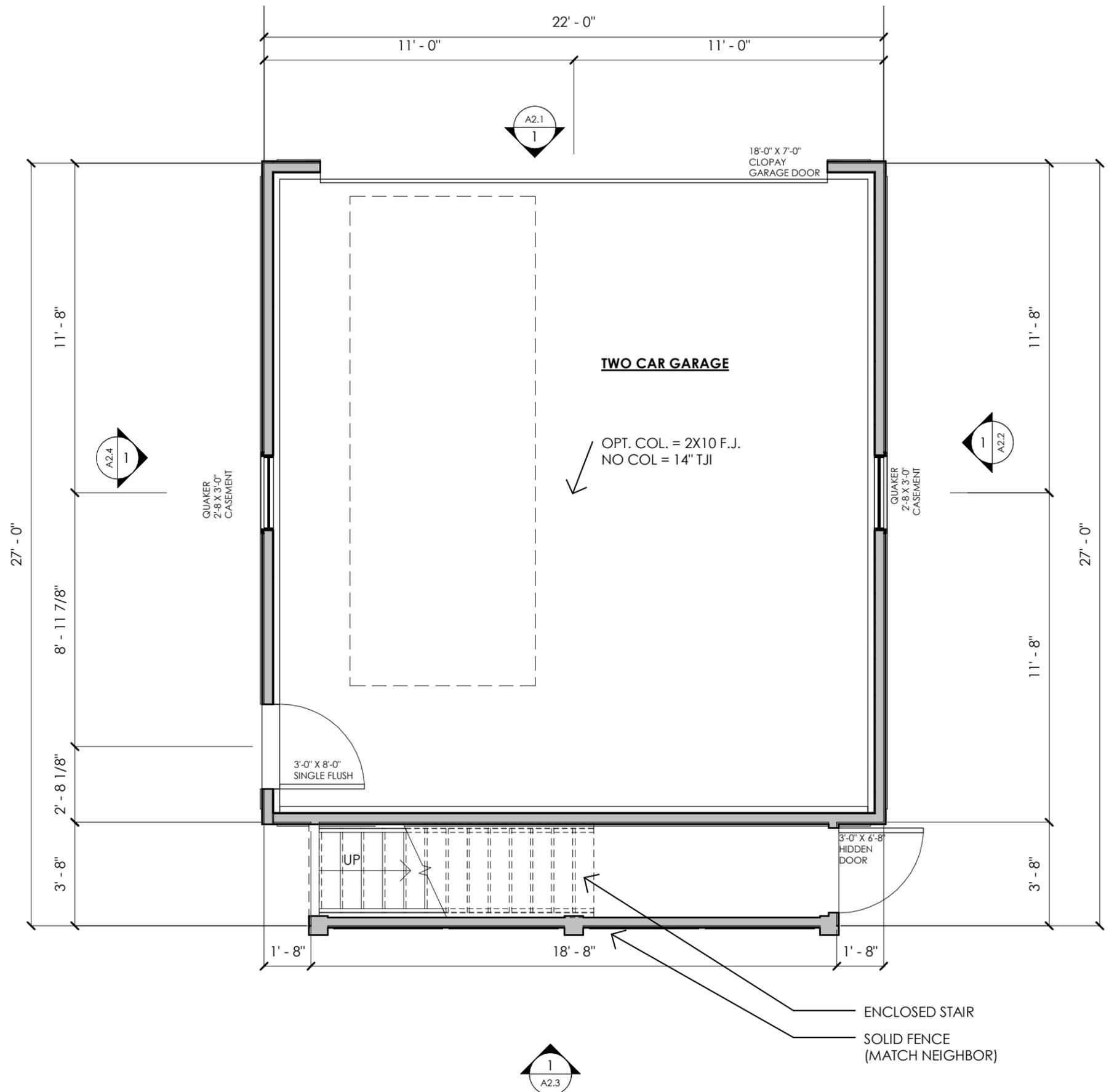
t 615.292.4017
f 615.301.7024

Issue Date
06.30.16

FIRST FLOOR PLAN

JOHNSON GARAGE

2803 OAKLAND AVENUE NASHVILLE, TENNESSEE
This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.

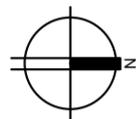


1 1ST FLOOR PLAN
1/4" = 1'-0"

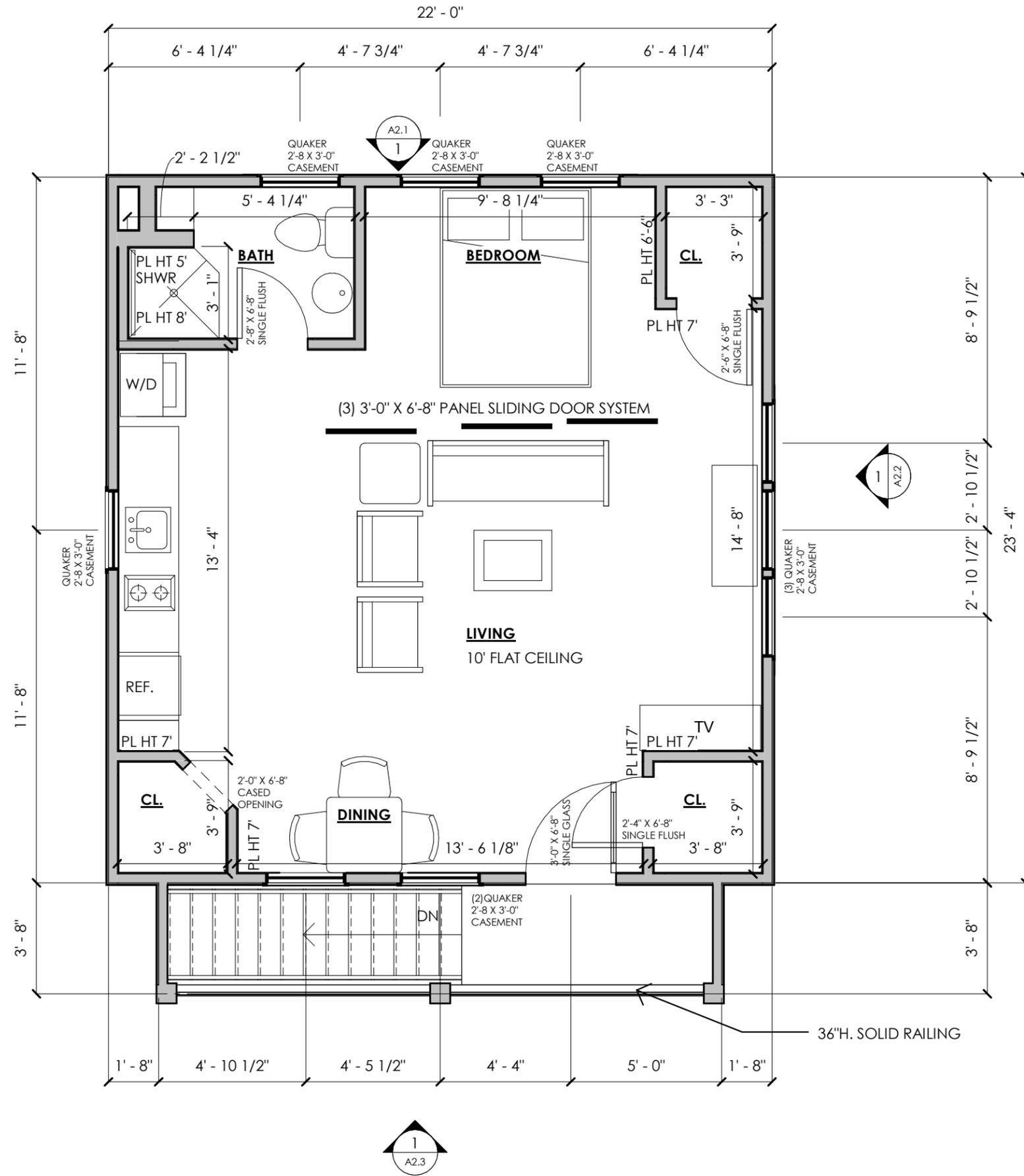


ENCLOSED STAIR

SOLID FENCE
(MATCH NEIGHBOR)



1 2ND FLOOR PLAN
1/4" = 1'-0"



William C. Johnson Architect

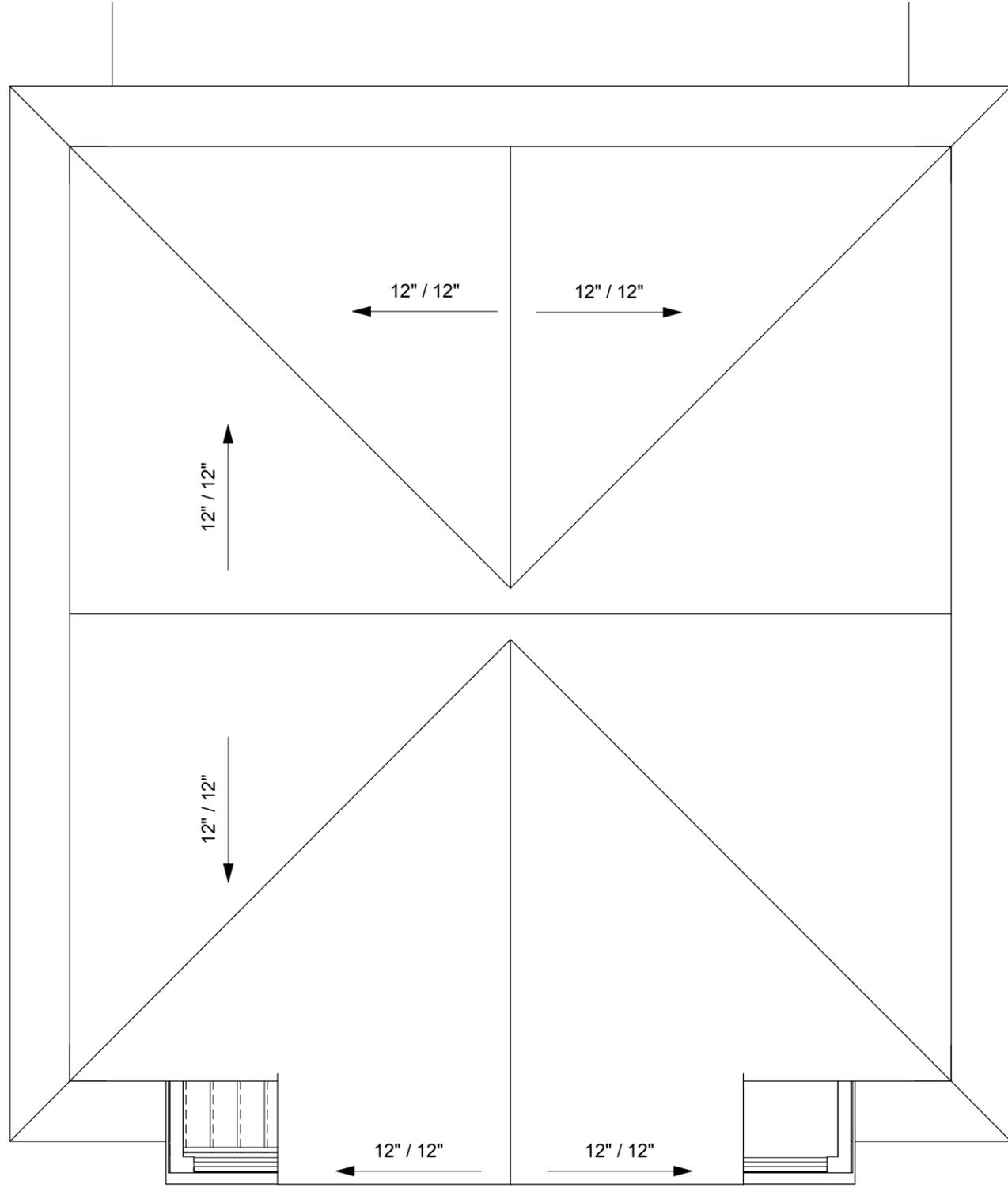
P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16

SECOND FLOOR PLAN

JOHNSON GARAGE
2803 OAKLAND AVENUE NASHVILLE, TENNESSEE
This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.



① ROOF PLAN
1/4" = 1'-0"



**William C.
Johnson
Architect**

P.O. Box 121613
Nashville
Tennessee
37212-1613
t 615.292.4017
f 615.301.7024

Issue Date
06.30.16

ROOF PLAN

JOHNSON GARAGE

2803 OAKLAND AVENUE NASHVILLE, TENNESSEE

This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.

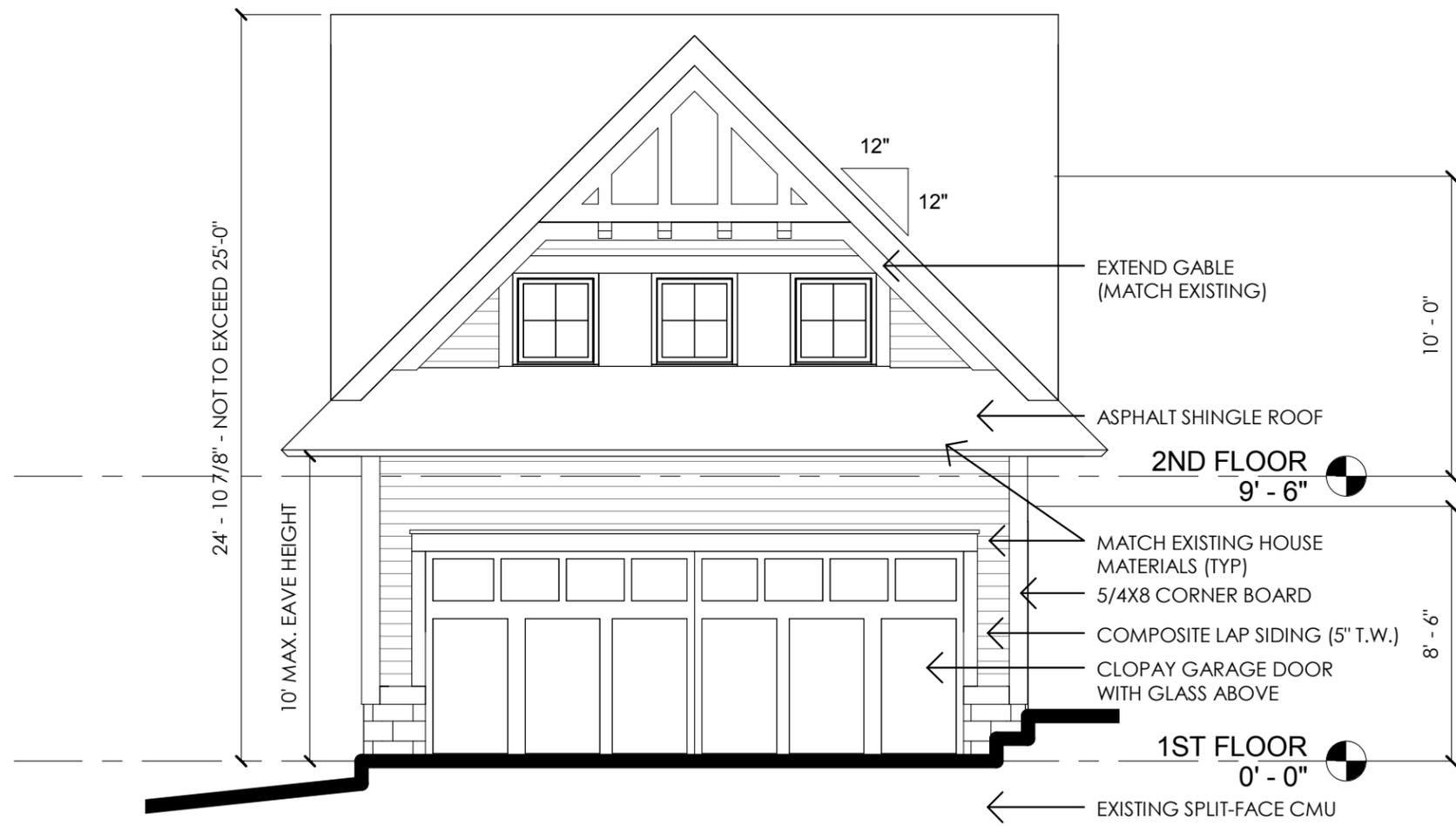


William C. Johnson Architect

P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16



① ELEVATION - WEST
3/16" = 1'-0"

EXTERIOR ELEVATION

JOHNSON GARAGE

2803 OAKLAND AVENUE NASHVILLE, TENNESSEE
This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.

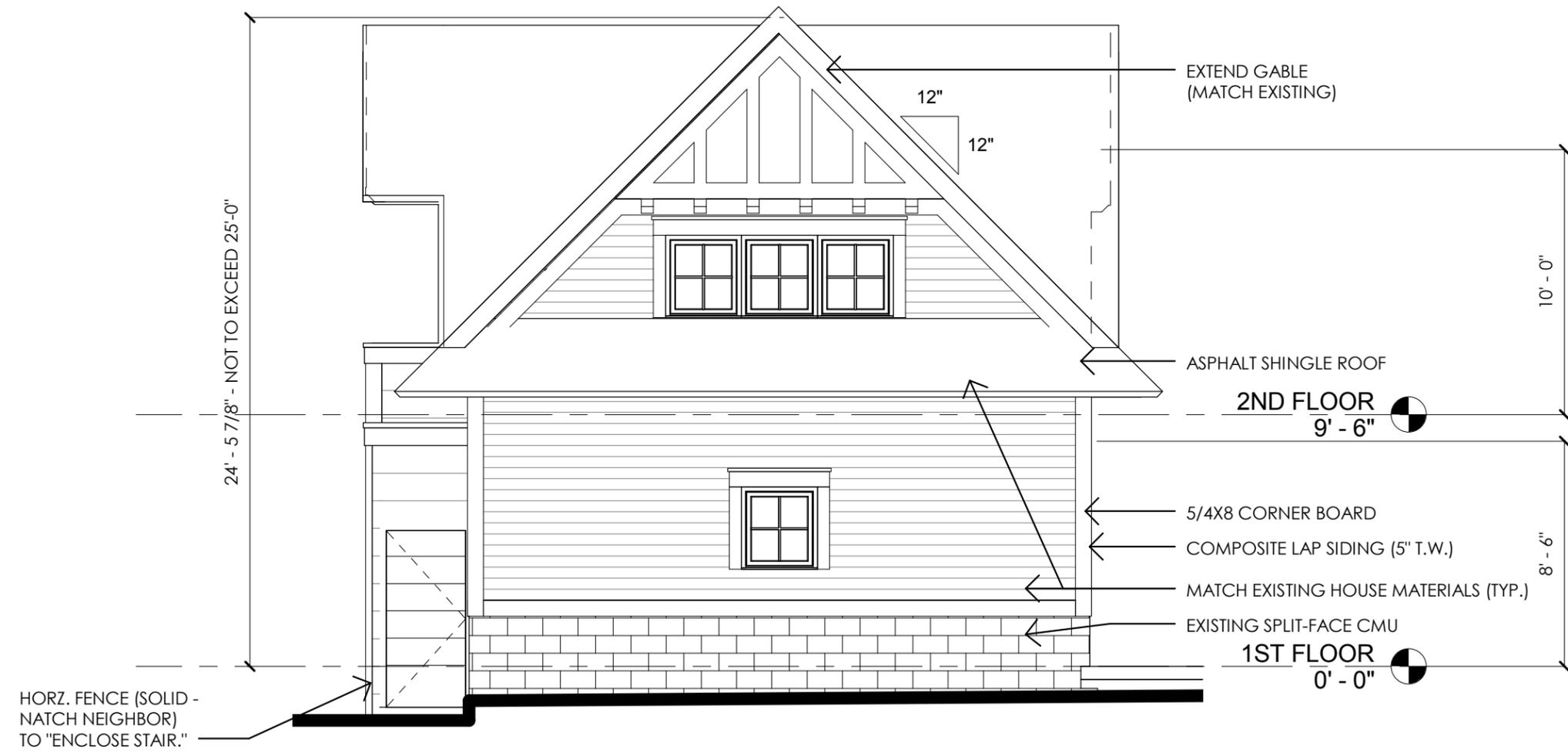


**William C.
Johnson
Architect**

P.O. Box 121613
Nashville
Tennessee
37212-1613

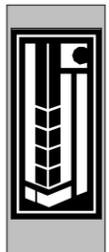
t 615.292.4017
f 615.301.7024

Issue Date
06.30.16



① ELEVATION - NORTH
3/16" = 1'-0"

EXTERIOR ELEVATION

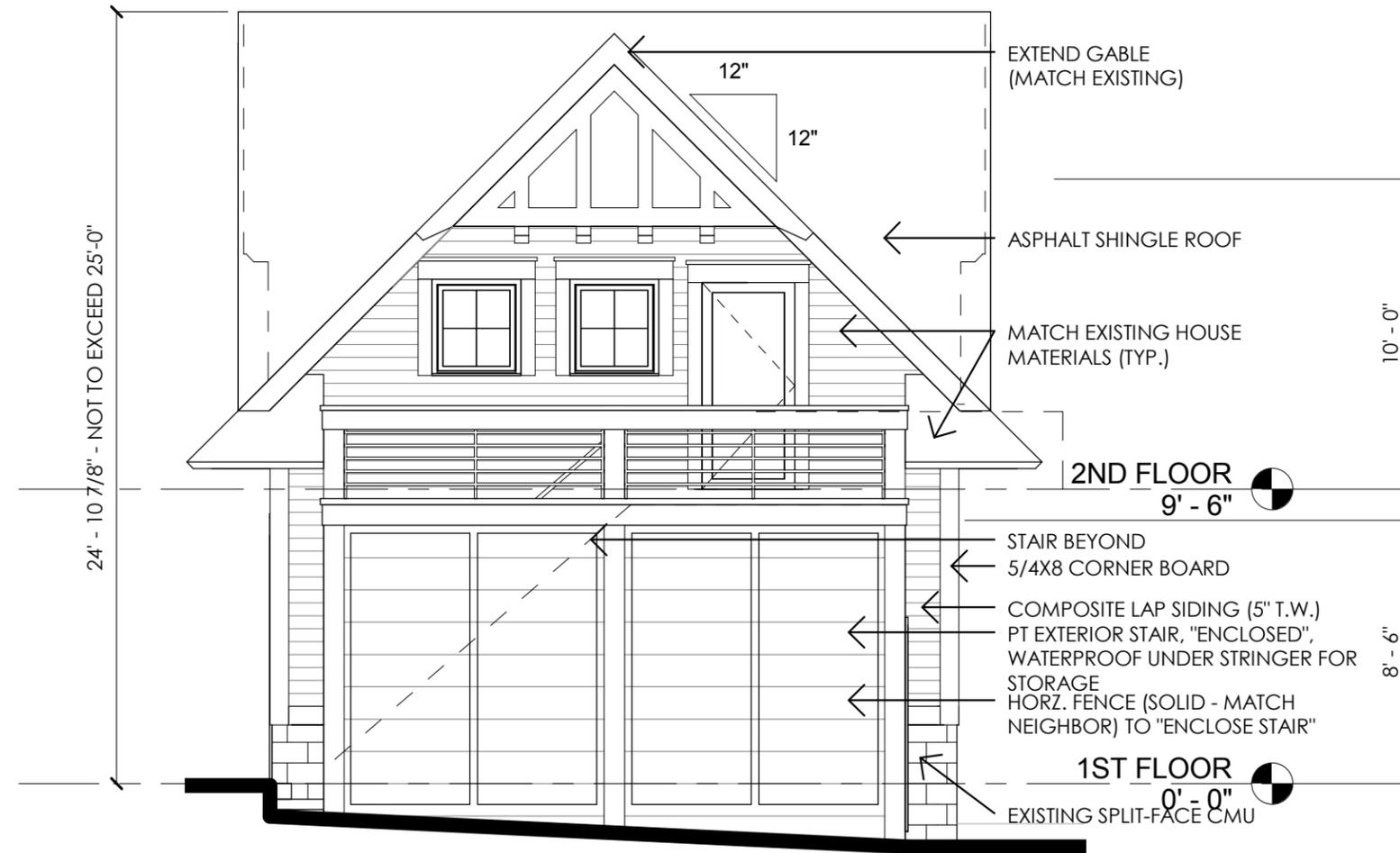


**William C.
Johnson
Architect**

P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16



① ELEVATION - EAST
3/16" = 1'-0"

EXTERIOR ELEVATION

JOHNSON GARAGE
2803 OAKLAND AVENUE NASHVILLE, TENNESSEE

This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.

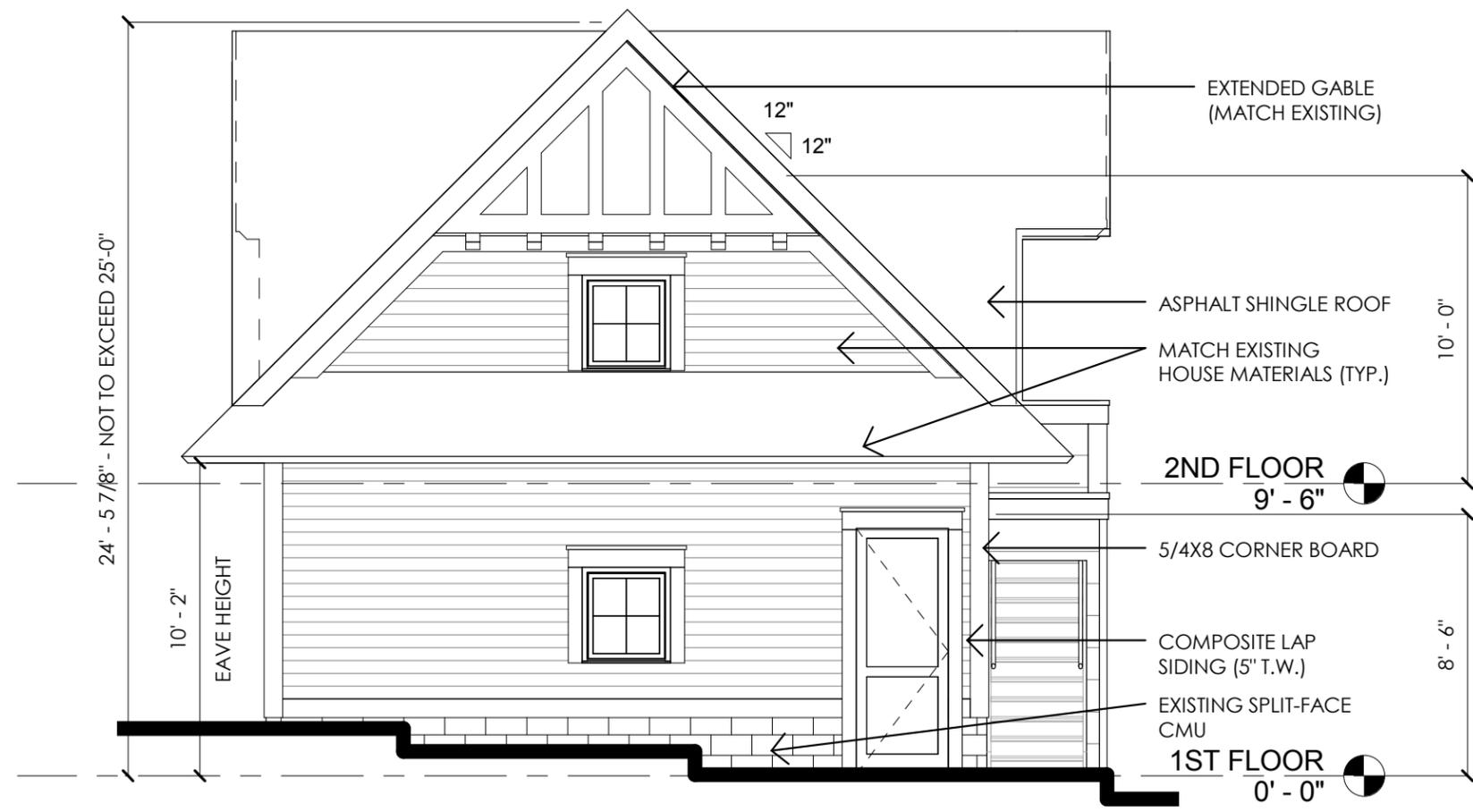


William C. Johnson Architect

P.O. Box 121613
Nashville
Tennessee
37212-1613

t 615.292.4017
f 615.301.7024

Issue Date
06.30.16



① ELEVATION - SOUTH
3/16" = 1'-0"

EXTERIOR ELEVATION

JOHNSON GARAGE
2803 OAKLAND AVENUE NASHVILLE, TENNESSEE
This drawing, as an instrument of service, is and shall remain in the property of the Architect and shall not be reproduced, published, or used in any way without the written permission of the Architect.