

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**

**1021 Paris Avenue**

**October 19, 2016**

**Application:** New construction—addition to outbuilding; Setback determination

**District:** Waverly-Belmont Neighborhood Conservation Zoning Overlay

**Council District:** 17

**Map and Parcel Number:** 11801023800

**Applicant:** Kaitlyn Smous

**Project Lead:** Melissa Baldock, [melissa.baldock@nashville.gov](mailto:melissa.baldock@nashville.gov)

**Description of Project:** Application is to add a carport addition to a previously approved outbuilding. The carport addition requires a rear setback determination from twenty feet (20') to five feet (5'). The outbuilding will not be used as a detached accessory dwelling unit (DADU).

**Recommendation Summary:** Staff recommends approval of the project with the condition that staff approve the metal roof color prior to purchase and installation. With this condition, staff finds that the carport addition and setback determination meet Sections III.C. and III.H. of the design guidelines for the Waverly Belmont Neighborhood Conservation Zoning Overlay

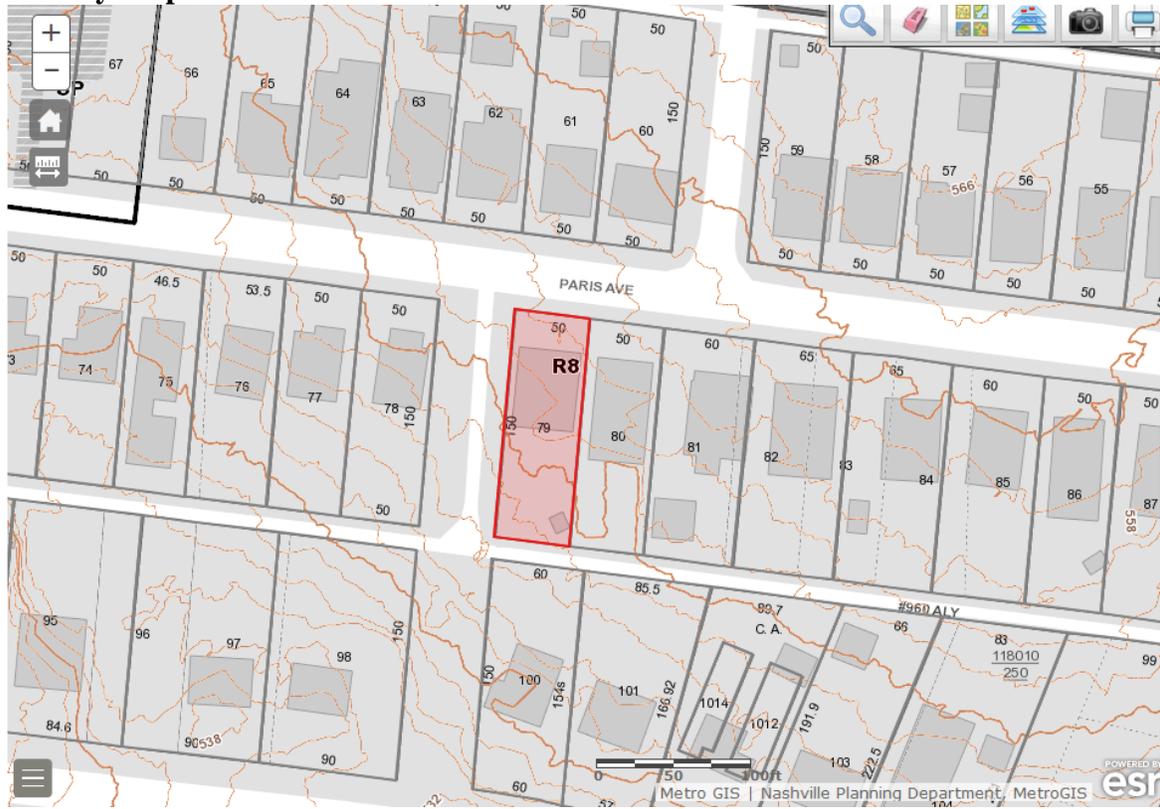
The Commission does not have the authority to approve the use. This recommendation is for the design of the project based on the proposed use.

**Attachments**

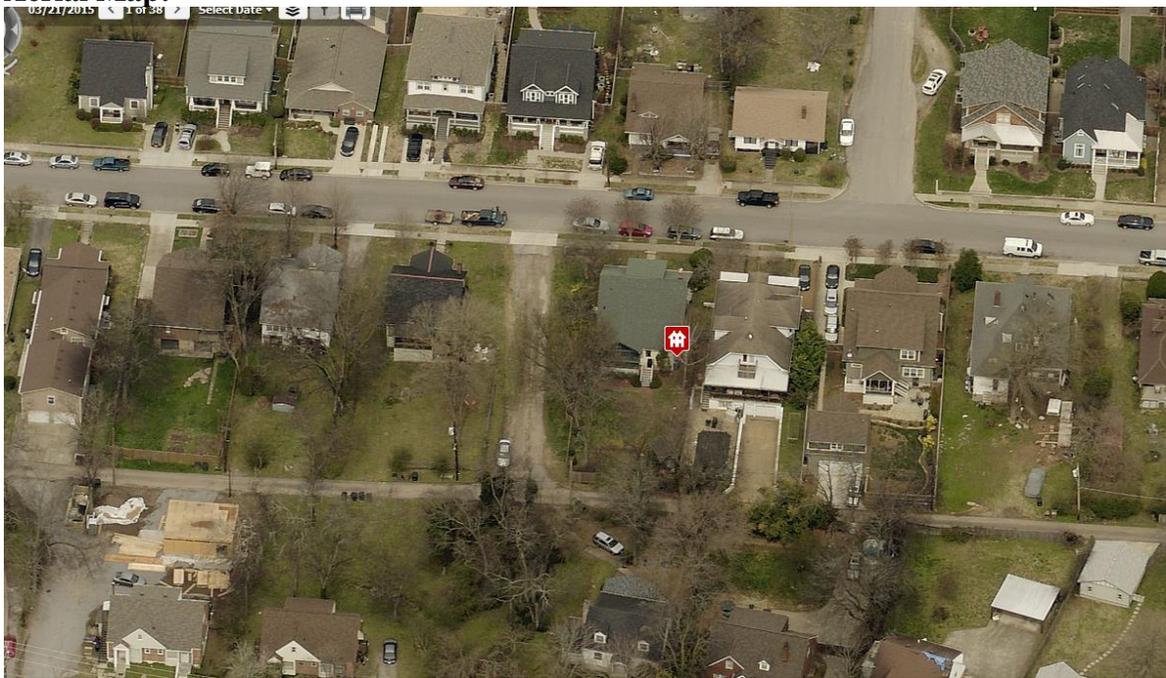
**A:** Site Plan

**B:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III. New Construction

#### C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

#### H. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

*Outbuildings: Height & Scale*

- a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*
  - b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*
  - c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*
2. Historically, outbuildings were utilitarian in character. High-style accessory structures are generally not appropriate for Waverly-Belmont.
  3. Roof
    - a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those

of the existing primary building. In Waverly-Belmont, historic accessory buildings were between 8' and 14' tall.

- b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
- c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
- d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

#### 4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
- e. Decorative raised panels on publicly visible garage doors are generally not appropriate.

#### 5. Siding and Trim

- a. Weatherboard, and board-and-batten are typical siding materials.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
- d. Stud wall lumber and embossed wood grain are prohibited.
- e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

#### 6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.

- a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
- b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
- c. Generally, attached garages are not appropriate.

#### *Setbacks & Site Requirements.*

- d. *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- e. *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- f. *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- g. *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

#### *Driveway Access.*

- h. *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for*

*driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

*i. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*J. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

**Background:** 1021 Paris Avenue is a c. 1910 frame bungalow that contributes to the historic character of the Waverly-Belmont Neighborhood Conservation Zoning Overlay (Figure 1). In July 2016, MHZC staff issued an administrative permit to construct a six hundred and twenty-four square foot (624 sq. ft.) outbuilding. The outbuilding does not contain a garage and does not include a dwelling unit.



Figure 1. 1021 Paris Avenue.

**Analysis and Findings:** Application is to add a carport addition to a previously approved outbuilding. The carport addition requires a rear setback determination from twenty feet (20') to five feet (5'). The outbuilding will not be used as a detached accessory dwelling unit (DADU).

Site Planning & Setbacks:

	<b>MINIMUM</b>	<b>PROPOSED</b>
<b>Building located towards rear of lot</b>	n/a	Yes
<b>Space between principal building and DADU/Garage</b>	20'	39'
<b>Rear setback</b>	20'	5'
<b>L side setback**</b>	3'	9'11"
<b>R side setback**</b>	3'	6'2"
<b>How is the building accessed?</b>	From the alley or existing curb cut	N/A - No vehicular doors
<b>If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?</b>	Two-bay	N/A

The carport addition to the outbuilding requires a rear setback determination. When an outbuilding has a footprint greater than seven hundred square feet (700 sq. ft.), base zoning requires that the structure be located twenty feet (20') from the rear property line and five feet (5') from the side property lines. In this instance, the structure is located at least five feet (5') from the side property lines, but it is located just five feet (5') from the rear property line. Staff finds that the proposed rear setback is appropriate because for structures that are seven hundred square feet (700 sq. ft.) or less that do not have vehicular doors, the rear setback is just three feet (3'). The previously approved outbuilding is located five feet (5') from the rear property line, and when it was approved, it met the rear base zoning setback. However, because the carport addition will increase the footprint of the overall structure to over seven hundred square feet (700 sq.ft.), the base zoning rear setback requirement increases to twenty feet (20').

The carport addition will not be any closer to the rear property line than the previously approved outbuilding. A five foot (5') rear setback for a structure that is slightly larger at seven hundred and fifty square feet (750 sq. ft.) is appropriate. Historically, outbuildings were located at the rear of the property, close to the rear property line. A five foot (5') rear setback is more historically appropriate than a twenty foot (20') rear setback. In addition, the five foot (5') rear setback allows for more space between the primary structure and the outbuilding. Staff recommends approval of the setback determination.

Staff finds that the carport addition to the outbuilding meets Sections III.C. and III.H. of the Waverly Belmont Neighborhood Conservation Zoning Overlay design guidelines.

Massing Planning:

	<b>Existing conditions (height of historic portion of the home to be measured from finished floor)</b>	<b>Potential maximums (heights to be measured from grade)</b>	<b>Proposed (should be the same or less than the lesser number to the left)</b>
<b>Ridge Height</b>	22'	22'	Previously approved garage = 17'9" Proposed carport = 8'
<b>Eave Height</b>	10'	10'	Previously approved garage = 7'9" Proposed carport = 13'

The proposed is a one-story building on a lot less than 10,000 square feet.

One-story building:

	<b>Lot is less than 10,000 square feet</b>	<b>50% of first floor area of principle structure</b>	<b>Proposed footprint</b>
<b>Maximum Square Footage</b>	750 sq. ft.	850 sq. ft.	750 sq. ft. (624 sq.ft. previously approved garage; 126 sq. ft. proposed carport)

Staff finds that the carport addition to the outbuilding meets Section III.H. of the Waverly Belmont Neighborhood Conservation Zoning Overlay design guidelines.

Design Standards: The previously approved outbuilding and the proposed carport both have a simple, utilitarian design that is appropriate for outbuildings. The roof forms, detailing, and overall form do not contrast greatly with the primary structure. The outbuilding is also in a minimally-visible location at rear of the lot.

Staff finds that the design of the carport addition to the outbuilding meets Section III.H. of the Waverly Belmont Neighborhood Conservation Zoning Overlay design guidelines.

Roof Shape & Elements:

Shape

<b>Proposed Element</b>	<b>Proposed Form</b>	<b>Typical of district?</b>
Previously approved outbuilding primary roof form	Gable	Yes
Previously approved outbuilding primary roof form	8/12	Yes

Proposed carport roof form	Shed	Yes
Proposed carport roof form	3/12	Yes

Elements

	YES	NO
<b>If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?</b>	N/A	
<b>If dormers are used, do they sit back from the wall below by at least 2'?</b>	N/A	
<b>Is the roof pitch at least 4/12?</b>	Yes for primary form*	

\*The primary roof form is a gable with an 8/12 slope, and was approved under the preservation permit for the outbuilding. The carport addition to the outbuilding will be a secondary roof form with a slope of 3/12. This lower slope is appropriate for a secondary roof form.

Staff finds that the proposed roof form meets Section III.H. of the Waverly Belmont Neighborhood Conservation Zoning Overlay design guidelines.

Carport Materials:

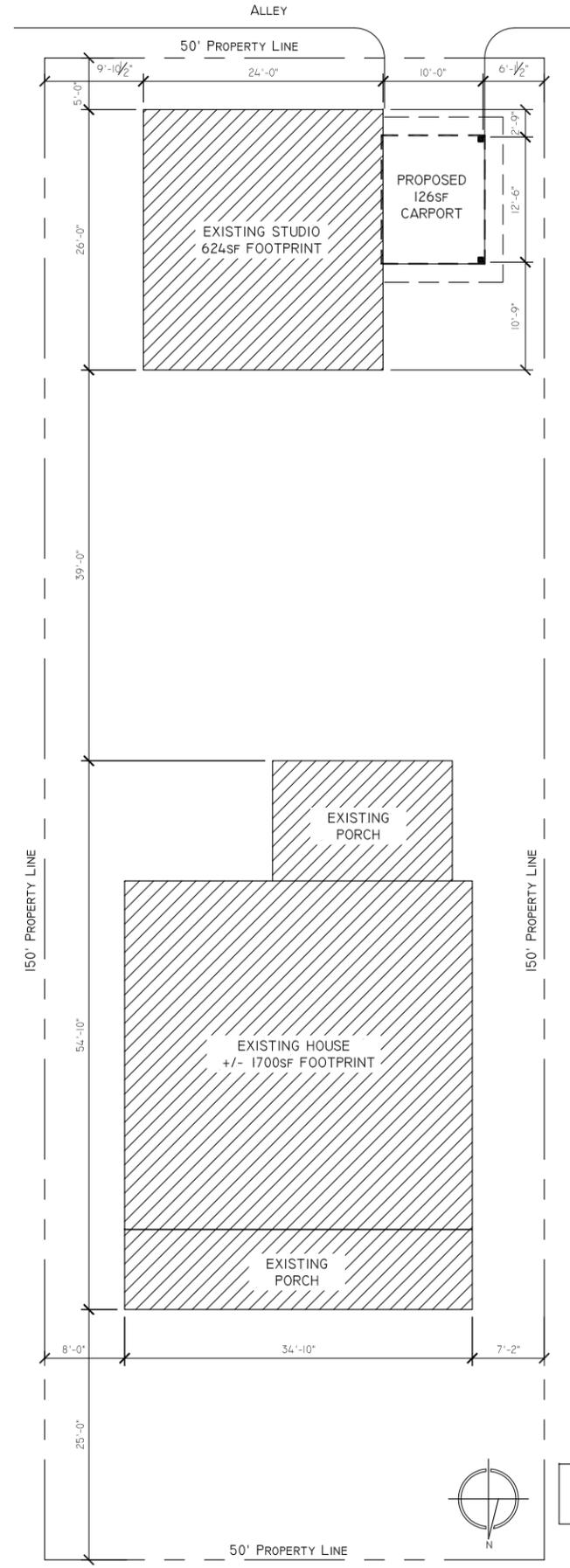
	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood	Requires final Review
<b>Foundation</b>	Concrete slab	Natural color	Yes	No
<b>Posts</b>	Cedar	N/A	Yes	No
<b>Roofing</b>	Standing Seam Metal	Unknown	Yes	Yes
<b>Trim</b>	Cement fiber	smooth	Yes	No
<b>Driveway</b>	Concrete	N/A	Yes	No

With the staff's final approval of the roof color, staff finds that the known materials meet Section III.H. of the design guidelines.

Appurtenances & Utilities: No changes to the appurtenances were indicated on the site plan.

**Recommendation Summary:** Staff recommends approval of the project with the condition that staff approve the metal roof color prior to purchase and installation. With this condition, staff finds that the carport addition and setback determination meet Sections III.C. and III.H. of the design guidelines for the Waverly Belmont Neighborhood Conservation Zoning Overlay

The Commission does not have the authority to approve the use. This recommendation is for the design of the project based on the proposed use.



**1 SITE PLAN**  
 SCALE: 1/16"=1'-0"

A CARPORT FOR THE STUDIO AT  
**1021 PARIS AVENUE**  
 NASHVILLE, TN 37204



NINE12DESIGN@GMAIL.COM  
 615.761.9902  
 WWW.NINE12DESIGN.COM

PLOT DATE:  
 OCTOBER 3RD, 2016  
 MHZC APPLICATION

SITE PLAN

AI.0

A CARPORT FOR THE STUDIO AT  
1021 PARIS AVENUE  
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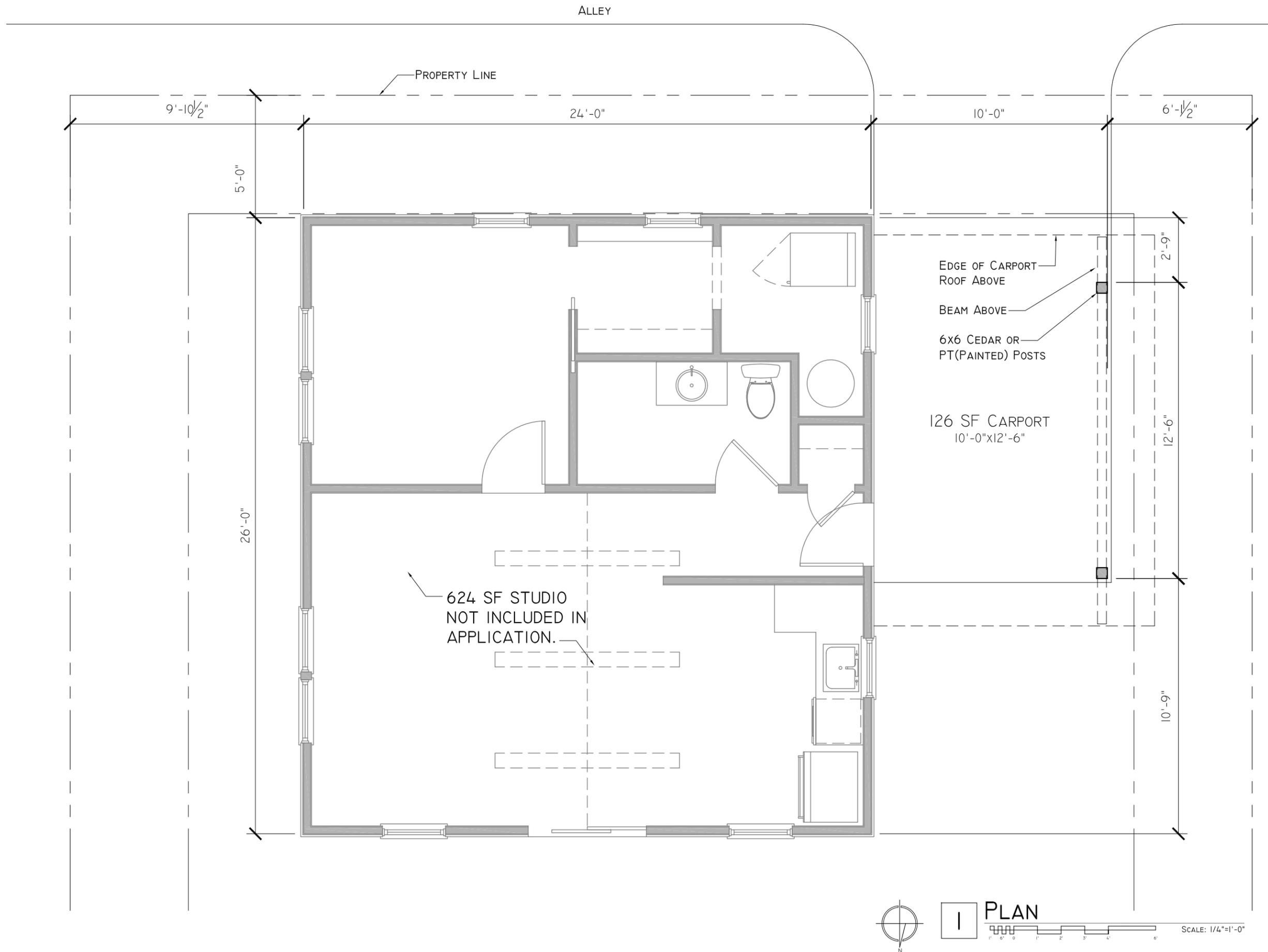
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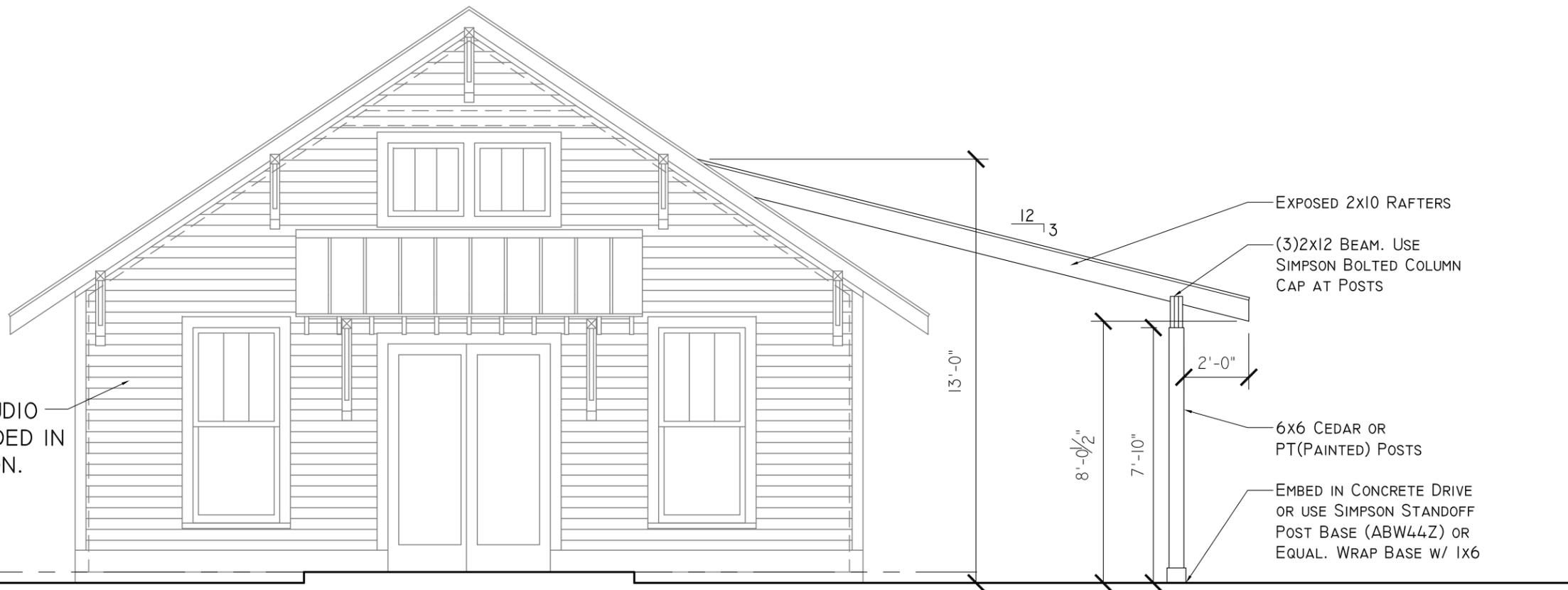
PLAN

A1.1



A CARPORT FOR THE STUDIO AT  
1021 PARIS AVENUE  
NASHVILLE, TN 37204

624 SF STUDIO  
NOT INCLUDED IN  
APPLICATION.



- EXPOSED 2x10 RAFTERS
- (3)2x12 BEAM. USE SIMPSON BOLTED COLUMN CAP AT POSTS
- 6x6 CEDAR OR PT(PAINTED) POSTS
- EMBED IN CONCRETE DRIVE OR USE SIMPSON STANDOFF POST BASE (ABW44Z) OR EQUAL. WRAP BASE W/ 1x6

**nine  
12  
design**

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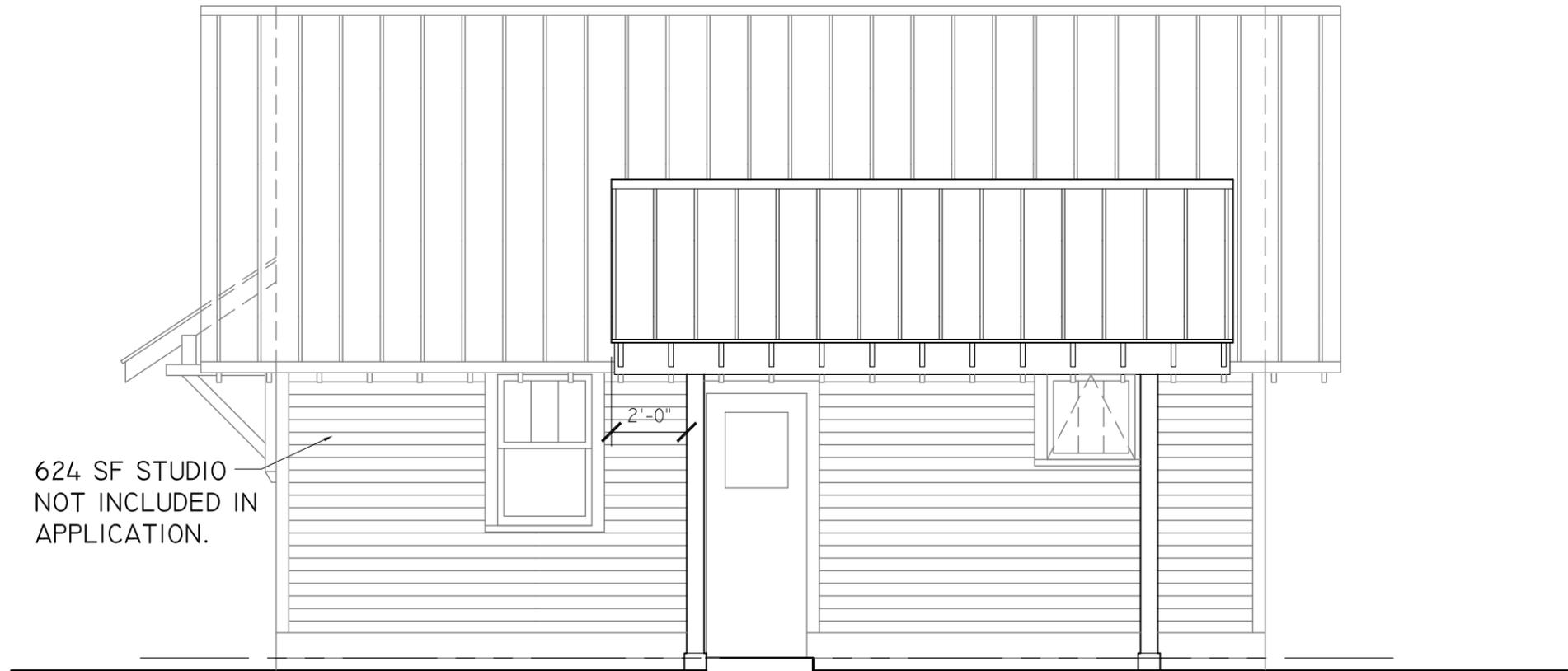
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MHZC APPLICATION

NORTH ELEVATION

**1** NORTH ELEVATION  
SCALE: 1/4"=1'-0"

A2.0

A CARPORT FOR THE STUDIO AT  
1021 PARIS AVENUE  
NASHVILLE, TN 37204



624 SF STUDIO  
NOT INCLUDED IN  
APPLICATION.

2'-0"

**nine  
12  
design**

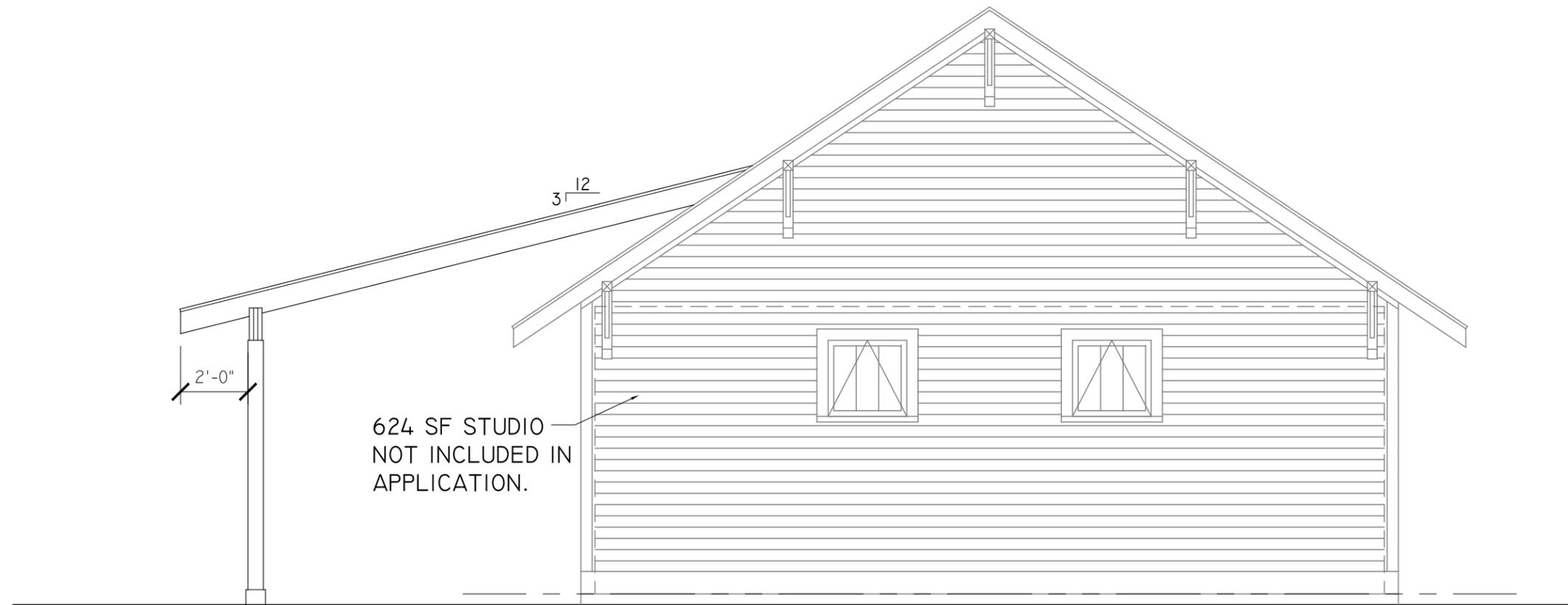
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PLOT DATE:  
OCTOBER 3RD, 2016  
MHZC APPLICATION

WEST ELEVATION

**1 WEST ELEVATION**  
SCALE: 1/4"=1'-0"

A2.1



A CARPORT FOR THE STUDIO AT  
 1021 PARIS AVENUE  
 NASHVILLE, TN 37204

MHZC PERMIT APPLICATION

**nine  
 12  
 design**

NINE12DESIGN@GMAIL.COM  
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PLOT DATE:  
 OCTOBER 3RD, 2016  
 MHZC APPLICATION

SOUTH ELEVATION

**1** SOUTH ELEVATION  
 SCALE: 1/4"=1'-0"

A2.2