

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION

1227 Fifth Ave North

October 19, 2016

Application: New construction- outbuilding; Setback determination

District: Germantown Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 08209029000

Applicant: Ronald W. Hogan, property owner

Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

Description of Project: Application is to construct a new structure in the rear yard and includes a setback determination to reduce the rear setback from twenty feet (20') to five feet (5'). No changes are proposed to the historic home.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. Staff approve the final roof, windows, doors, and garage door selections as well as the color and texture of the masonry prior to purchase and installation; and
2. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that that the design, massing and siting of the outbuilding meet sections 2.9 of the *Germantown Historic Overlay Design Guidelines*.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

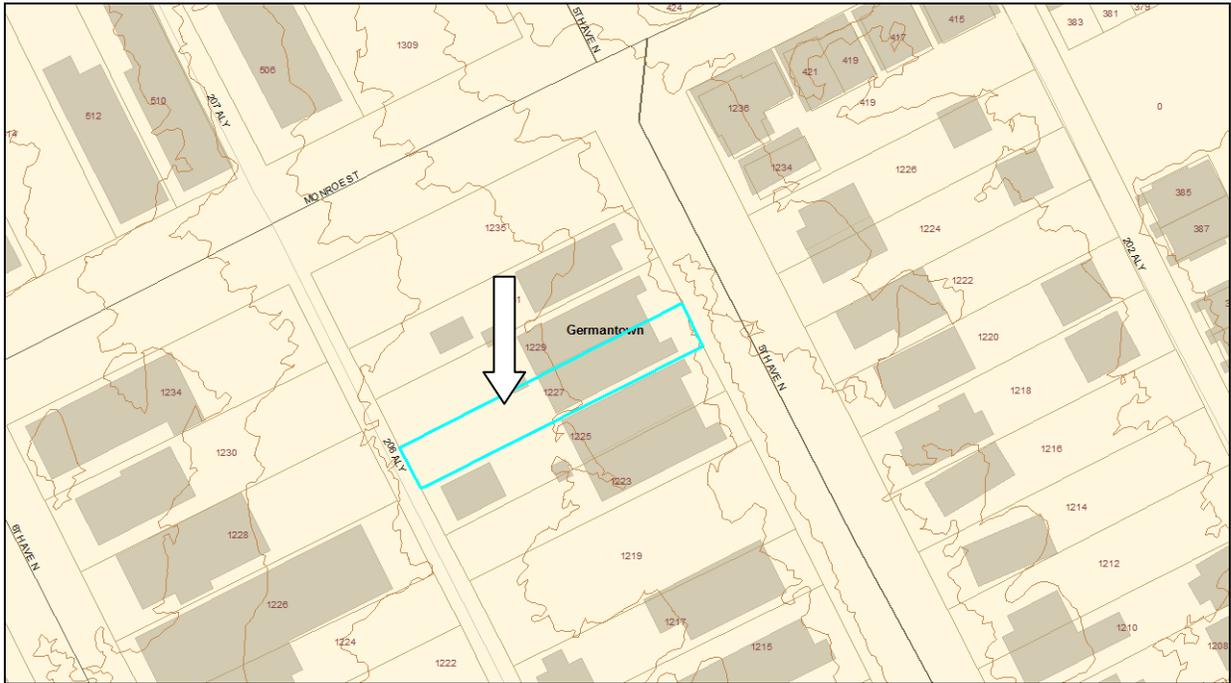
Attachments

A: Photographs

B: Site Plan

D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

2.9 Outbuildings / Garages / Carports / Accessory Buildings

- 2.9.1 Historically, outbuildings, garages and carports were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide corner boards and window and door casings (trim).
- 2.9.2 Outbuildings, garages, carports and accessory buildings shall be located to the rear of the property. When a definite rhythm along a street/alley is established by uniform lot and building width, infill construction shall maintain that rhythm.
- 2.9.3 The predominant vehicular access to properties within the District should continue to be through the use of alleys. Garages and carports shall be accessed from the service alley as is typical for historic buildings in the district. For most residential lots new curb cuts on public streets are generally not appropriate. The removal of unnecessary existing curb cuts on primary streets is encouraged. It is acknowledged that in some cases alley access may not be possible or practical. In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.
- 2.9.4 The design of outbuildings, garages, carports and accessory buildings shall not be visually disruptive to the character of surrounding buildings.
- 2.9.5 The size and mass of outbuildings, garages, carports and accessory buildings in relation to open spaces and its windows and openings shall be visually compatible with the primary building and surrounding buildings.
- 2.9.6 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.
- 2.9.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

Background: The house located at 1227 Fifth Avenue North is a single-story, zero-lot line dwelling that was constructed c. 1899 (Figure 1). The house contributes to the historic character of the Germantown Historic Preservation Zoning Overlay.

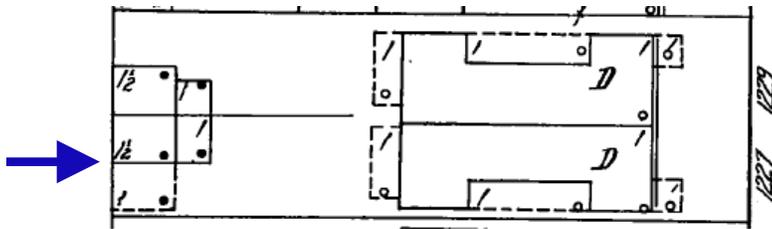


Figure 1: 1227 Fifth Avenue North

Analysis and Findings: The applicant proposes to construct a two-story detached outbuilding in the rear yard. The property is zoned MUN, which allows for a second unit. The Commission does not have the authority to approve the use or the number of units. This recommendation is for the design of the building based on the proposed use and zoning.

Location, Setback: The proposed structure is located in the rear yard of the property with its garage doors facing the alley, as is typical for outbuildings in Germantown. The location of the structure does not meet the base zoning requirements for the rear setback. The bulk standards for MUN allow for zero foot side setback and requires a twenty feet (20') rear setback. As proposed, the structure has a five feet (5') rear setback, zero foot (0') right side setback, and two feet, two inches (2'-2") left side setback. Staff finds that

the proposed setback determination is appropriate in this instance since the 1914 Sanborn map shows that this property once had a rear outbuilding that was located on the rear property line (Figure 2).



Staff finds the location and setbacks of the proposed outbuilding to meet Sections 2.9.2. and 2.9.3. of the *Germantown Historic Overlay Design Guidelines*.

Figure 2: 1914 Sanborn map

Height, Scale: The existing single-story house has a ridge height of twenty-five feet (25'). The proposed structure is two stories, but is shorter than the existing house at twenty-two feet, six inches (22'6"). Staff finds a two-story structure behind a one-story historic structure is appropriate in this case because the Germantown neighborhood is diverse, with many utilitarian and industrial structures of two or more stories. In addition, the 1914 Sanborn map shows that on this site there was a one-and-a-half story accessory structure, which although less than two stories, was still larger in terms of number of floors than the historic house (Figure 2). Lastly, staff finds the two-story accessory structure appropriate because it is two feet, six inches (2'6") lower in height than the historic house.

The outbuilding will be twenty-three feet, six inches (23'-6") wide. By contrast the historic house is approximately twenty-four feet (24') wide. The proposed footprint of the outbuilding is six hundred and fifty-two square feet (652 sq. ft.) compared to the footprint of the historic house which is approximately one thousand six hundred and ten square feet (1610 sq. ft.). Therefore, the proposed structure will not be wider than the historic house and will have a footprint that is less than half the footprint of the primary structure.

Historically, outbuildings were subordinate to principle dwellings and had massings which were significantly smaller in terms of width, height and square footage. In most cases, the guidance for outbuildings has specific size requirements; however, those are not relevant in this case because of the mixed use zoning of the property, which permits multi-family. Given the zoning and historic context, staff finds the massing of the proposed structure to be appropriate as it is subordinate to the historic home in terms of height, width, and footprint. Therefore, staff finds that the height and scale of the proposed outbuilding are appropriate and meet Section 2.9.5. of the *Germantown Historic Overlay Design Guidelines*.

Materials, Texture, and Details and Material Color: The proposed outbuilding will have a concrete slab foundation with brick as the primary cladding material. Staff finds that the proposed materials are appropriate as they are common within the district.

The materials for the windows, doors, garage doors, and roofing are unknown. Staff finds, that with conditions that staff approve the final roof, windows, doors, and garage door selections as well as the color and texture of the masonry prior to purchase and installation, the proposed outbuilding can meet Section 2.9.1. of the *Germantown Historic Overlay Design Guidelines*.

Roof and Building Form: The outbuilding will have a flat roof form which is characteristic of industrial/utilitarian structures that are seen throughout the neighborhood. Staff finds the flat form to be appropriate at this location because similar industrial influences are seen frequently on modern outbuildings and multi-family structures. In addition, the design of this building will not be disruptive to the historic character of the house and the district because it is neither taller nor wider than the historic house and will not be visible from the street.

Staff finds the accessory building's roof and building form to meet Section 2.9.1. and 2.9.4. of the *Germantown Historic Overlay Design Guidelines*.

Proportion and Rhythm of Openings: The windows on the proposed outbuilding meet the historic proportion of openings, which are generally twice as tall as they are wide. In addition, the garage doors will face the alley as is appropriate. No changes are proposed to the openings of the historic house. Staff finds the outbuilding's proportion and rhythm of openings to meet Section 2.9.5. of the *Germantown Historic Overlay Design Guidelines*.

Recommendation: Staff recommends approval of the application with the following conditions:

1. Staff approve the final roof , windows, doors, and garage door selections as well as the color and texture of the masonry prior to purchase and installation; and
2. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

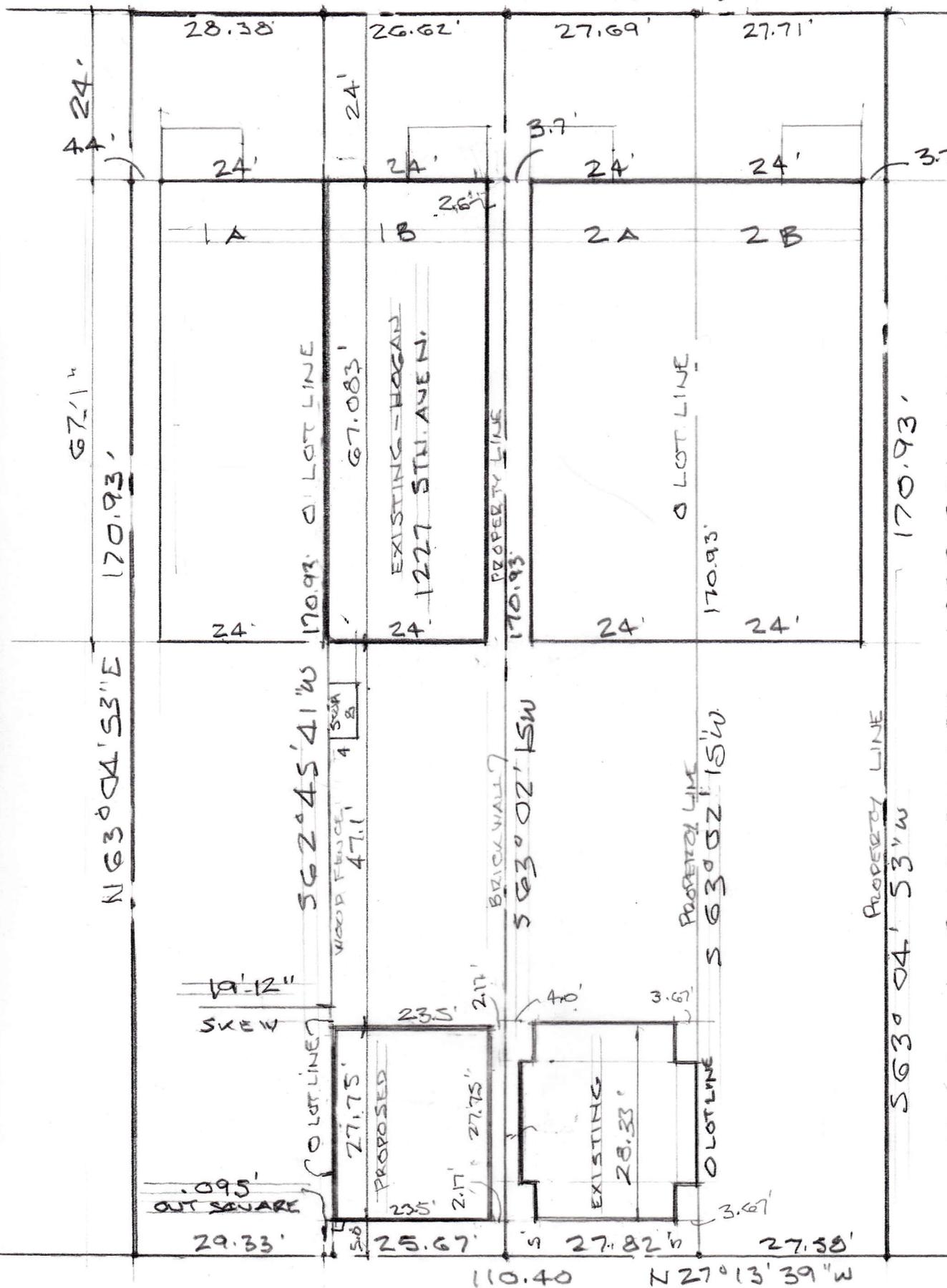
With these conditions, staff finds that that the design, massing and siting of the outbuilding meet sections 2.9 of the *Germantown Historic Overlay Design Guidelines*.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

5TH AVE N.

1" = 20'

110.40' S 27° 13' 39"



44' 24'

67.1'

170.93'

N 63° 04' 53" E

28.38'

26.62'

27.69'

27.71'

24'

24'

24'

24'

3.7'

A

B

2A

2B

24'

24'

24'

24'

170.93' O LOT LINE

67.083'

EXISTING - HOGAN
1227 5TH AVE N.

PROPERTY LINE

170.93'

O LOT LINE

170.93'

170.93'

S 62° 45' 41" W

WOOD FENCE
47.1'

BRICK WALL

S 63° 02' 15" W

PROPERTY LINE

S 63° 02' 15" W

PROPERTY LINE

S 63° 04' 53" W

19' 12" SKEW

.095' OUT SQUARE

29.33'

PROPOSED

27.75'

27.75'

23.5'

EXISTING

28.33'

23.5'

2.17'

2.17'

4.0'

3.6'

O LOT LINE

3.67'

25.67'

27.82'

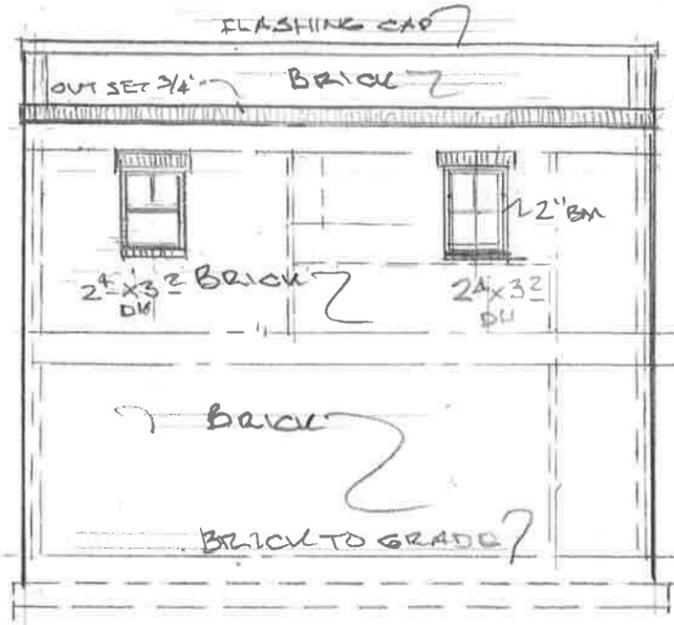
27.58'

110.40

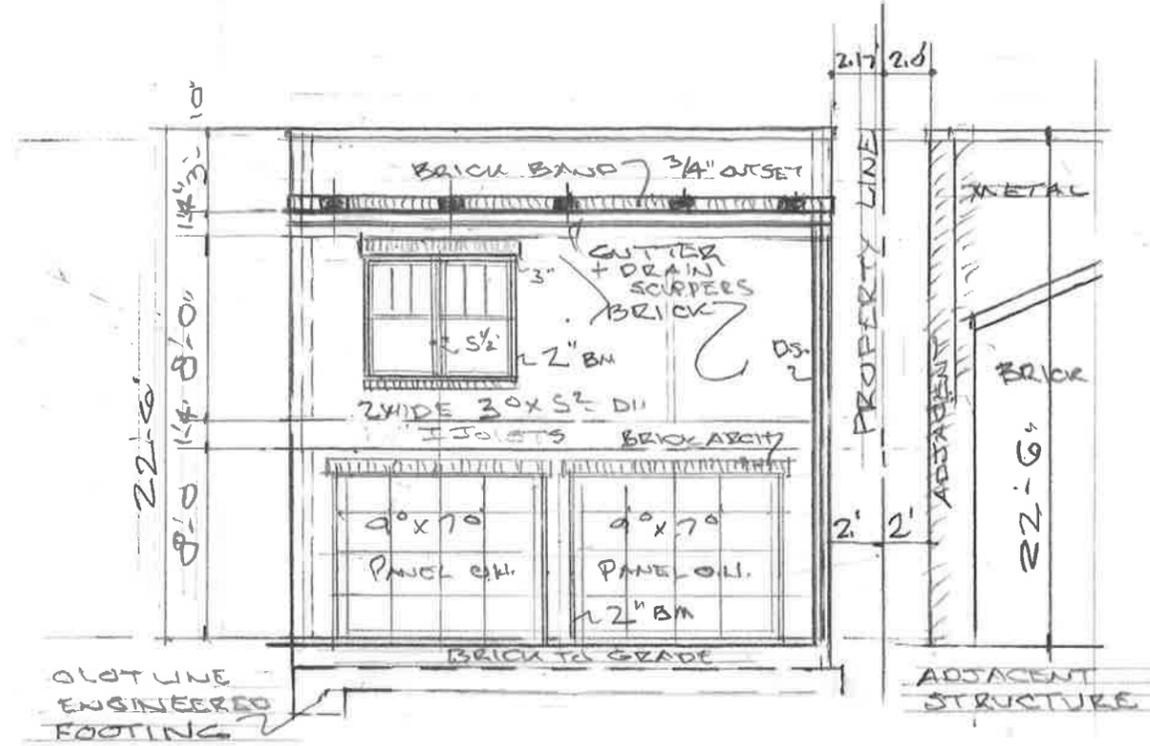
N 27° 13' 39" W

16' W ALLEY

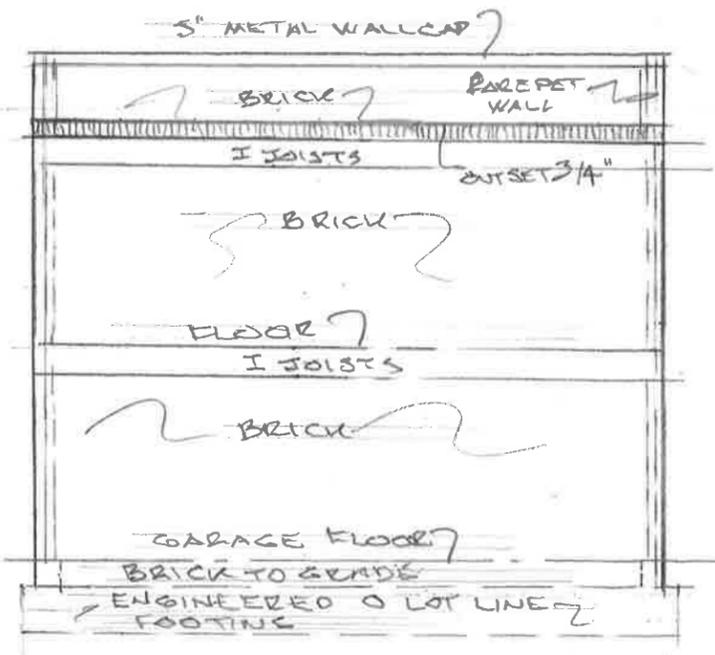
HOGAN RESIDENCE - 1227 5TH AVE N.
LOT 1-B OF RATTERMANS SUBDIVISION OF
LOTS 87, 88, 89, AND 90 - DEC 28 1983



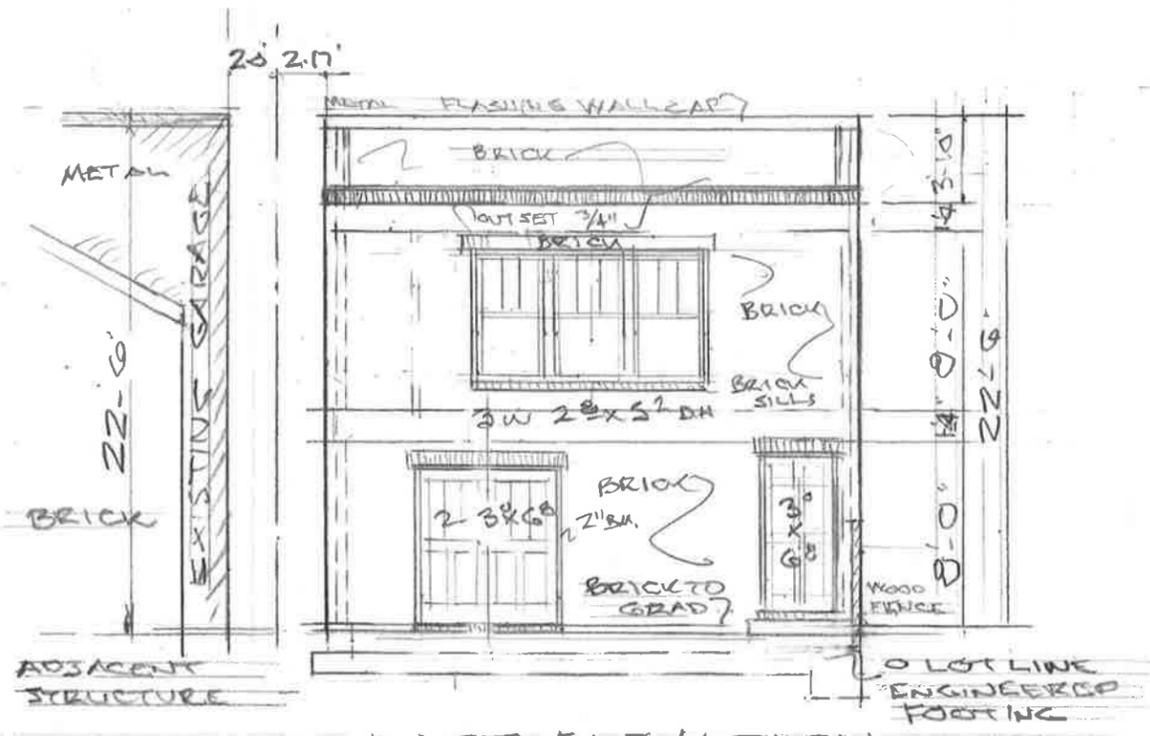
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

ELEVATIONS 1/8" = 1'-0" FOR 11" x 17" SHEET

