

MEGAN BARRY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

### STAFF RECOMMENDATION 400 Broadway October 19, 2016

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

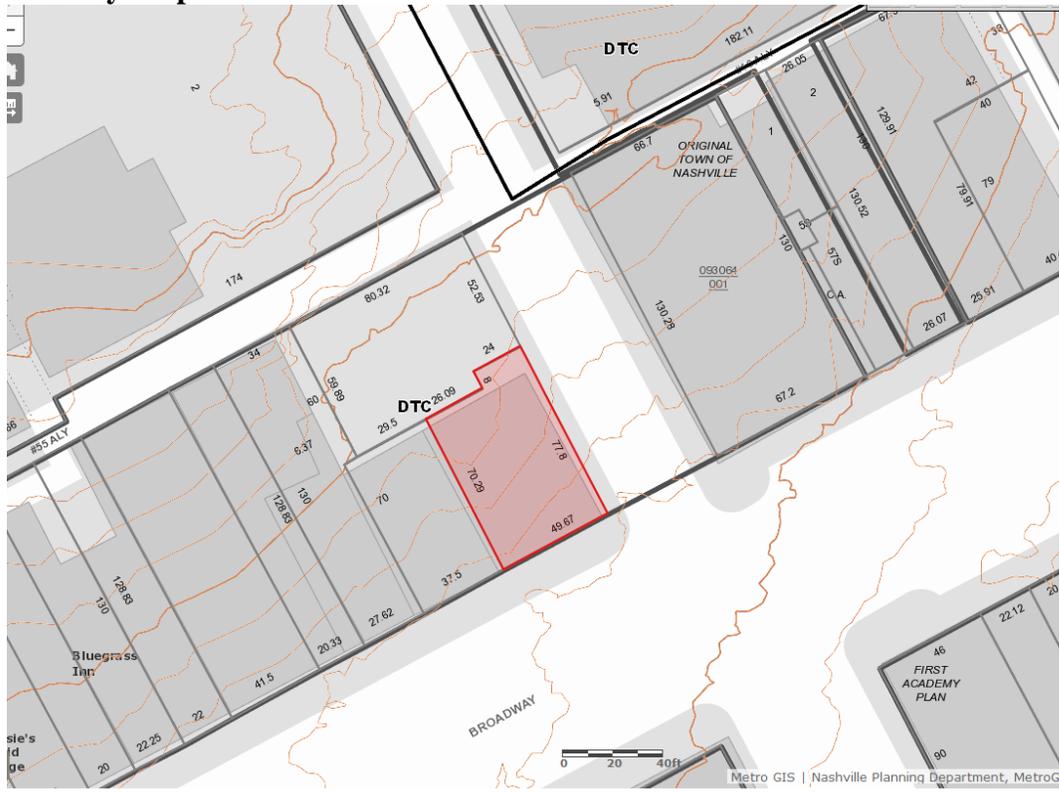
**Application:** New construction—alteration to previously approved addition  
**District:** Broadway Historic Preservation Zoning Overlay  
**Council District:** 19  
**Map and Parcel Number:** 09306308200  
**Applicant:** Joshua Hughes, Tuck Hinton  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to alter the design of previously-approved rooftop and rear additions.

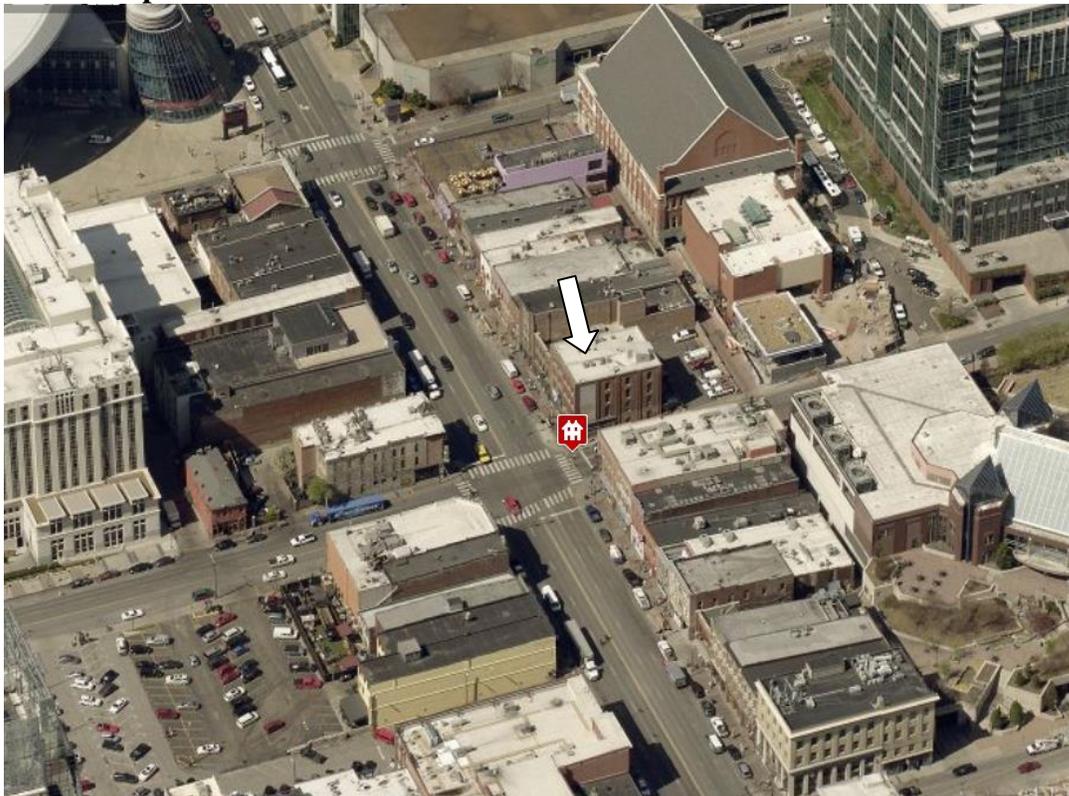
**Recommendation Summary:** Staff recommends approval of the project with the condition that staff approve the final material choice for the rear addition. With this condition, staff finds that the proposed additions meet Section III. of the *Broadway Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III. New Construction

#### H. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.

*Rooftop railings should set back from each street facing wall by 8’.*

*Railings should not be used to support additional elements such as speakers, lighting, plants or signage.*

*In locations where railings are visible from the street, the materials should minimize the impact of the railing.*

*Materials such as butt-joint glass or horizontal steel cable, may be appropriate*

3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

**Background:** 400 Broadway is a c. 1870 brick commercial structure that contributes to the Broadway Historic Preservation Zoning Overlay (Figure 1). The western-most portion of the building was altered in the early to mid-twentieth century with new window openings and steel windows. The building was altered again in 1990. The storefronts date to that restoration. In July 2016, the Historic Zoning Commission approved alterations to the building’s storefronts, new lighting, and a rooftop and rear addition. This application seeks to change the size of the previously-approved rooftop and rear additions.



Figure 1. 400 Broadway.

**Analysis and Findings:** Application is to alter the design of previously-approved rooftop and rear additions.

Rear Addition: The applicant is proposing a stairwell addition at the rear. The revised drawings show that the height of the rear addition has decreased from approximately fifty two feet (52') to fifty-one feet (51'). The addition is also inset further from the edge of the historic building. In July, MHZC approved the addition to sit just a few inches from the back corner of the building, and the new proposal shows the addition as being located approximately two feet (2') in from the corner of the historic building. Staff finds these changes to be appropriate. Staff is working with the applicant on approval of the material for this rear addition. With the condition that staff approve the final material choice, staff finds that the proposed rear addition meets Section II.N. and III.H. of the design guidelines.

Rooftop Addition: The height and scale of the main portion of the rooftop addition has not changed since the Commission voted to approve the project, with conditions, in July. It is the height, scale, and step backs of the stairwell bulkheads that are within the required stepback area that have been altered in the new proposal.

The stair bulkhead on the front façade of the rooftop addition was approved to extend ten feet (10') into the thirty foot (30') step back; of this ten feet (10'), approximately eight feet (8') was above the line of the lower parapet on Fourth Avenue North. The proposed revision will extend just eight feet (8') into the Broadway stepback area, but all of it will be above the height of the parapet on Fourth Avenue North. The revised bulkhead has a taller height than what was previously approved. The bulkhead was approved to be approximately five feet (5') above the parapet at the front, and the revised plans show it to be approximately six feet (6') above the parapet at the front. The revised bulkhead is still slanted so that the tallest portion of the bulkhead is further back. Staff finds that the revised height of the bulkhead to be in keeping with previous Commission decisions to allow intrusions into the required rooftop's addition stepback area. At six feet (6'), the bulkhead will likely be at most minimally visible, and staff therefore finds that its encroachment to the required stepback is appropriate.

The revised proposal also includes changes to the stair bulkhead on the Fourth Avenue North façade. In July, the Commission approved a stairwell bulkhead that encroached approximately seven feet (7') into the stepback area and that had a height of about three feet (3') above the parapet. However, the portion of the stair bulkhead that intruded upon the stepback area was lower in height than the parapet. The revised plans show an encroachment of eight feet (8') and a height of seven feet (7') above the parapet on Fourth Avenue North. Staff finds that the revised height of the bulkhead to be in keeping with previous Commission decisions to allow intrusions into the required rooftop addition stepback area. The bulkhead is designed to so that its tallest portion is furthest from the parapet wall, and will likely be at most minimally visible. Staff therefore finds that its encroachment to the required stepback is appropriate.

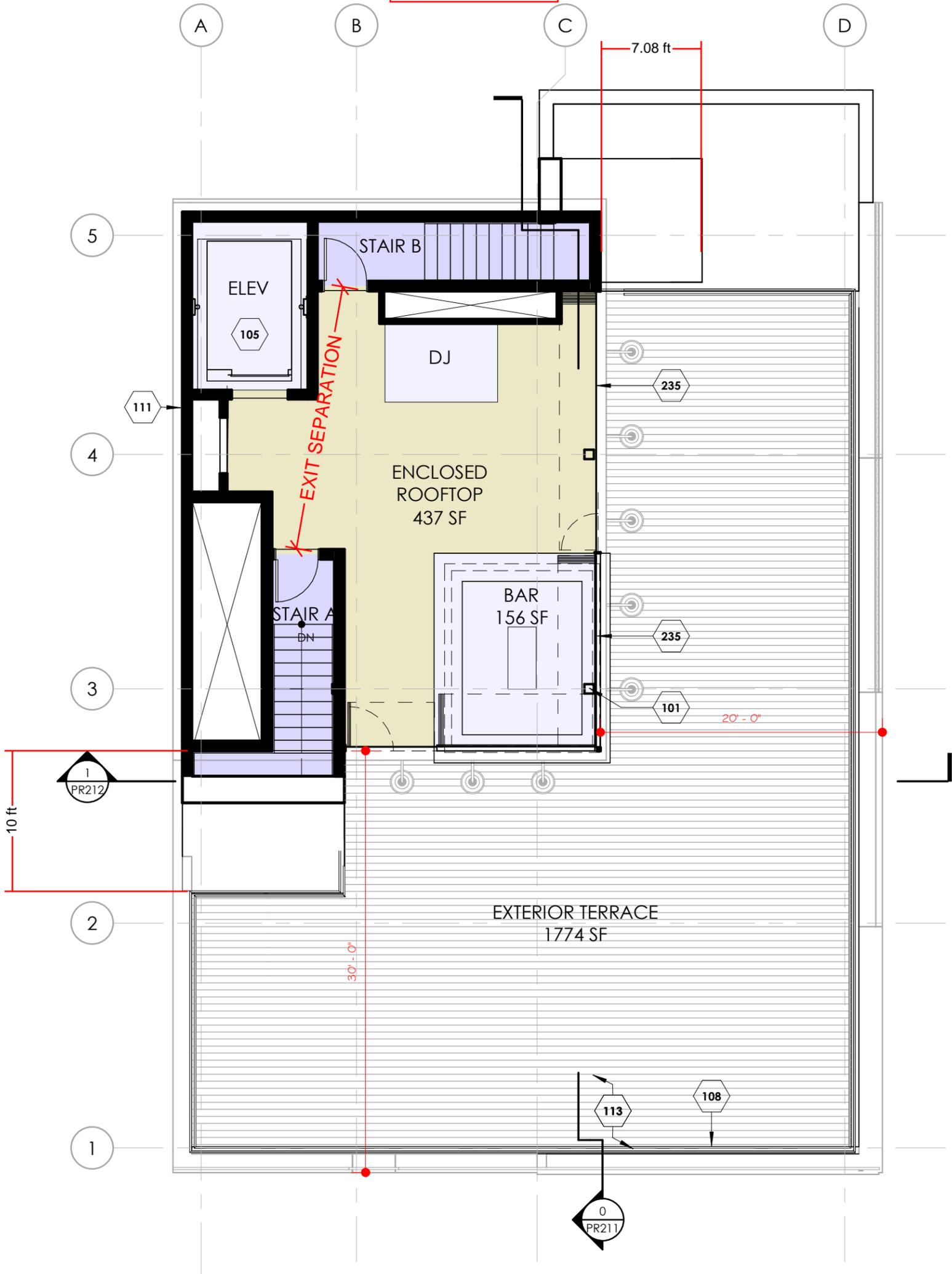
The location of the railing has changed since the previous application in July. The railing will be stepbacked eight feet (8') from the Broadway and the Fourth Avenue North facades, which meets the design guidelines.

Staff finds that the alterations to the previously approved rooftop stair bulkheads and rooftop railing meet Section III.H. of the Broadway Historic Preservation Zoning Overlay design guidelines.

Signage: The applicant has indicated that they would like to install murals/signage in the areas of existing painted signs on the building. Since there is no specific information on the signage size, design or materials, signage and murals are not part of this current application.

**Recommendation Summary:** Staff recommends approval of the project with the condition that staff approve the final material choice for the rear addition. With this condition, staff finds that the proposed additions meet Section III. of the *Broadway Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.

PREVIOUSLY  
APPROVED  
proposal



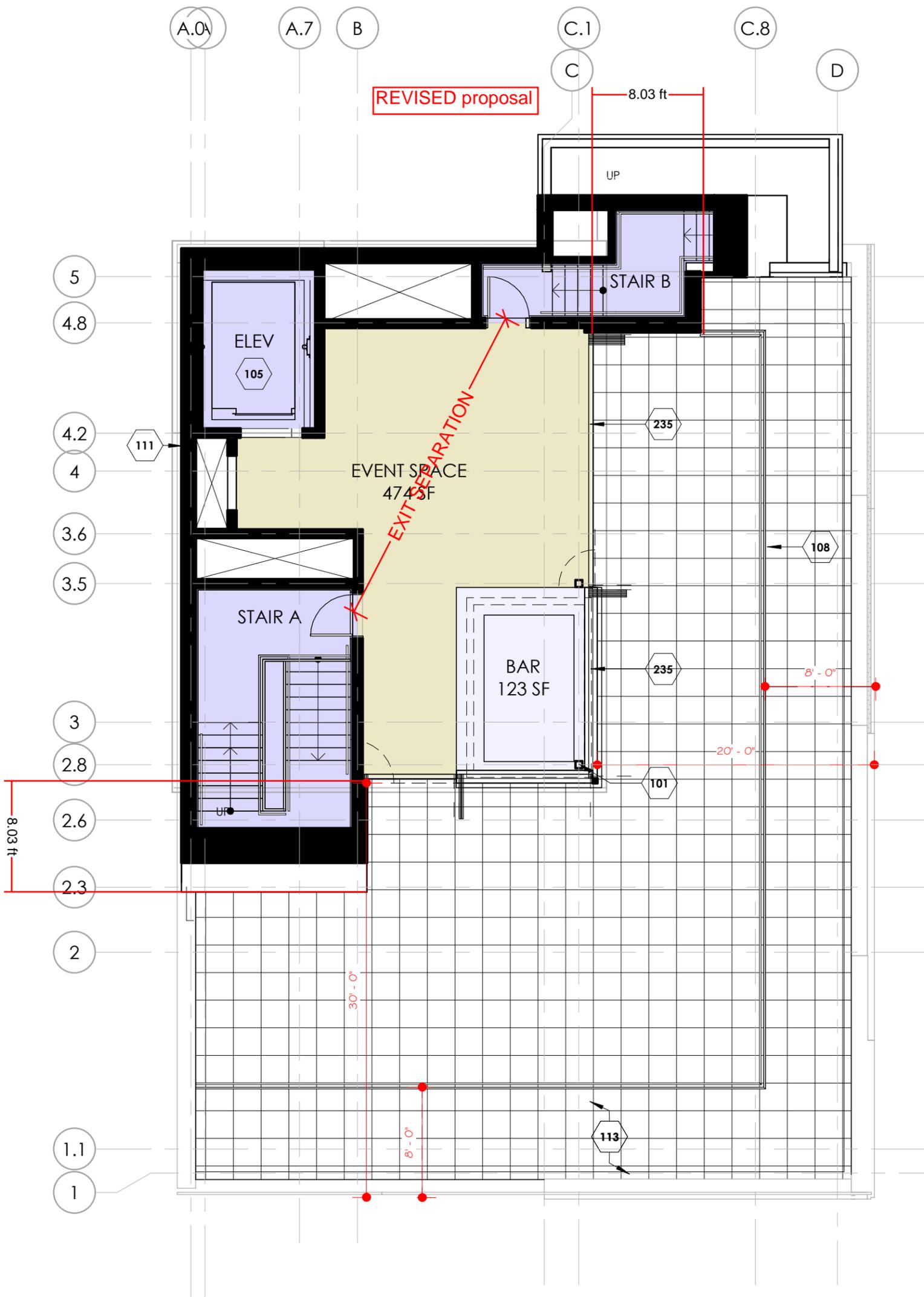
## KEYNOTES

- 101 1 HOUR PROTECTED STEEL COLUMNS, TYP.
- 105 FREIGHT | PASSENGER ELEVATOR
- 108 DECORATIVE STEEL HANDRAIL
- 111 COMPOSITE METAL PANEL
- 113 MEMBRANE ROOFING
- 235 FULLY OPERABLE FOLDING GLASS WALL SYSTEM

8' 4' 0 8'

DIERKS BENTLEY'S WHISKEY ROW

LEVEL 4 ROOF PLAN



## KEYNOTES

101	1 HOUR PROTECTED STEEL COLUMNS, TYP.
105	FREIGHT   PASSENGER ELEVATOR
108	DECORATIVE STEEL HANDRAIL
111	COMPOSITE METAL PANEL
113	MEMBRANE ROOFING
235	FULLY OPERABLE FOLDING GLASS WALL SYSTEM

8' 4' 0 8'

DIERKS BENTLEY'S WHISKEY ROW

LEVEL 4 ROOF PLAN

PREVIOUSLY  
APPROVED  
proposal



16' 12' 8' 4' 0 16'

DIERKS BENTLEY'S WHISKEY ROW

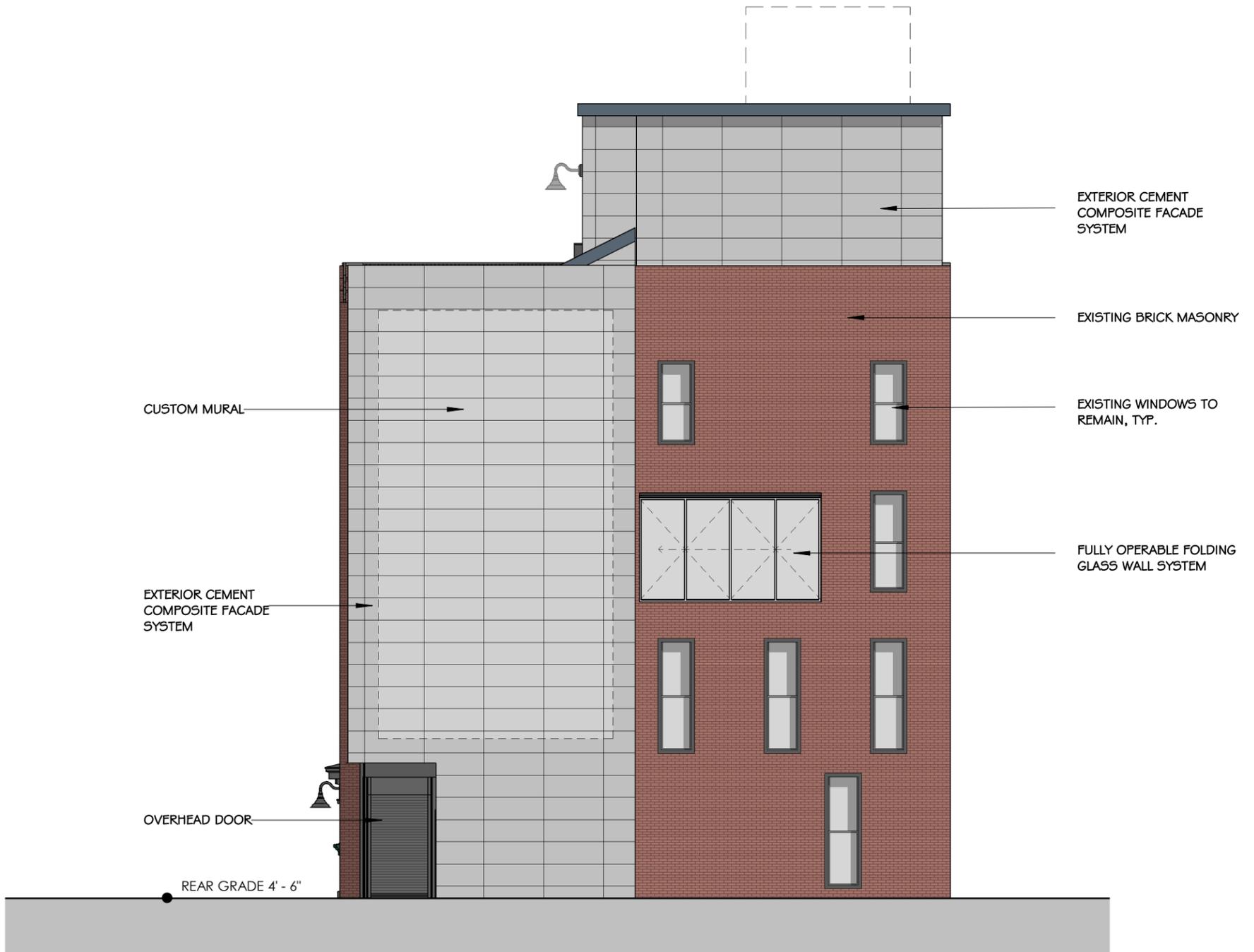
4TH AVE ELEVATION



16' 12' 8' 4' 0 16'

DIERKS BENTLEY'S WHISKEY ROW

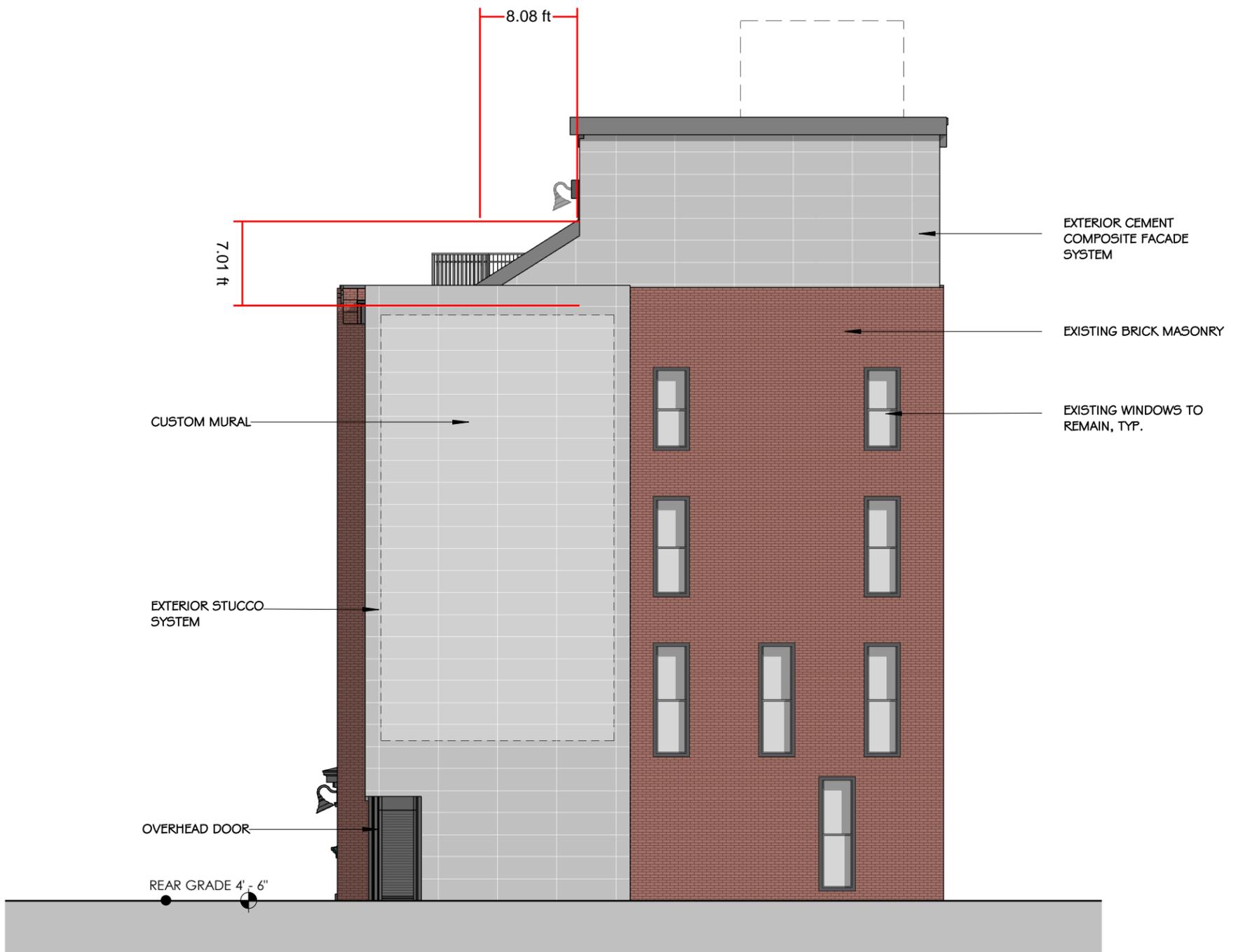
4TH AVE ELEVATION



16' 12' 8' 4' 0 16'

DIERKS BENTLEY'S WHISKEY ROW

REAR ELEVATION



16' 12' 8' 4' 0 16'

DIERKS BENTLEY'S WHISKEY ROW

REAR ELEVATION