

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1218 Sixth Avenue North November 16, 2016

Application: New construction – outbuilding; Setback determination

District: Germantown Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 08209027500

Applicant: Van Pond, Architect

Project Lead: Sean Alexander, sean.alexander@nashville.gov

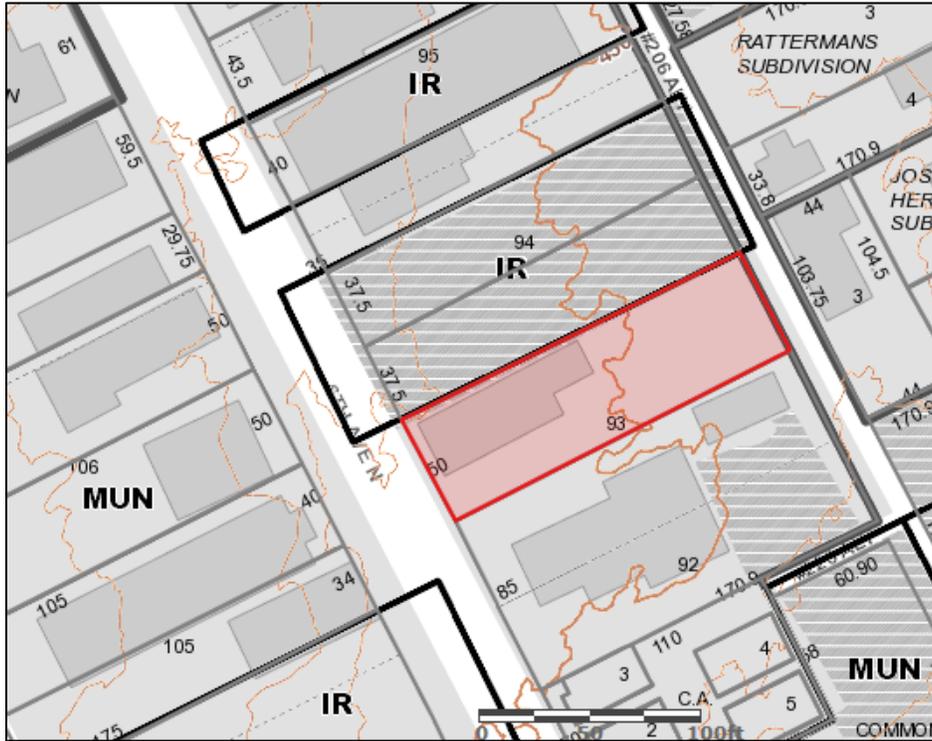
Description of Project: An application is to construct a new two-story outbuilding behind the principal building. The proposal requires determination of the appropriateness of an eighteen foot (18') rear setback.

Recommendation Summary: Staff recommends approval of the proposal with the requested eighteen foot (18') rear setback with the condition that Staff shall approve the final window and door selections as well as the color and texture of the masonry prior to purchase and installation, finding that the proposal would meet the design guidelines for constructing an outbuilding in the Germantown Historic Preservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

2.0 New Construction within historic context

2.9 Outbuildings / Garages / Carports / Accessory Buildings

2.9.1 Historically, outbuildings, garages and carports were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. Brick, weatherboard, and board-and-batten are typical siding materials. Outbuildings with weatherboard siding typically have wide corner boards and window and door casings (trim).

2.9.2 Outbuildings, garages, carports and accessory buildings shall be located to the rear of the property. When a definite rhythm along a street/alley is established by uniform lot and building width, infill construction shall maintain that rhythm.

2.9.3 The predominant vehicular access to properties within the District should continue to be through the use of alleys. Garages and carports shall be accessed from the service alley as is typical for historic buildings in the district. For most residential lots new curb cuts on public streets are generally not appropriate. The removal of unnecessary existing curb cuts on primary streets is encouraged. It is acknowledged that in some cases alley access may not be possible or practical.

In this case, curb cuts and driveways at the public street should be minimized and the width of parking access should be limited. Curb cuts and driveways shall be located so they are visually less dominant.

2.9.4 The design of outbuildings, garages, carports and accessory buildings shall not be visually disruptive to the character of surrounding buildings.

2.9.5 The size and mass of outbuildings, garages, carports and accessory buildings in relation to open spaces and its windows and openings shall be visually compatible with the primary building and surrounding buildings.

2.9.6 Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.

2.9.8 Portable storage buildings less than 100 square feet are not reviewed by the MHZC.

Background: 1218 Sixth Avenue North is a c. 1860s two-story brick house (figure 1). It is a contributing structure to the Germantown Historic Preservation Zoning Overlay. At the February 2016 Metro Historic Zoning Commission hearing, the Commission approved a rear and side addition to the historic structure.



Figure 1. 1218 Sixth Avenue North

Analysis and Findings: The current application is to construct an accessory building.

Location, Setback: The proposed accessory building will be located at the rear of the property, approximately forty feet (40') behind the principle building. The building will be located two feet (2') from the left side of the property to be aligned with the left wall of the principle building, and it will sit eighteen feet (18') from the rear and right side property lines. The bulk standards for MUN have no side setback requirement, but require a twenty foot (20') rear setback. The location of the structure meets base zoning requirements for side setbacks but not the rear setback. Staff finds that the proposed setback determination is appropriate in this instance as

outbuildings were historically located nearer to alleys than the current zoning requirements.

The building is not intended to be used as a garage, therefore it will not have vehicular doors.

Staff finds the location and setbacks of the proposed outbuilding to meet Sections 2.9.2 and 2.9.3 of the *Germantown Historic Overlay Design Guidelines*.

Height, Scale: The principal building is a two-story house with a ridge height of twenty-nine feet (29'). The proposed structure is also two stories, but is shorter than the existing house at only twenty-two feet, eight inches (22'-8"). The primary mass of the principal building is twenty-six feet (26') wide, with a one-story side addition adding sixteen feet (16') of width near the rear. The proposed building, by comparison, will be thirty feet (30') wide and will fit almost entirely within the "silhouette" of the principal building in elevation. The area of the building's footprint will be eight hundred, forty square feet (840 sq. ft.), roughly one-third of the twenty-five hundred square foot (2,500 sq. ft.) footprint of the principal building. Staff finds that the size and mass of the proposed accessory building will be subordinate to the principal building and compatible with surrounding buildings.

Therefore, Staff finds that the height and scale of the proposed outbuilding are appropriate and meet Section 2.9.5 of the *Germantown Historic Overlay Design Guidelines*.

Materials, Texture, and Details and Material Color: The proposed outbuilding will have a concrete slab-on-grade foundation with cement-fiber clapboard siding as the primary cladding material and an asphalt shingle roof to match the principal building. The trim will be cement-fiber and wood, with cedar tongue-and-groove siding and brick used as accent materials on the South façade. Staff asks to approve brick samples prior to construction. Staff finds that the proposed materials are appropriate as they are common within the district. The windows will be aluminum-clad but the door material is not yet known, therefore Staff asks to approve their selections prior to construction.

With conditions that Staff approves the brick, window, door selections prior to purchase and installation, the proposed outbuilding would meet Section 2.9.1 of the *Germantown Historic Overlay Design Guidelines*.

Roof and Building Form: The outbuilding will have a side-gabled roof, a form that is common on outbuildings in the neighborhood historically. The roof will be compatible with the cross-gabled roof of the principle building and will match its 5:12 pitch. The design of building overall will not be disruptive to the historic context because it is shorter than the principal building and set back more than one hundred feet (100') from the street.

Staff finds the accessory building's roof and building form to meet Section 2.9.1 and 2.9.4 of the *Germantown Historic Overlay Design Guidelines*.

Proportion and Rhythm of Openings: The windows on the proposed outbuilding will be compatible with proportions or openings on historic buildings, which are generally twice as tall as they are wide. The horizontally divided three-light pattern of the windows and doors will match the windows on the side porch and recently approved addition on the house. Staff finds the outbuilding's proportion and rhythm of openings to meet Section 2.9.5. of the *Germantown Historic Overlay Design Guidelines*.

Recommendation: Staff recommends approval of the proposal with the requested eighteen foot (18') rear setback with the condition that Staff shall approve the final window and door selections as well as the color and texture of the masonry prior to purchase and installation, finding that the proposal would meet the design guidelines for constructing an outbuilding in the Germantown Historic Preservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

A New Four-Room Carriage House for:
Germantown Inn

1218 6th Avenue North
Nashville, TN 37208

METROPOLITAN ZONING COMMISSION SUBMITTAL
NOT FOR CONSTRUCTION

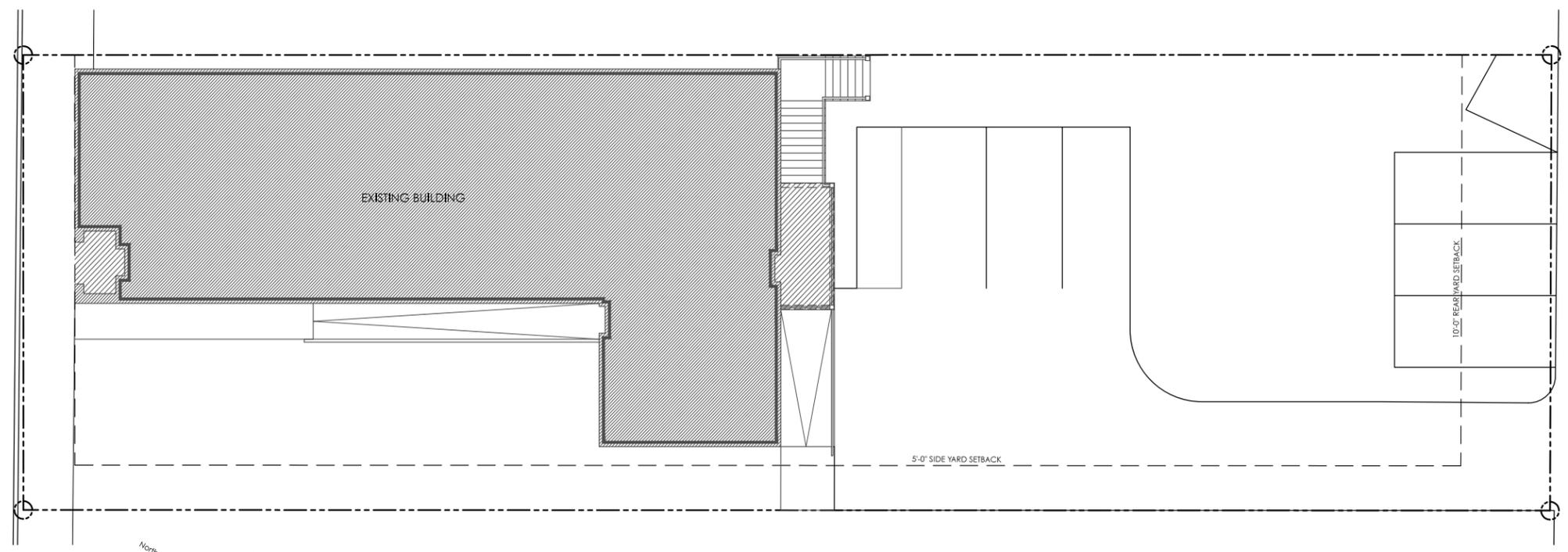
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Date of Issuance: 31 October 2016
Revision: Stair Location + ADA Parking

Van Pond Architect PLLC

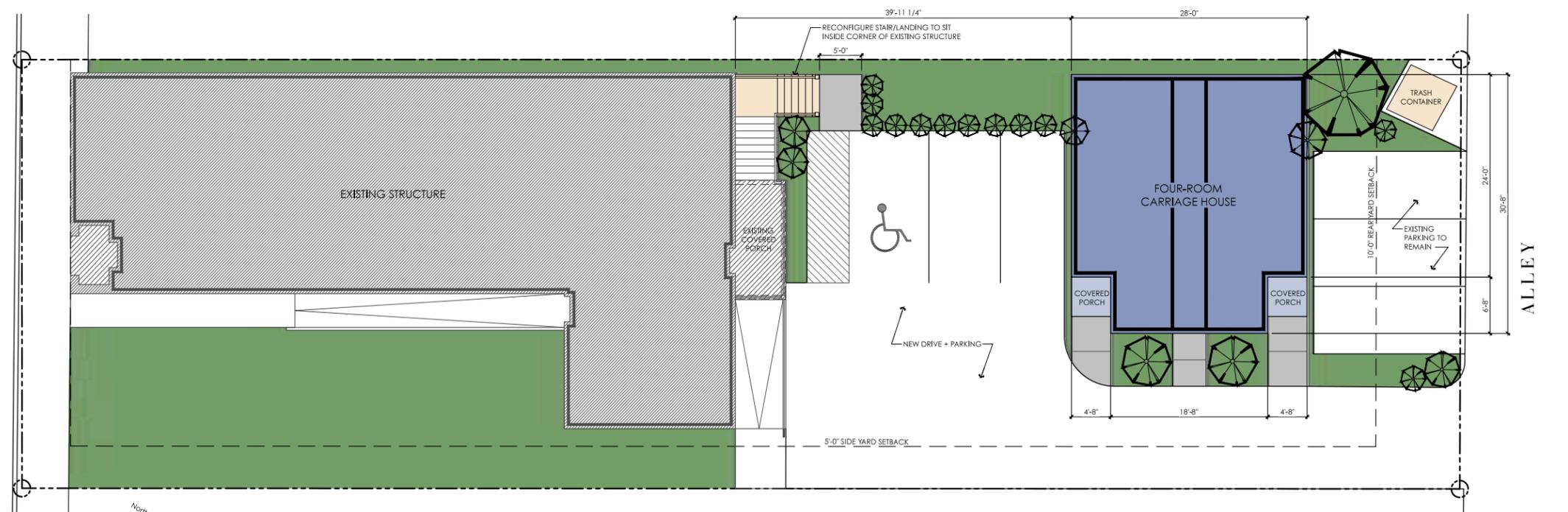
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6TH AVENUE NORTH



North
 ① Existing Site Plan

6TH AVENUE NORTH



North
 ② Proposed Site Plan

Project Property Information + Contacts

OWNER:
 GERMANTOWN INN, LLC
 1702A FIFTH AVENUE NORTH
 NASHVILLE, TENNESSEE 37208

PROPERTY INFORMATION:
 PARCEL #: 08209027500

ADDRESS:
 1218 SIXTH AVENUE NORTH
 NASHVILLE, TENNESSEE 37208

LOT AREA:
 8,550 S.F. / 0.19 AC +/-

LOT DESCRIPTION:
 PT LOT 93 D T MCGAVOCK

ZONING:
 MDHA-PJ - PHILLIPS-JACKSON REDEVELOPMENT DISTRICT
 MUN - MIXED USE NEIGHBORHOOD
 OV-HPR - HISTORIC PRESERVATION OVERLAY
 OV-UZO - URBAN ZONING OVERLAY

Area Calculations

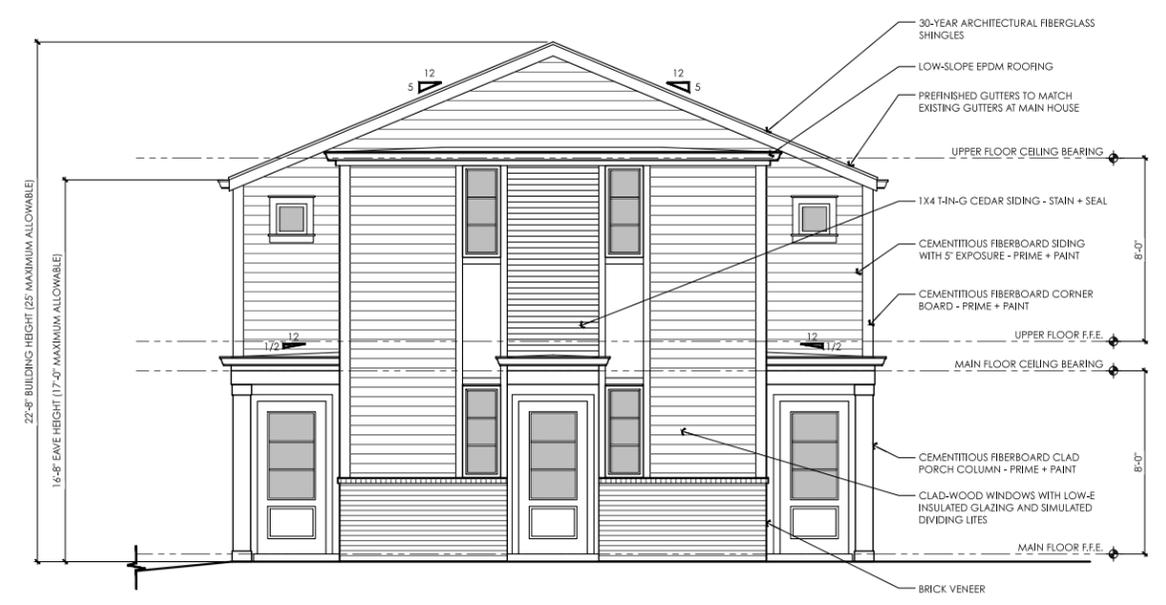
BUILDING FOOTPRINT AREAS:

EXISTING BUILDING FOOTPRINT AREA (GSF):	2,474 S.F.
NEW CARRIAGE HOUSE FOOTPRINT AREA (GSF):	796 S.F.
TOTAL BUILDING COVERAGE AREA (GSF):	3,270 S.F.

BUILDING COVERAGE:

ALLOWABLE BUILDING COVERAGE FOR MUN ZONING IS 60% OF 8,550 S.F.):	5,130 S.F.
TOTAL BUILDING COVERAGE AREA (GSF):	3,270 S.F.

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① Proposed Front Elevation (Southeast)



② Proposed Front Elevation (Northeast)



③ Proposed Front Elevation (Northwest)



④ Proposed Rear Elevation (Northwest)

METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

A New Four-Room Carriage House for:
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Nashville, Tennessee 37208

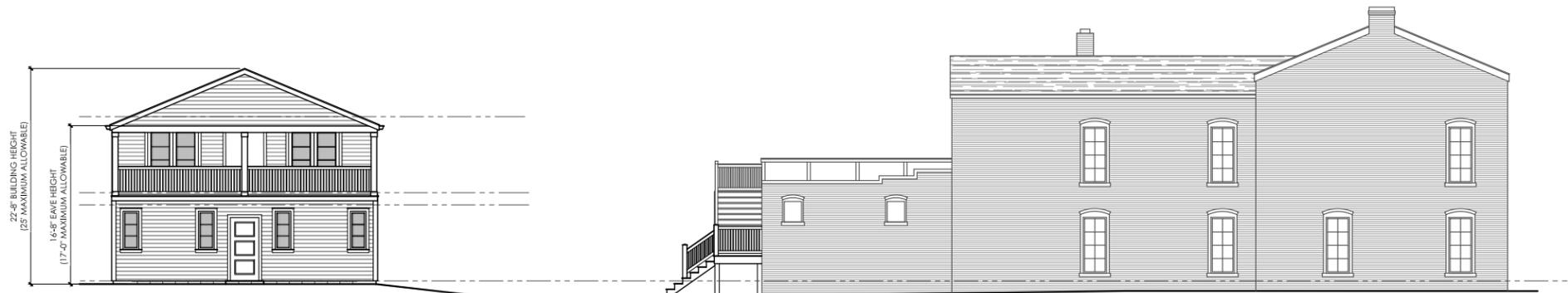
DATE OF ISSUANCE:
31 October 2016
2016-11-04: STAIR
LOCATION + ADA PARKING
PROPOSED ELEVATIONS

A1

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① Proposed Side Site Elevation



② Proposed Side Site Elevation



③ Proposed Rear Site Elevation

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Nashville, Tennessee 37208

METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
31 October 2016
2016-11-04: STAIR
LOCATION + ADA PARKING
PROPOSED SITE ELEVATIONS

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① Existing Front Elevation

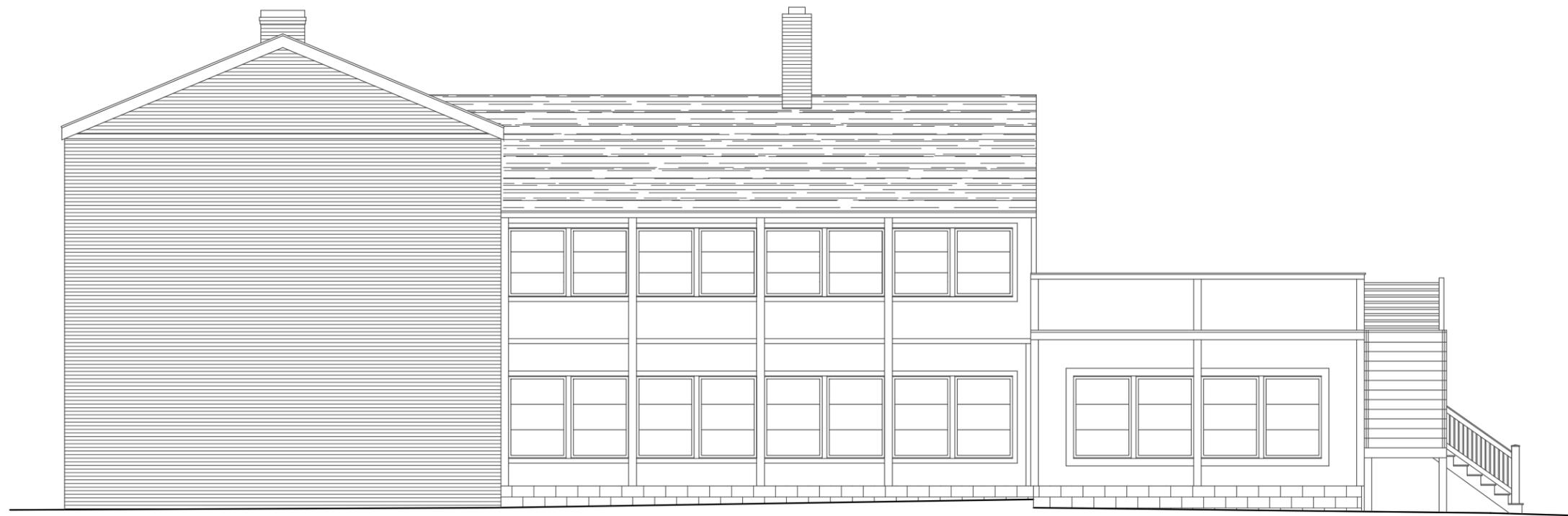


② Existing Side Elevation

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① Existing Rear Elevation



② Existing Side Elevation

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 1218 6th Avenue North
 Nashville, Tennessee 37208

METROPOLITAN HISTORIC ZONING COMMISSION SUBMITTAL

DATE OF ISSUANCE:
 31 October 2016
 EXISTING ELEVATIONS