

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

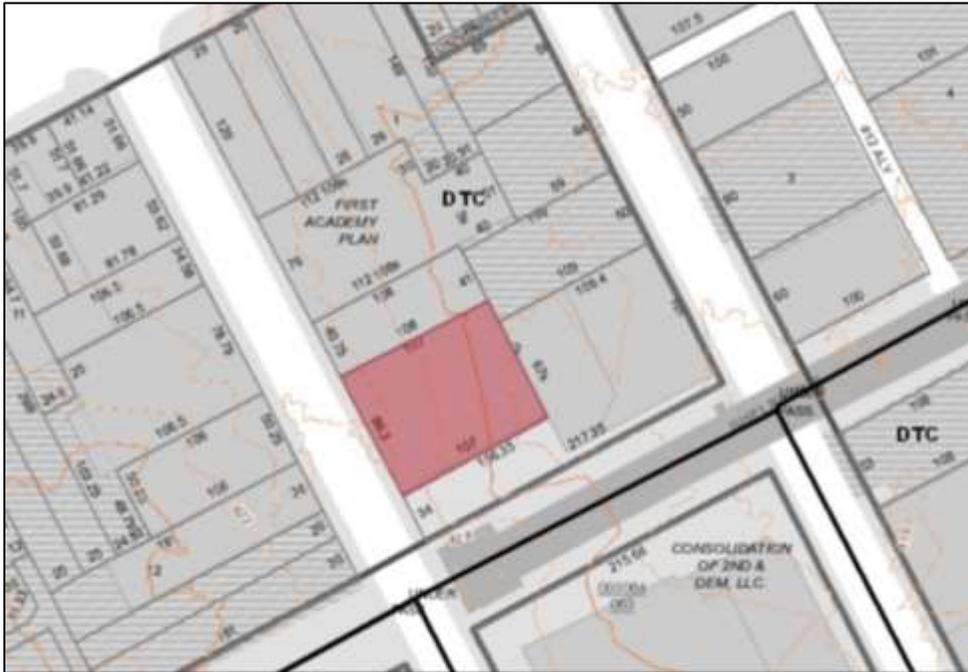
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
120-122 Third Avenue South
December 21, 2016

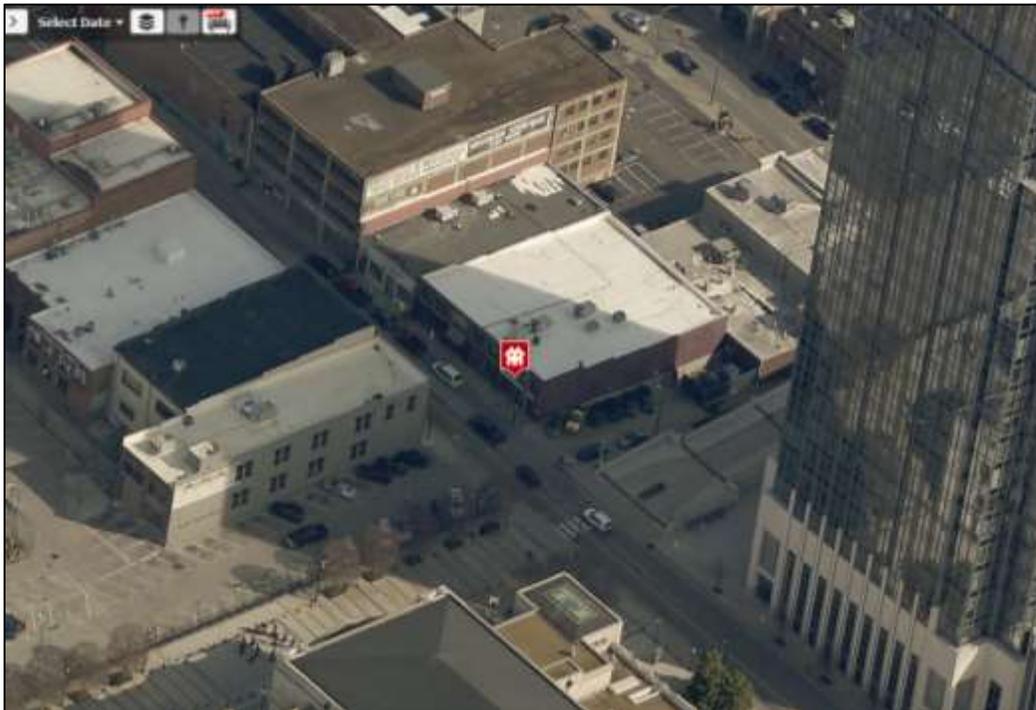
Application: New construction-addition; Storefront alterations
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306405500
Applicant: Aaron Vermeulen, OX Studio Inc.
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

<p>Description of Project: This application is to construct a rooftop addition and to make alterations to the non-historic storefront, windows and doors.</p> <p>Recommendation Summary: Staff recommends approval of this application with the conditions:</p> <ol style="list-style-type: none">1. Staff have final approval of: the new paint color, windows, doors, parapet tiles, railings, trim, cornerboards, canopy and awnings, and mechanical screening;2. Fiber-cement panels and siding are smooth-faced;3. The side walls of the addition sit inside the existing parapet wall;4. Signage and lighting will be reviewed in a separate application. <p>With these conditions, Staff finds that the addition and proposed alterations will meet Section II and Section III.H of the Broadway Historic Preservation Zoning Overlay design guidelines.</p>	<p>Attachments: A: Photographs B: Site Plan C: Floor Plans D: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. Rehabilitation

A. Storefronts

1. Historic storefronts, their component elements, and other aspects of appearance including the original entrance configuration, plane, and recess should be retained.
2. Deteriorated or damaged storefronts or component elements should be repaired using historically appropriate materials.
3. If replacement storefronts or component elements are necessary, replacements should be compatible with the materials, composition, design, texture, and general appearance of the original. Replacements should use physical or photographic evidence to replicate the original appearance. If evidence is not available, the replacement storefront should use arrangement, features, materials, and proportions typically found on buildings of the same style and period of the building involved.

B. Doors and Entryways

1. Original doors, entryways, and related elements should be retained.
2. Deteriorated or damaged doors or entryways should be repaired using historically appropriate materials.
3. If replacement doors are necessary, replacements should replicate the originals. If original doors do not remain, replacement doors should be of wood and the proportion of glass to door should be comparable to the proportion of display windows to storefront.
4. If doors or entrances do not conform to building or accessibility codes, the originals should be retrofitted to conform. If this is not feasible, replacement doors should be compatible with the original storefront. Variances to building codes may also be sought when the building meets the intent of the code requirements.
5. If wood replacement doors are not feasible, or were not original to the building, dark or bronze anodized metal doors with a wide stile may be appropriate. Raw metal doors and doors without a glass pane are not appropriate. Glass used in replacement doors should be clear.
6. Generally, new entryways should not be introduced to public facades, unless needed for access to an upper floor or a secondary building use. If a new entrance is needed, it should be compatible with the style and period of the building.

C. Display Windows

1. Original display windows and their component elements should be retained.
2. Deteriorated or damaged display windows should be repaired using historically appropriate materials.
3. If replacement display windows are necessary, replacements should replicate the originals. If original display windows do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include individual or grouped single-light clear-glass panes and simple wood, copper, bronze anodized aluminum, or baked-enamel aluminum frames.
5. Glazing should be clear glass. Ornamental, frosted, spandrel, or stained glass display windows are not appropriate.
6. Display windows should remain visible and not be concealed or enclosed.
7. If privacy or shade other than that afforded by awnings is needed, interior shades or blinds are appropriate.

D. Windows

1. Historic window openings, windows, and window surrounds should be retained.
2. Deteriorated or damaged window openings, windows, and window surrounds should be repaired using historically appropriate materials. If replacement windows or window surrounds are necessary, replacements should replicate originals.

3. If original windows do not exist, replacements should be appropriate for the building's style and period.
4. If the original windows are missing, replacement windows should use wood, anodized aluminum, or baked-on-enamel aluminum frames and should have single-light or multiple-light clear-glass panes to match the style and period of the building. Steel windows should be replaced with steel or aluminum designs that replicate the appearance of the original window.
5. Window openings, surrounds, or other elements not original to a building should generally not be introduced to the public facades of the building. The installation of such window openings on the rear of the building may be appropriate.
6. Should storm windows be desired, their dimensions should match window dimensions in order to conceal their presence. Frames should be set within the window opening and attach to the exterior sash stop; if aluminum, they should have an anodized or baked-on enamel finish.
7. Self installed snap, clip or glue type muntins on windows are not permitted. Muntins set within the vacuum between glass panes on windows are not approved.
8. Window grilles and balcony rails are not appropriate window treatments. Shutters are only appropriate when they replace original wood shutters and should be operable.

J. Brick, Stone, and Other Masonry

1. Historic masonry (brick, stone, and terra cotta) should be retained.
2. The use of detergent cleaners and chemical stain and paint removers to clean masonry or remove paint is appropriate under most conditions. Abrasive or high-pressure cleaning methods are destructive and should not be used.
3. Silicone-based water sealants are not recommended for use on historic masonry.
4. Historic masonry should remain visible and not be concealed or obscured.
5. Deteriorated or damaged brick and stone should be repaired with materials that match the original.
6. Repointing with a hard (Portland cement) mortar is destructive to historic brick and masonry. Flexible mortar, made from mixing hydrated lime cement and natural sand, should be used when repointing is necessary.
7. Mortar used in repointing should match the historic mortar in width, depth, color, raking profile, composition, and texture.
8. Bricks should be the same color and size as those of the historic wall and should be laid, jointed, tooled, and mortared in the same way as the historic wall.
9. The guidelines for paint should be followed for work to brick, stone, and other masonry.

K. Decorative Elements

1. Original decorative elements such as cornices, brick corbelling, arches, brackets, and detailing should be retained without alteration.
2. Deteriorated, damaged, or missing decorative elements should be repaired using historically appropriate materials.
3. Owners should not add decorative elements to a building, unless there is physical or pictorial evidence.
4. Decorative or ornamental detailing should not be added to buildings unless there is physical or photographic evidence that shows the detailing was original to the building. New designs should be appropriate to the style and period of the building.

L. Roofs and Chimneys

1. Historic roofs, chimneys, and related elements should be retained.
2. Guidelines for brick and mortar should be followed for chimney maintenance.
3. Deteriorated or damaged roofs and chimneys should be repaired using historically appropriate materials and methods.
4. Guidelines for brick and mortar should be followed for chimney repair.
5. If replacement roofs or chimneys are necessary, replacements should be appropriate for the building's style and period.
6. Appropriate roof coverings include standing seam metal, composite asphalt, rolled roofing, and rubber membrane roofing. Most rooflines in the Broadway district are flat or sloped while a small

number retain original gable roof forms. These roof forms should not be altered unless based on historical documentation.

7. Rooftop locations concealed from pedestrian view are appropriate places for climate control and other mechanical systems. Mechanical systems should be located at the rear façade and screened.

M. Paint

1. Building owners are encouraged to remove paint from masonry. Gentle, non-abrasive chemical cleaning is an appropriate way to remove paint. The exceptions to this guideline are two brick buildings which were historically painted; Tootsies Orchid Lounge at 422 Broadway and Acme Feed at 101 Broadway.
2. Painting of stone and brick is generally not appropriate.
3. The painting or staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.
4. Historic painted signage on exterior brick walls should be maintained.
5. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time.

P. Mechanical Systems

1. Equipment such as condensers, air conditioners, meters, and conduits should not be visible from the street. Rear elevations and roof locations that are not visible from the public rights-of-way are appropriate locations for this equipment.
2. The installation of mechanical systems should not result in the removal or obstruction of historic building elements.
3. Landscape elements such as fencing or low masonry walls should be used to shield ground-level equipment from view and still allow service access.

T. Lighting

1. If lighting is installed, it should be concealed or simple and unobtrusive in design, materials, and relationship to other façade or elevation elements.
2. Light should be directed toward the façade instead of outward. Building facades may be illuminated through uplights mounted above the storefront cornice.
3. Dark metals are appropriate materials for light fixtures.
4. Concealed, indirect, or spot lighting is appropriate for exterior signage. Visible fluorescent or incandescent bulbs are not appropriate.

III. New Construction

A. Height

1. Infill buildings which directly front on Broadway shall not exceed a height greater than 65 feet or 5 stories. Infill buildings which directly front on Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building.
2. Infill buildings which are constructed on corner lots facing Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building and 20 feet from the secondary street.
3. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 150 feet from the right-of-way of Broadway shall not exceed a height greater than 80 feet total or 6 stories.
4. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 200 feet from the right-of-way of Broadway shall not exceed a height greater than 90 feet or 7 stories.
5. Infill buildings shall be a minimum of 40 feet or 3 stories in height.
6. Infill buildings which are constructed within 150 feet of a registered National Historic Landmark shall be subordinate in height to the National Historic Landmark property.

B. Scale

1. The size of a new building, its mass in relation to open spaces, and its windows, doors, openings, and appurtenances should be visually compatible with the surrounding buildings.
2. In the event that multiple lots or parcels are assembled within the historic district, buildings shall be designed to be compatible with the adjacent structures. Existing traditional and historic buildings are 20 to 50 feet wide and 100 to 150 feet deep. New structures should employ design techniques to break the facades along the right-of-way into multiple vertical elevations as previously described.
3. All new buildings should have a base, middle, and cap. Traditionally, buildings were composed of these three basic elements. Adhering to this form will help reinforce the visual continuity of the area.
4. The first floor height shall be a minimum of 16 feet from finished floor to finished floor. Upper floor heights should appear to be similar to historic structures in the district.

C. Setback and Rhythm of Spacing

1. The setback from the street and side property lines established by adjacent or contiguous buildings shall be maintained. When a definite rhythm along a street is established by uniform lot, building width, or bay patterns within a building façade, infill buildings should maintain the rhythm.
2. New buildings should be constructed in line with adjacent historic structures. Corner buildings should avoid setbacks or open corner plazas that disrupt the continuity of the street wall.
3. New buildings shall front 100% of the primary street and, where applicable, a minimum of 85% of the secondary street.
4. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
5. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

D. Roof Shape

1. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
2. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

E. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
2. The design of the street level of new buildings is crucial in establishing the commercial vitality. At least 60% of the street level façade of a new building shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian. This guideline is most important on Broadway where most of the buildings have commercial ground floor storefronts.
3. Define a clear primary entry. Doorways on primary facades shall appear similar to those used historically. The primary entrance should be defined with a canopy or other architectural feature.
4. Upper floor windows should be at least twice as tall as they are wide.
5. Door and window openings should be recessed on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
6. On corner buildings, glazing shall turn the corner facing the secondary street a minimum of one structural bay or 16 feet, whichever is the greater.

F. Guidelines: Relationship of Materials, Texture, Details, and Material Color

The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.

Masonry materials were primarily used in the historic district, and should continue to be predominant.

Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*. Exterior Insulation Finish Systems and vinyl are not appropriate exterior materials.

3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

G. Guidelines: Orientation

1. The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible.
2. Primary building entrances shall be oriented to the primary street.
3. Entrances to buildings should be recessed.

H. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

Background: 120-122 Third Avenue South is a two-story brick commercial building that dates to 1920. It is a contributing building in the Broadway Historic Preservation Zoning Overlay. The windows, doors and storefronts in existence at the time of establishment of the overlay were not original.



Figure 1. 120-122 3rd Avenue South currently



Figure 2. Proposed front elevation, with rooftop addition

Analysis and Findings: The applicant proposes a rooftop addition, and alterations to the storefront.

Storefront, Windows, Doors, Entryways: Proposed changes to the existing building (see Figure 3) include:

- Replacing the four double windows on the second story of the left and middle bays;
- Relocating the existing window set on the first story from the left side to the middle bay;
- Replacing the left window set with operable windows;
- Adding a new entry door in the middle bay, in what is currently a set of windows;
- Removal of metal sidelights (a previous violation of materials) to be replaced with glass;
- Removing gas meters from the front facade.

The building's original windows, doors, and storefronts have been changed several times in the building's past. The proposed changes will not affect original materials or conditions. Section II.A and B of the design guidelines requires that replacement elements of the storefront and front doors be compatible with the materials, composition, design, texture, and general appearance of the original or other buildings of the same style and era if the original is not known. In this case, the original design is not known.

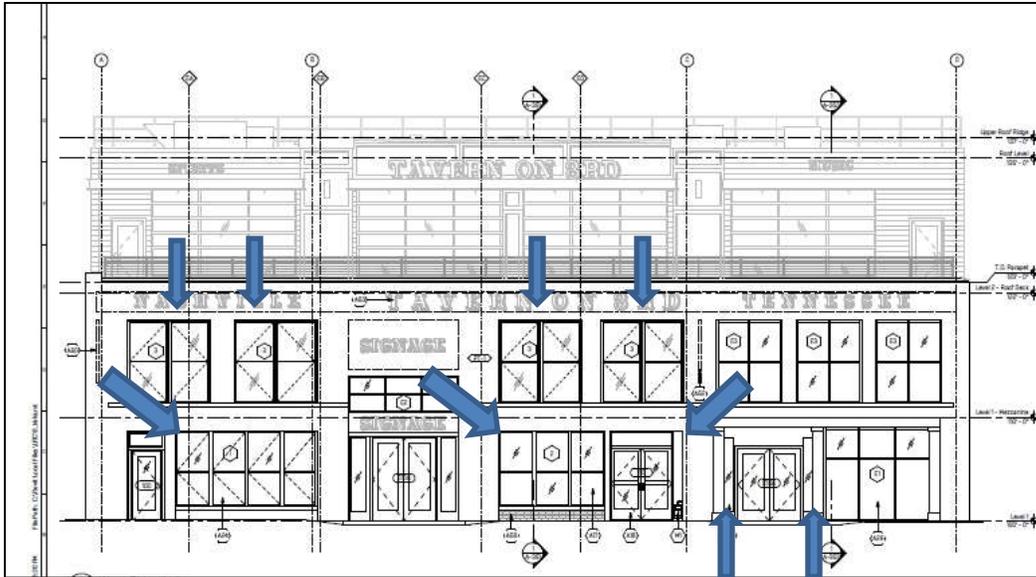


Figure 3. Proposed changes to windows and doors called out on front elevation

Staff recommends having final review of windows and doors prior to purchase and installation. With this condition, staff finds that the changes to the storefront meet Sections II.A, II.B, and II.C and D of the design guidelines for storefronts, windows, display windows, and doors.



Figure 4. Historic images of the building. The photo on the left is undated. The photo on the right is dated 1992.

Roof: The roofing was replaced in 2015. During the replacement of the roofing surface, the existing parapet tiles were removed. Section II.L of the design guidelines requires historic roofs, chimneys, and related elements to be retained. The applicant has included replacement of the parapet tiles in this scope of work. Staff recommends having final approval of the material prior to purchase and installation. This portion of the project meets Section II.L for roofs and chimneys.

Paint: The applicant proposes to repaint the building a natural brick color, which is in accordance with the district design guidelines. The color proposed is Mayflower Red from Benjamin Moore, which is an appropriate color. In its past, the building has been painted white, red, and most recently the current two-tone gray and white combination that was not permitted by the MHZC. The application includes painted signage as well; staff recommends reviewing separately once a complete sign package has been submitted. Staff recommends having final review of the new paint color and postponing review of painted signage for until a full sign package has been submitted. With these conditions the application will meet Section II.M.

Rooftop Addition: The primary massing of the proposed addition is set back from the Third Avenue façade by the required thirty feet (30'). Two pilasters and a canopy protrude into the step-back area by two feet (2'). On another project recently approved in this district, the Commission allowed a canopy to protrude into the step-back area by two feet (2') so staff found the intrusion to be appropriate.

The applicant has designed the addition to sit atop part of the parapet on the sides with a partial clay coping tile over flashing. Although this leaves the historic parapet partially revealed, Staff recommends that the addition's side walls are inside the parapet, to fully express that feature of the building.

The total height of the addition is fourteen feet (14') above the existing parapet not including a mechanical area surrounded by a railing. The height meets the requirements of the design guidelines. The mechanicals are stepped back from the front wall by forty-nine feet (49'). Because the parapet wall steps down along the side of the building, the rear of the addition will be approximately twenty feet (20') above the roof at the roof's lowest point. Staff finds this to be appropriate, as the majority of the visible portion of the addition will be less than fifteen feet (15') above the parapet. A railing will be installed eight feet (8') from the front of the building, as has been required in the past. The railing and step-back area should not be used to support any extra elements, such as lighting, signage, or speakers.

Materials:

Existing building:

	Proposed	Color/Texture/ Make/Manufac turer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Front replacement windows for central bay	Salvaged from the left bay	n/a	Yes	
Front replacement windows for left bay	Wood	Folding windows	Yes	Yes
Front replacement doors	Not indicated			Yes
Front sidelights	Not indicated	Clear glass	Yes	
New ground floor entrance walls	Not indicated			Yes
New ground floor entrance floor	Not indicated			Yes
Replacement Masonry for central bay	Not indicated	To match existing		Yes
Coping	Clay tiles		Yes	Yes

Addition:

	Proposed	Color/Texture/ Make/Manufac turer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Cladding for Addition	Fiber cement siding	Wood-tone	Yes	Yes
Secondary cladding	Fiber cement panels	Wood-tone	Yes	Yes
Trim	Not indicated			Yes
Cornerboards	Not indicated			Yes
Awning for addition	Not indicated			Yes
Roll up doors	Aluminum		Yes	Yes

	sectional glass			
Canopy	Not indicated			Yes
Railing	Not indicated			Yes
Mechanical Screen	Not indicated			Yes

Staff recommends a condition of approval that the siding and panels are a smooth-sided, mill-finished painted material. Rustic timbers and textured wood are not appropriate as it is not found historically in the district. Roll-up doors are not generally appropriate on existing historic buildings. As this is new construction, the addition is set back as required, and rollup doors on the side of an addition on Broadway were approved by the MHZC, staff finds that the doors may be appropriate in this case.

Staff recommends final review of all windows and doors proposed, as well as the following materials that were not specified: railings, trim, cornerboards, canopy and awnings. With staff’s approval of these materials, the project will meet Section III of the design guidelines.

Signage & Lighting: The application does not include the design, size or materials for proposed signage. Signage and lighting are not a part of this application and should be applied for separately.

Recommendation Summary:

Staff recommends approval of this application with the conditions:

1. Staff approve the new paint color, all new windows and doors, parapet tiles, railings, trim, cornerboards, canopies and awnings, and mechanical screening;
2. Fiber-cement siding and panels are smooth-faced;
3. The side walls of the addition should be set inside the building’s existing parapet wall;
4. Signage and lighting will be reviewed in a separate application.

With these conditions, Staff finds that the addition and proposed alterations will meet sections II.A, II.L, and II.M of the Broadway Historic Preservation Zoning Overlay design guidelines.

120 / 122 3rd Avenue South

Released For: MHZC & MDHA Submittal

Release Date: 12/14/2016
 O|X Project Number: LRC16



Drawing List

Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
General			
G-100	Title Sheet	MHZC & MDHA Submittal	12/14/2016
Civil			
C-1	Site Survey	MHZC & MDHA Submittal	12/14/2016
Demolition			
AD-100	Basement Demolition Plan	MHZC & MDHA Submittal	12/14/2016
AD-101	Level 1 Demolition Plan	MHZC & MDHA Submittal	12/14/2016
AD-102	Level 1 - Mezzanine Demo Plan	MHZC & MDHA Submittal	12/14/2016
AD-104	Demolition Roof Plan	MHZC & MDHA Submittal	12/14/2016
AD-300	Demo Exterior Elevation	MHZC & MDHA Submittal	12/14/2016
Architectural			
A-001	Architectural Site Plan	MHZC & MDHA Submittal	12/14/2016
A-100	Basement Plan	MHZC & MDHA Submittal	12/14/2016
A-101	Level 1 - Floor Plan	MHZC & MDHA Submittal	12/14/2016
A-102	Mezzanine Floor Plan	MHZC & MDHA Submittal	12/14/2016
A-104	Level 2 - Roof Deck Plan	MHZC & MDHA Submittal	12/14/2016
A-105	Roof Plan	MHZC & MDHA Submittal	12/14/2016
A-301	Exterior Elevations	MHZC & MDHA Submittal	12/14/2016
A-302	Exterior Elevations	MHZC & MDHA Submittal	12/14/2016
A-303	Exterior Elevations	MHZC & MDHA Submittal	12/14/2016
A-304	Exterior Elevations	MHZC & MDHA Submittal	12/14/2016
A-305	Exterior Elevations	MHZC & MDHA Submittal	12/14/2016
Sketches			
SK-001	Historic Imagery	MHZC & MDHA Submittal	12/14/2016
SK-002	Existing Imagery	MHZC & MDHA Submittal	12/14/2016
SK-003	Interior Imagery	MHZC & MDHA Submittal	12/14/2016
SK-100	Rendered Perspective	MHZC & MDHA Submittal	12/14/2016
SK-101	Rendered Perspective	MHZC & MDHA Submittal	12/14/2016
SK-102	Site Context Views	MHZC & MDHA Submittal	12/14/2016



Job Title:
 120 / 122 3rd Avenue South
 Nashville, TN 37201

Sheet Title:
 Title Sheet
 Released For: MHZC & MDHA Submittal

12/14/2016
 LRC16
 G-100
 Project #: [blank]
 Drawing #: [blank]

NOT FOR CONSTRUCTION

Project Information	
Address:	120 / 122 Third Avenue South, Nashville, TN 37201
Project Square Footage:	-
Building Square Footage:	-
Historic District:	OV-HPR
Fire District:	-
Adult Entertainment District:	-
Property Use:	Commercial

Project Team	
Owner:	120 Third Avenue South, LLC P O Box 680245 C/O Gene Gilbert, Marietta, GA 30068
Tenant:	LRC: Jon Field 676 Bellefontaine Ave. Marion, OH 43302 614-582-2560
Architect:	O X Studio, Inc.: Aaron Vermeulen 302 S. State St., Suite B, Ann Arbor, MI 48104 (734) 929-9000
Structural:	Cartwright Engineering: David Cartwright 2501 Sherman Court Nashville, TN 37214 615-934-2256
MEP Engineer:	Barry Rhodes: Electrical David Kimble: Mechanical Win Engineering 2 International Plaza Suite 410 Nashville, TN 37217 615-891-4565 Office

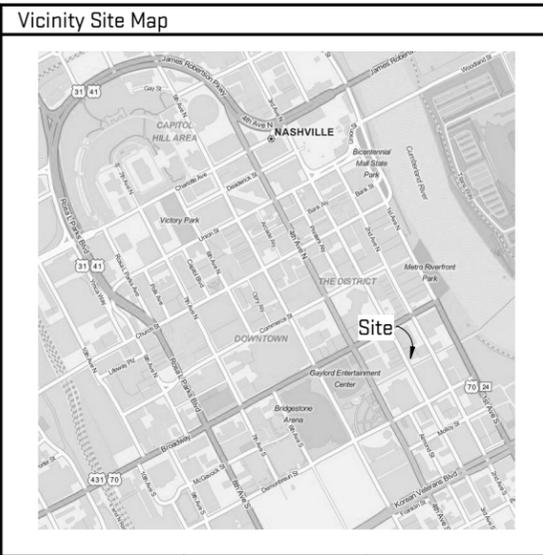
Metropolitan Historic Zoning Commission MHZC

[pg. 48] III. New Construction
 H: Guidelines: Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.

2. Rooftop additions should not exceed one story [or 15'] in height and should be set back a minimum of 30 feet from the main facade of the building and 20 feet from the secondary street if it is a corner building. Rooftop railings and decking should sit back from each street facing wall by a minimum of 8'. Railings should not be used to support additional elements such as speakers, lighting, plants or signage. In locations where railings are visible from the street, the materials should minimize the impact of the railing. Materials such as butt-joint glass or horizontal steel cable, may be appropriate.

3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.



Scales listed are for 22x34 drawing size

Plot Date/Time: 12/14/2016 10:39:40 AM File Path: \\caesar\users\kirk\My Documents\LRC16_kirks.rvt

RECORD DESCRIPTION (INSTRUMENT #20060508-0053480)

LAND LYING IN DAVIDSON COUNTY, TENNESSEE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING ON THE EASTERN MARGIN OF THIRD AVENUE SOUTH, FORMERLY COLLEGE STREET AT THE SOUTHWEST CORNER OF A LOT FORMERLY OWNED BY MADISON TRIMBLE; THENCE SOUTHWARDLY WITH THE EASTERN MARGIN OF THIRD AVENUE, SOUTH 86.3 FEET, MORE OR LESS; THENCE EASTWARDLY IN A STRAIGHT LINE 107 1/8 FEET, MORE OR LESS; THENCE IN A STRAIGHT LINE NORTHWARDLY AND PARALLEL WITH THIRD AVENUE, SOUTH 86.3 FEET, MORE OR LESS, THENCE WESTWARDLY TO THE POINT OF BEGINNING.

SAID LOT CONSISTS OF LOT NO. 6 AND THE NORTHERN 4 FEET OF LOT NO. 7 IN THE ELLIS AND MOORE PLAN AS OF RECORD IN PLAN BOOK NO. 1, PAGE 358, CHANCERY COURT OF DAVIDSON COUNTY, TENNESSEE, AND ALSO A PART OF LOT NO. 2 IN THE DAVIDSON ACADEMY PLAN, NOT OF RECORD, ALSO A PART OF LOT NO. 28 IN JOHN PRICE'S PLAN OF LOTS, AS OF RECORD IN BOOK NO. 2, PAGE 246, OF THE REGISTER'S OFFICE FOR SAID COUNTY.

THIS CONVEYANCE EXPRESSLY INCLUDES HEREIN AND TRANSFERS HEREBY ALL RIGHTS, TITLES AND INTEREST IN AND TO PARTY WALLS, AND SPECIFICALLY INCLUDING BUT NOT EXCLUDING ALL OTHERS, ALL RIGHTS, TITLES AND INTEREST IN THAT WALL REFERRED TO AND OF RECORD IN BOOK 330, PAGE 1, SAID REGISTER'S OFFICE.

Certificate of Survey
ALTA/ACSM Land Title Survey

To: 120 THIRD AVENUE SOUTH, LLC, LAND AMERICA TITLE INSURANCE CORPORATION, PINNACLE NATIONAL BANK, LAWYER'S ESCROW SERVICE, INC. AND RUDY TITLE AND ESCROW:

1. This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 2005, and includes Items 1, 2, 3, 4, 5, 6, 7(a), 8, 9, 10, 11(a), 13, 14, 15 and 16 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies the survey measurements were made in accordance with the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

2. The survey was made on the ground in JULY 2006 and shows the area of the subject property, the location and type of all aboveground buildings, structures and other improvements situated on the subject property.

3. [Except as shown on the survey,] there are no visible easements or rights of way of which the undersigned has been advised.

4. [Except as shown on the survey,] there are no observable, above ground encroachments (a) by the improvements on the subject property upon adjoining properties, streets, or alleys or (b) by the improvements on adjoining properties, streets, or alleys upon the subject property.

5. The location of each easement, right of way, servitude, and other matter subject property and listed in the title insurance commitment with respect to the subject property, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located. The property shown on the survey is the property described in that title commitment. The location of all aboveground improvements on the subject property is in accord with minimum setback provisions and restrictions of record referenced in such title commitment.

6. The subject property has access to and from a duly dedicated and accepted public street or highway.

7. [Except as shown on the survey,] the subject property does not appear to serve any adjoining property for drainage, utilities, or ingress or egress.

8. The record description of the subject property forms a mathematically closed figure.

9. [Except as shown on the survey,] no portion of the property shown on the survey lies within a Special Hazard Area, as described on the Flood Insurance Rate Map for the community in which the subject property is located. [This survey correctly indicates the zone designation of any area shown as being within a Special Hazard Area.]

Evidence of source of title for the subject tract was provided in the form of Lawyers Title Insurance Corporation Commitment No. 28180 dated July 10, 2006. Part of the items shown thereon may have been depicted on the survey and are identified by their recording data. Should any additional items need to be depicted on the survey please advise and provide the appropriate documents. The within plat and survey were prepared without benefit of current evidence of source of title for the adjoiners to the subject tract and are therefore subject to any statement of facts revealed by examination of such documents.

The parties listed above are entitled to rely on the survey and this certificate as being true and accurate. Signed: John Kohl and Company, A DIVISION OF THE SCHNEIDER CORPORATION.
By: Patrick S. Coode Tennessee Registered Land Surveyor No. 855 DATED: JULY 28, 2006



NOTES:

1. THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS OF A CATEGORY 1 - URBAN AND SUBDIVISION LAND SURVEY, AS PER THE STANDARDS OF PRACTICE, AS REVISED AND ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE, (EFFECTIVE JANUARY 4, 1992)

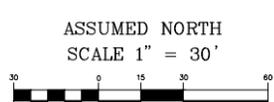
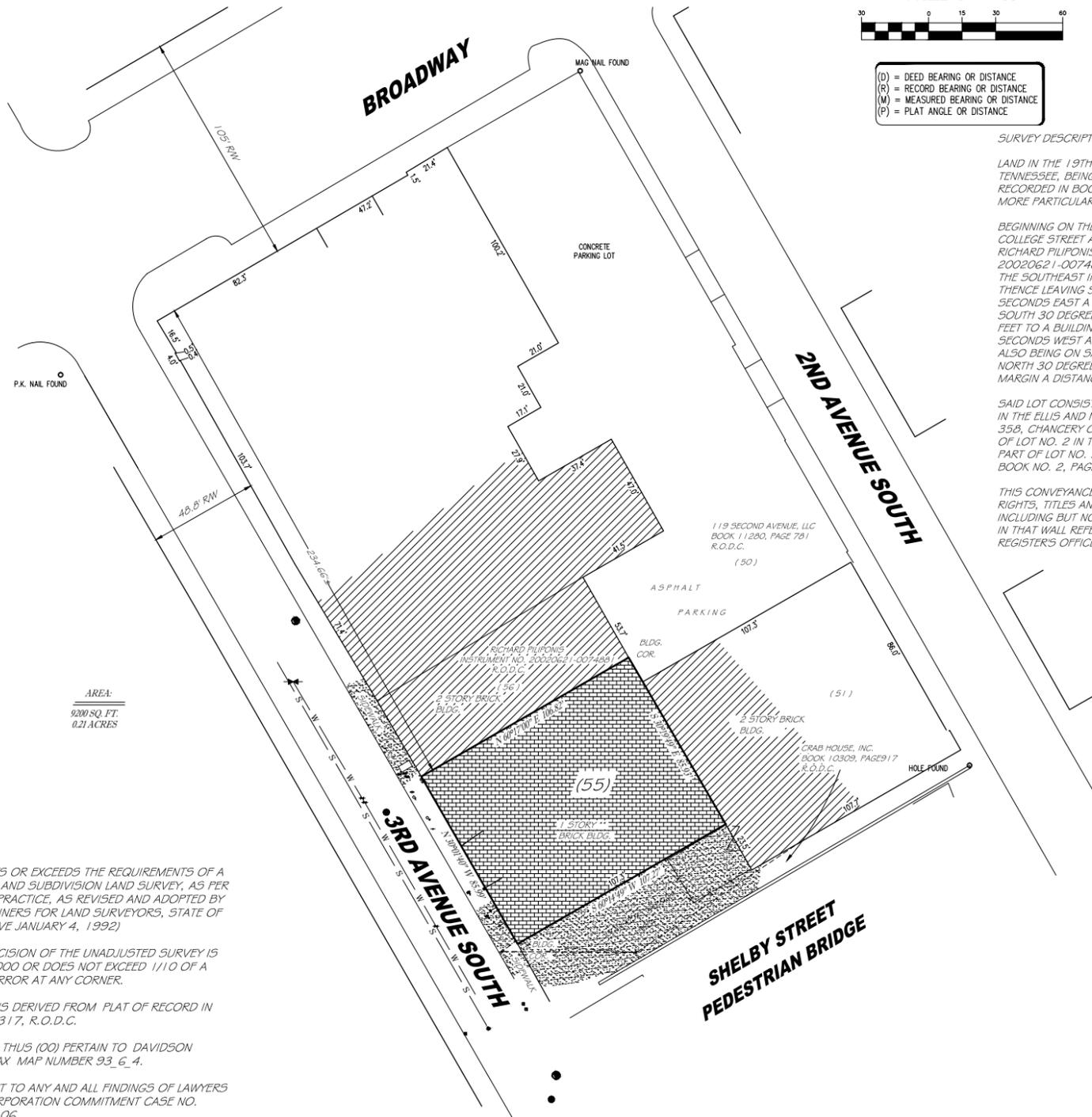
2. THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:10000 OR DOES NOT EXCEED 1/10 OF A FOOT OF POSITION ERROR AT ANY CORNER.

3. BEARING SYSTEM IS DERIVED FROM PLAT OF RECORD IN BOOK 7900, PAGE 317, R.O.D.C.

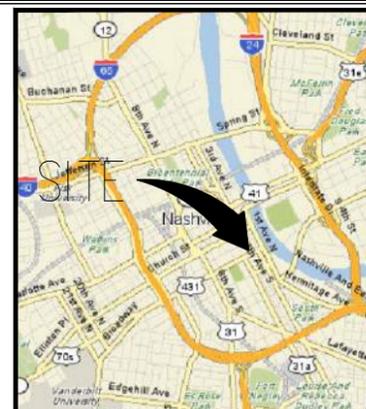
4. NUMBERS SHOWN THUS (00) PERTAIN TO DAVIDSON COUNTY PROPERTY TAX MAP NUMBER 93_G_4.

5. PROPERTY SUBJECT TO ANY AND ALL FINDINGS OF LAWYERS TITLE INSURANCE CORPORATION COMMITMENT CASE NO. 28180, DATED 7-10-06.

6. IN TENNESSEE IT IS A REQUIREMENT OF THE "UNDERGROUND UTILITY DAMAGE PREVENT ACT". THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER(S), NO LESS THAN (3) NOR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-800-351-1111 * UTILITIES NOT CHECKED.



(D) = DEED BEARING OR DISTANCE
(R) = RECORD BEARING OR DISTANCE
(M) = MEASURED BEARING OR DISTANCE
(P) = PLAT ANGLE OR DISTANCE



VICINITY MAP
N.T.S.

SURVEY DESCRIPTION

LAND IN THE 19TH COUNCILMANIC DISTRICT OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE, BEING PART OF LOT 28 IN JOHN PRICE'S PLAN OF LOTS, RECORDED IN BOOK 2, PAGE 246, REGISTER'S OFFICE FOR SAID COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING ON THE EASTERLY MARGIN OF THIRD AVENUE SOUTH, FORMERLY COLLEGE STREET AT THE SOUTHWEST CORNER OF THE LOT CONVEYED TO RICHARD PULPONIS BY DEED RECORDED AS INSTRUMENT NO. 20020621-007488, R.O.D.C., APPROXIMATELY 234.66 FEET SOUTHEAST OF THE SOUTHEAST INTERSECTION OF THIRD AVENUE AND BROADWAY; THENCE LEAVING SAID THIRD AVENUE NORTH 60 DEGREES 17 MINUTES 00 SECONDS EAST A DISTANCE OF 106.82 FEET TO A BUILDING CORNER; THENCE SOUTH 30 DEGREES 19 MINUTES 49 SECONDS EAST A DISTANCE OF 85.93 FEET TO A BUILDING CORNER; THENCE SOUTH 60 DEGREES 14 MINUTES 49 SECONDS WEST A DISTANCE OF 107.27 FEET TO A BUILDING CORNER POINT ALSO BEING ON SAID EASTERLY MARGIN OF THIRD AVENUE SOUTH; THENCE NORTH 30 DEGREES 01 MINUTES 40 SECONDS WEST ALONG SAID EASTERLY MARGIN A DISTANCE OF 85.99 FEET TO THE POINT OF BEGINNING.

SAID LOT CONSISTS OF LOT NO. 6 AND THE NORTHERN 4 FEET OF LOT NO. 7 IN THE ELLIS AND MOORE PLAN AS OF RECORD IN PLAN BOOK NO. 1, PAGE 358, CHANCERY COURT OF DAVIDSON COUNTY, TENNESSEE, AND ALSO A PART OF LOT NO. 2 IN THE DAVIDSON ACADEMY PLAN, NOT OF RECORD, ALSO A PART OF LOT NO. 28 IN JOHN PRICE'S PLAN OF LOTS, AS OF RECORD IN BOOK NO. 2, PAGE 246, OF THE REGISTER'S OFFICE FOR SAID COUNTY.

THIS CONVEYANCE EXPRESSLY INCLUDES HEREIN AND TRANSFERS HEREBY ALL RIGHTS, TITLES AND INTEREST IN AND TO PARTY WALLS, AND SPECIFICALLY INCLUDING BUT NOT EXCLUDING ALL OTHERS, ALL RIGHTS, TITLES AND INTEREST IN THAT WALL REFERRED TO AND OF RECORD IN BOOK 330, PAGE 1, SAID REGISTER'S OFFICE.

LEGEND table listing symbols for various features: Inlet or Catch Basin, Sewer Manhole, Telephone Manhole, Access Cover, Traffic Manhole, Water Manhole, Manhole, Cleanout, Area Light, Utility Pole with Guy Wire, Utility Pole with Riser, Flag Pole, Traffic Pole, Utility Pedestal, Electric Meter, Electric Transformer, Conditioning Unit, Utility Valve, Hydrant, Well, Water Valve, Water Meter, Gas Valve, Gas Meter, Signs, Mailbox, Tree, Shrub, Benchmark, Soil Boring, and various utility lines (Overhead, Underground).

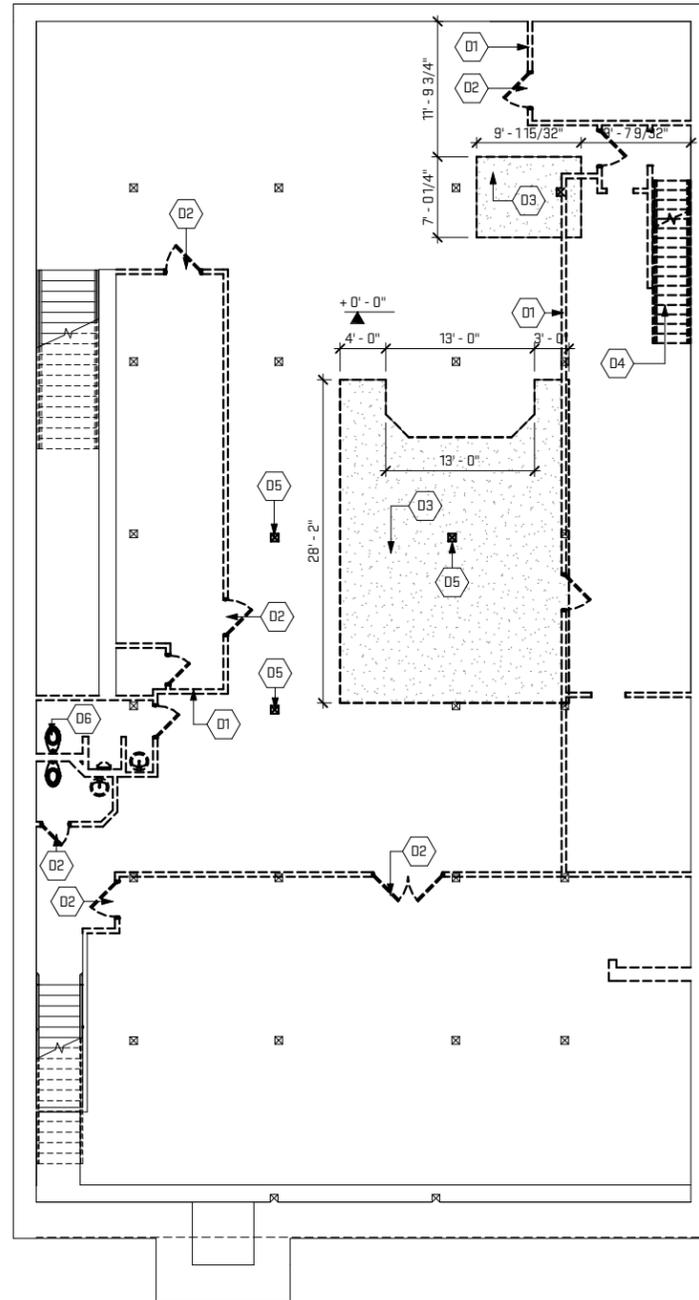
KOHL logo and contact information for John Kohl and Company, a division of The Schneider Corporation, located at 400 7th Avenue South, Nashville, TN 37203. Includes a list of Schneider Locations in Indiana, Tennessee, and other states.

Project information: 120 3RD AVENUE SOUTH ALTA/ACSM LAND TITLE SURVEY. Client information: C. EUGENE GILBERT, 2022 BUCKLE UP DRIVE, SUITE 200, NASHVILLE, TN 37215.

Revisions table, drawing files, and sheet number ONE.

SURVEYORS LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR WHOSE NAME APPEARS UPON THIS SURVEY.

Plot Date/Time: 12/19/2016 5:09:42 PM File Path: C:\Revit Local Files\LRC16_krks.rvt



1 Basement Demolition Plan
 AD-100 1/8" = 1'-0"
 4' 8' 16'

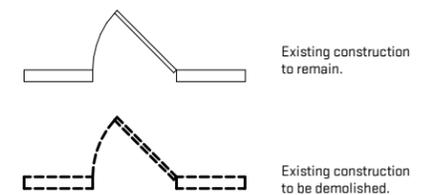
General Sheet Notes:

- A. **Codes and Regulations:** Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Comply with applicable requirements of NFPA 241 (Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2009)
- B. **Structural Demolition, General:** It is the contractor's responsibility to provide adequate shoring and bracing during construction to account for all forces, including but not limited to; forces from gravity, earth, wind, and unbalanced forces due to construction sequence.
- C. **Saw Cutting, General:** Saw cutting of new openings in existing concrete and/or masonry walls shall be done without overcutting beyond the boundaries of the intended opening. Any structural repairs required by the structural engineer as a result of overcutting beyond the boundaries of an opening shall be paid for by the saw cutting contractor. See drawings for additional information.
- D. **Protection:** Protect existing Work to remain and protect the workers and the public from construction operations. To that end, construct temporary dust proof enclosures to prevent dust migration into occupied spaces and provide, erect, and maintain temporary barriers and security devices to prevent access to areas that could be hazardous to workers or the public.
- E. **Obstructions:** Do not close or obstruct roadways or sidewalks without permit and conduct operations to minimize obstruction of public and private entrances and exits; do not obstruct required exits at any time; protect persons using entrances and exits from removal operations. Salvage: Do not begin removal until built elements to be salvaged or relocated have been removed.
- F. **Debris and Waste Removal:** Maintain dumpster facilities as indicated under Form of Agreement and General Conditions. Immediately remove debris, junk, and trash from site and at the end of each work day, leave site in clean and safe condition, ready for subsequent work and as indicated in Special Conditions (where applicable).
- G. **Coordination, Cutting and Patching:** See Coordination, Cutting and Patching notes for additional requirements.
- H. **Services [Including but not limited to HVAC, Plumbing, Fire Protection, and Electrical]:** Remove existing systems and equipment as indicated. Protect existing services during construction operations and verify that abandoned services serve only abandoned facilities before removal.
- I. **Utility shut-downs:** Coordinate any required shut-downs prior to beginning construction operations. Provide Owner a minimum of 2-week notice prior to performing actual shut-down work.

Sheet Keynotes

- D1 Demolish existing interior partition.
- D2 Demolish existing door, frame, casing and hardware.
- D3 Demolish existing concrete flooring and necessary bedrock.
- D4 Remove and salvage existing stair, stringers and railings.
- D5 Demolish existing structural column. Provide temporary structural support as needed until new structure is in place.
- D6 Remove existing plumbing fixture and terminate at source.

Demolition Floor Plan Legend



Scales listed are for 22x34 drawing size



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Job Title:
 120 / 122 3rd Avenue South

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 Nashville, TN 37201

Sheet Title:
 Basement Demolition Plan

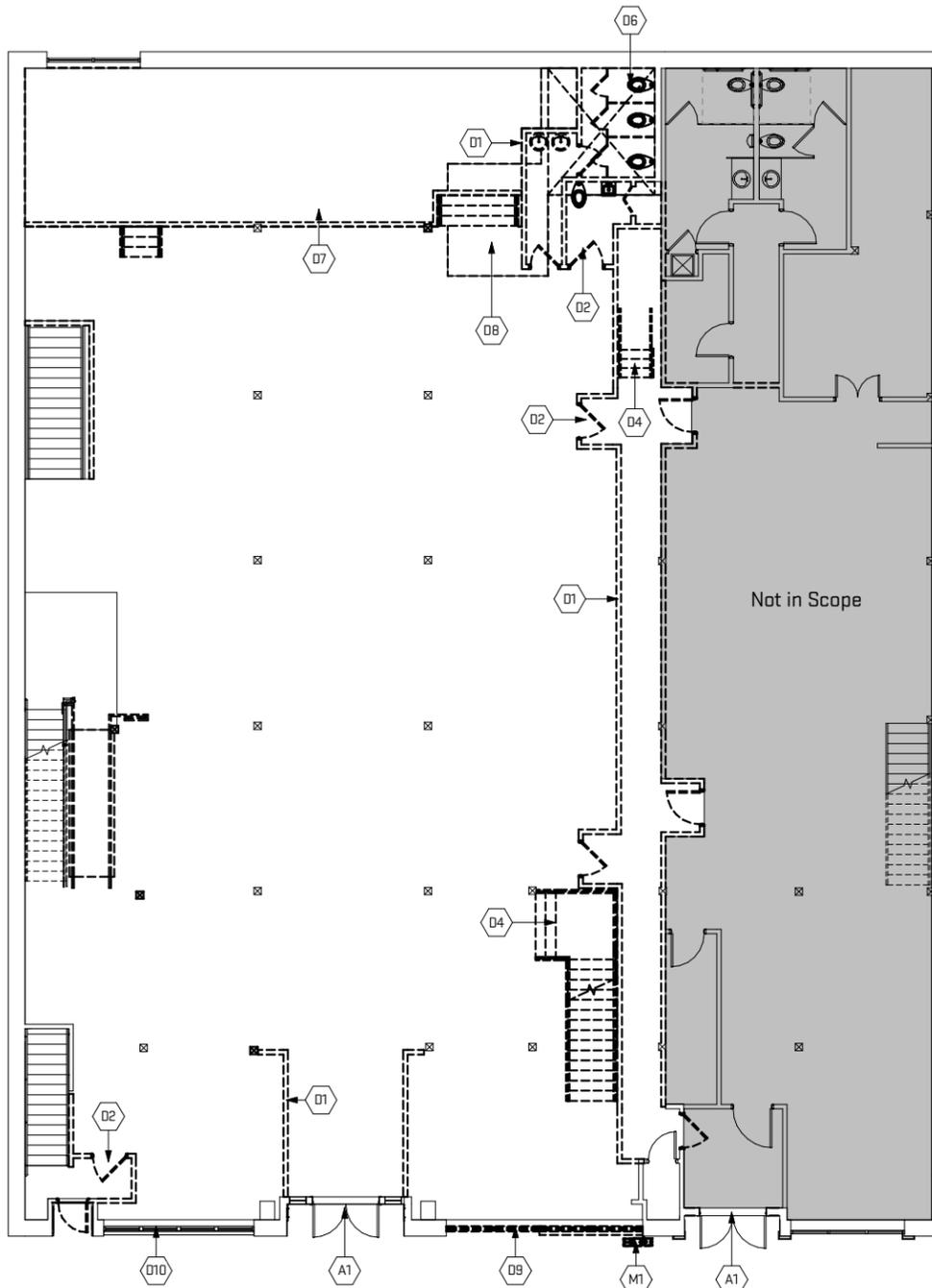
Released For: MH ZC & MOHA Submittal

12/14/2016

LRC16

AD-100

NOT FOR CONSTRUCTION



1 Level 1 Demolition Plan
AD-101
1/8" = 1'-0"

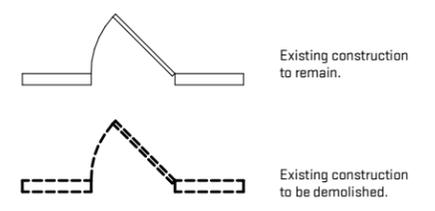
General Sheet Notes:

- A. **Codes and Regulations:** Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Comply with applicable requirements of NFPA 241 (Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2009)
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Sheet Keynotes

- A1 Existing door to remain.
- D1 Demolish existing interior partition.
- D2 Demolish existing door, frame, casing and hardware.
- D4 Remove and salvage existing stair, stringers and railings.
- D6 Remove existing plumbing fixture and terminate at source.
- D7 Demolish existing stage and stairs. Patch and repair flooring as needed.
- D8 Remove existing flooring.
- D9 Remove existing windows and framing. Infill all existing openings as indicated on plans.
- D10 Remove and salvage existing windows and framing. Infill all existing openings as indicated on plans.
- M1 Existing meters to be moved, refer to mechanical drawings.

Demolition Floor Plan Legend



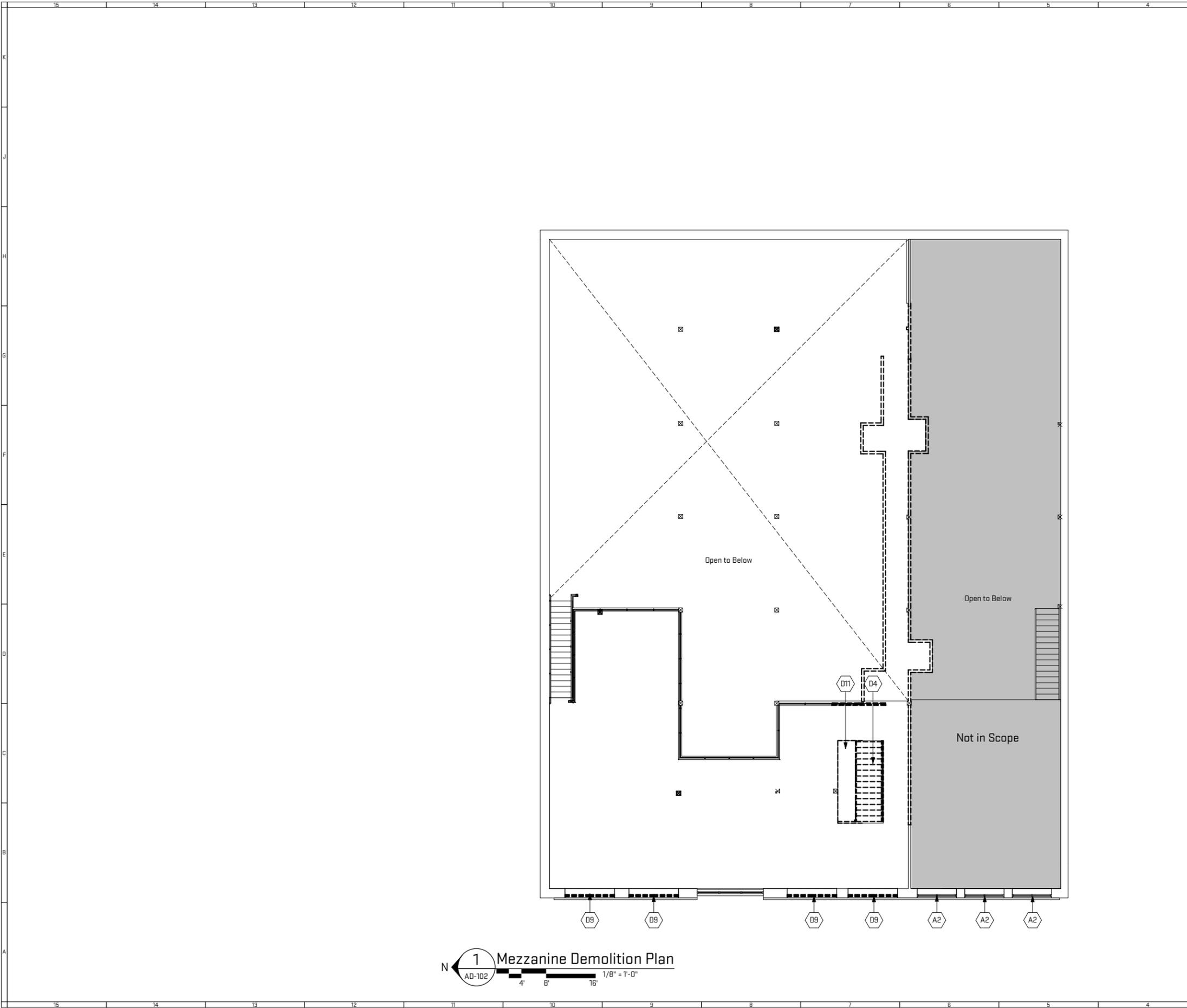
Job Title:
120 / 122 3rd Avenue South

Sheet Title:
Level 1 Demolition Plan
Released For: MH ZC & MOHA Submittal

12/14/2016
LRC16

AD-101

Scales listed are for 22x34 drawing size



1 Mezzanine Demolition Plan
AD-102 1/8" = 1'-0"

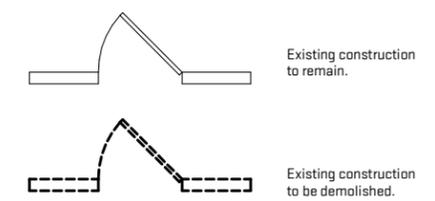
General Sheet Notes:

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- I. **Utility shut-downs:** Coordinate any required shut-downs prior to beginning construction operations. Provide Owner a minimum of 2-week notice prior to performing actual shut-down work.

Sheet Keynotes

- A2 Existing windows to remain.
- D4 Remove and salvage existing stair, stringers and railings.
- D9 Remove existing windows and framing. Infill all existing openings as indicated on plans.
- D11 Remove and salvage existing flooring.

Demolition Floor Plan Legend



Job Title:
120 / 122 3rd Avenue South
120/122 3rd Avenue South
Nashville, TN 37201

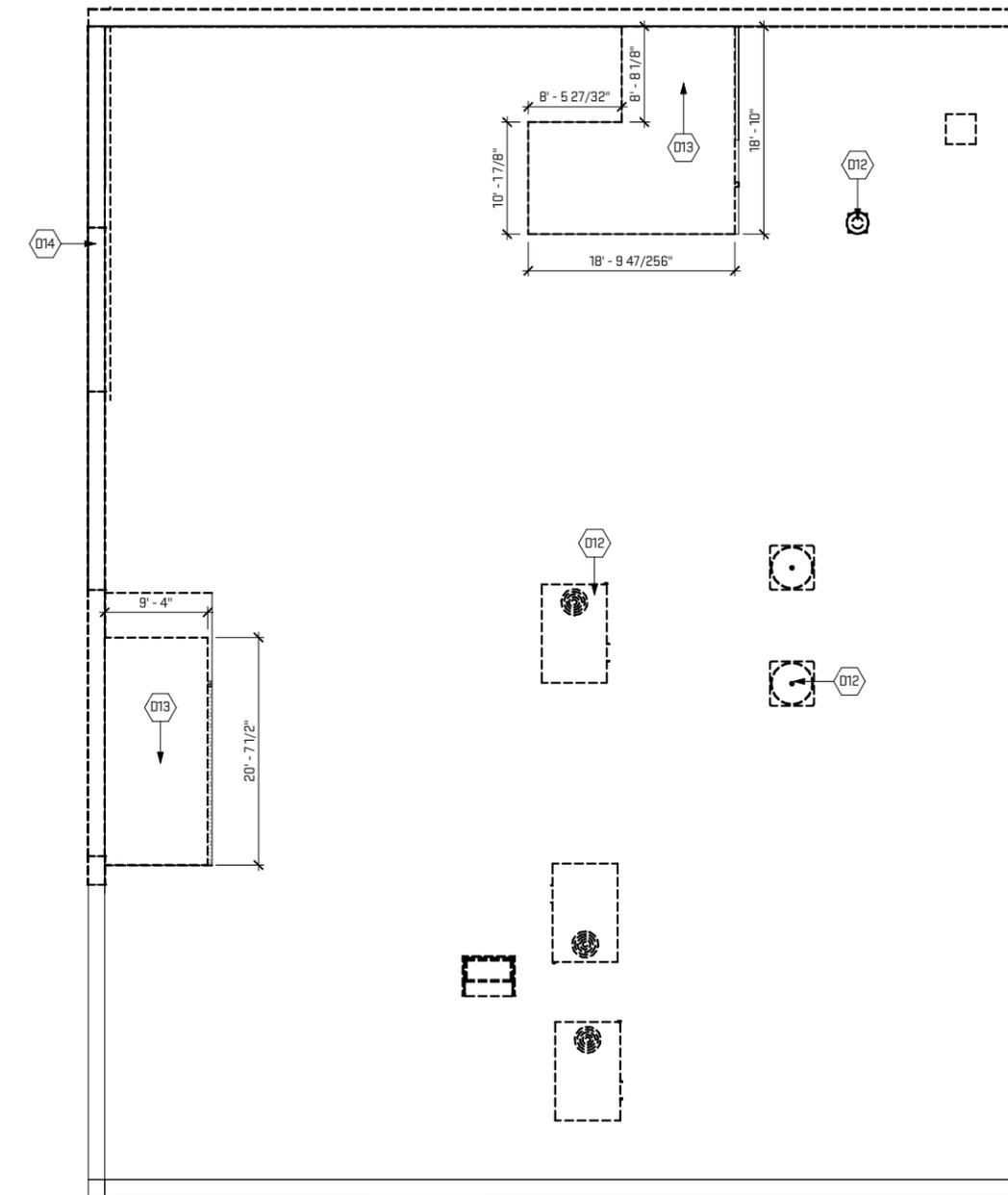
Sheet Title:
Level 1 - Mezzanine Demo Plan
Released For: MH ZC & MOHA Submittal

12/14/2016
LRC16
AD-102

NOT FOR CONSTRUCTION

Scales listed are for 22x34 drawing size

Plot Date/Time: 12/19/2016 5:09:46 PM File Path: C:\Revit Local Files\LRC16_krks.rvt



1 Roof Demolition Plan
AD-104
4' 8' 16'
1/8" = 1'-0"

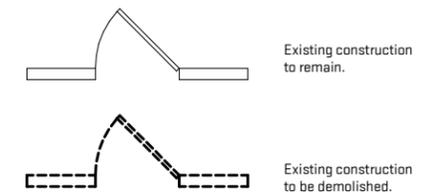
General Sheet Notes:

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Sheet Keynotes

- D12 Remove and salvage mechanical equipment.
- D13 Remove existing portion of roofing.
- D14 Remove existing aluminum parapet cap throughout.

Demolition Floor Plan Legend



Scales listed are for 22x34 drawing size



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Job Title:
120 / 122 3rd Avenue South

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Sheet Title:
Demolition Roof Plan

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12/14/2016

LRC16

AD-104

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Plot Date/Time: 12/19/2016 5:09:47 PM
 File Path: C:\Revit Local Files\LRC16_kirks.rvt



1 Demolition West Elevation
 AD-300 1/4" = 1'-0"

General Sheet Notes:

- A. **Codes and Regulations:** Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Comply with applicable requirements of NFPA 241 (Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2009)
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Sheet Keynotes

- A1 Existing door to remain.
- A2 Existing windows to remain.
- D9 Remove existing windows and framing. Infill all existing openings as indicated on plans.
- D10 Remove and salvage existing windows and framing. Infill all existing openings as indicated on plans.
- D14 Remove existing aluminum parapet cap throughout.
- D15 Demolish existing window base and brickwork.
- D16 Remove existing diamondplate panel.
- M1 Existing meters to be moved, refer to mechanical drawings.



Job Title:
120 / 122 3rd Avenue South
 120/122 3rd Avenue South
 Nashville, TN 37201

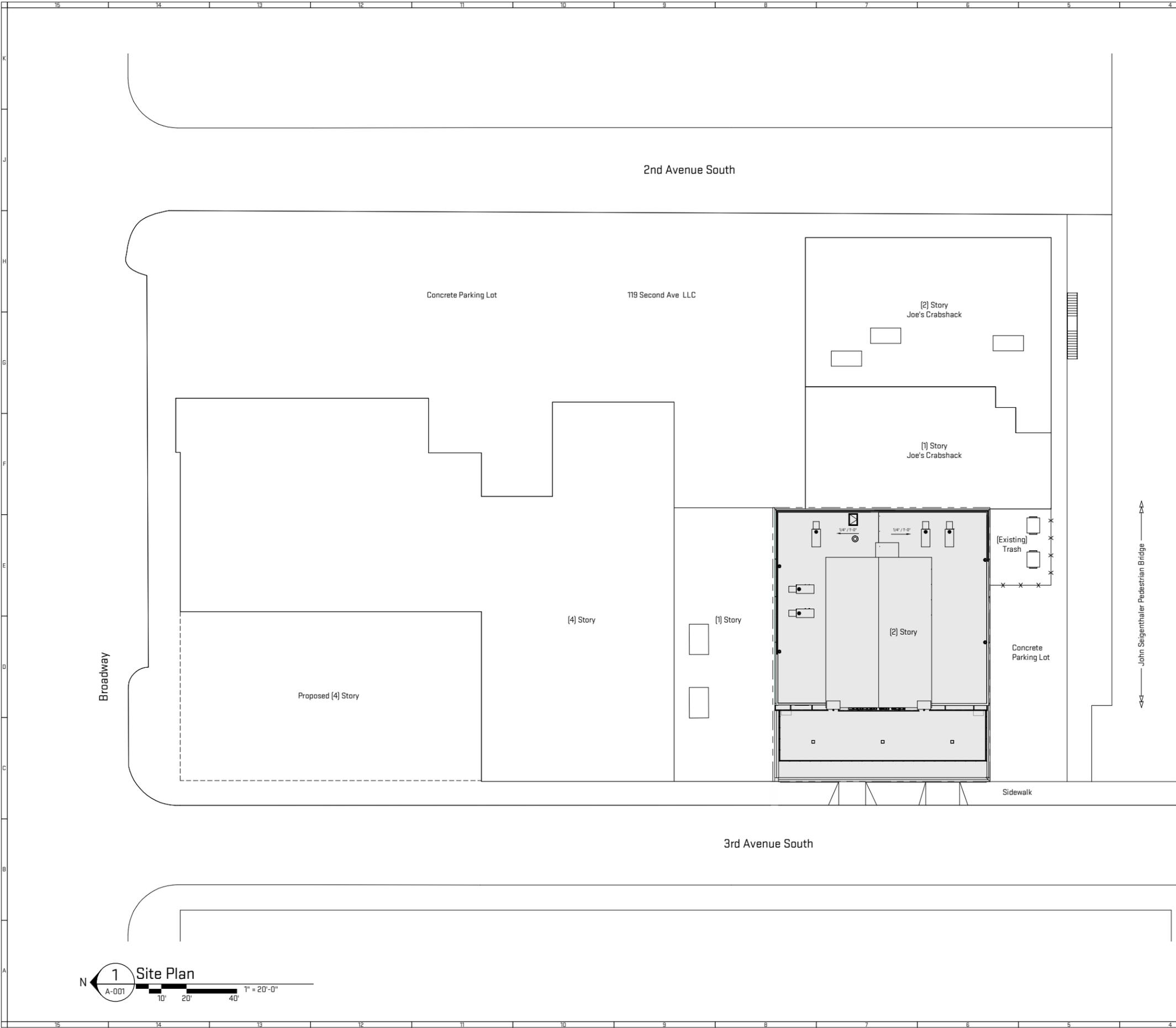
Sheet Title:
Demolition Exterior Elevation
 Released For: MH ZC & MOHA Submittal

12/14/2016
 LRC16
 AD-300

Scales listed are for 22x34 drawing size

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Plot Date/Time: 12/19/2016 5:09:37 PM File Path: C:\Revit Local Files\LRC16_krks.rvt



General Sheet Notes:
None

Sheet Keynotes



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Job Title:
120 / 122 3rd Avenue South

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Nashville, TN 37201

Sheet Title:
Architectural Site Plan
Released For: MH ZC & MOHA Submittal

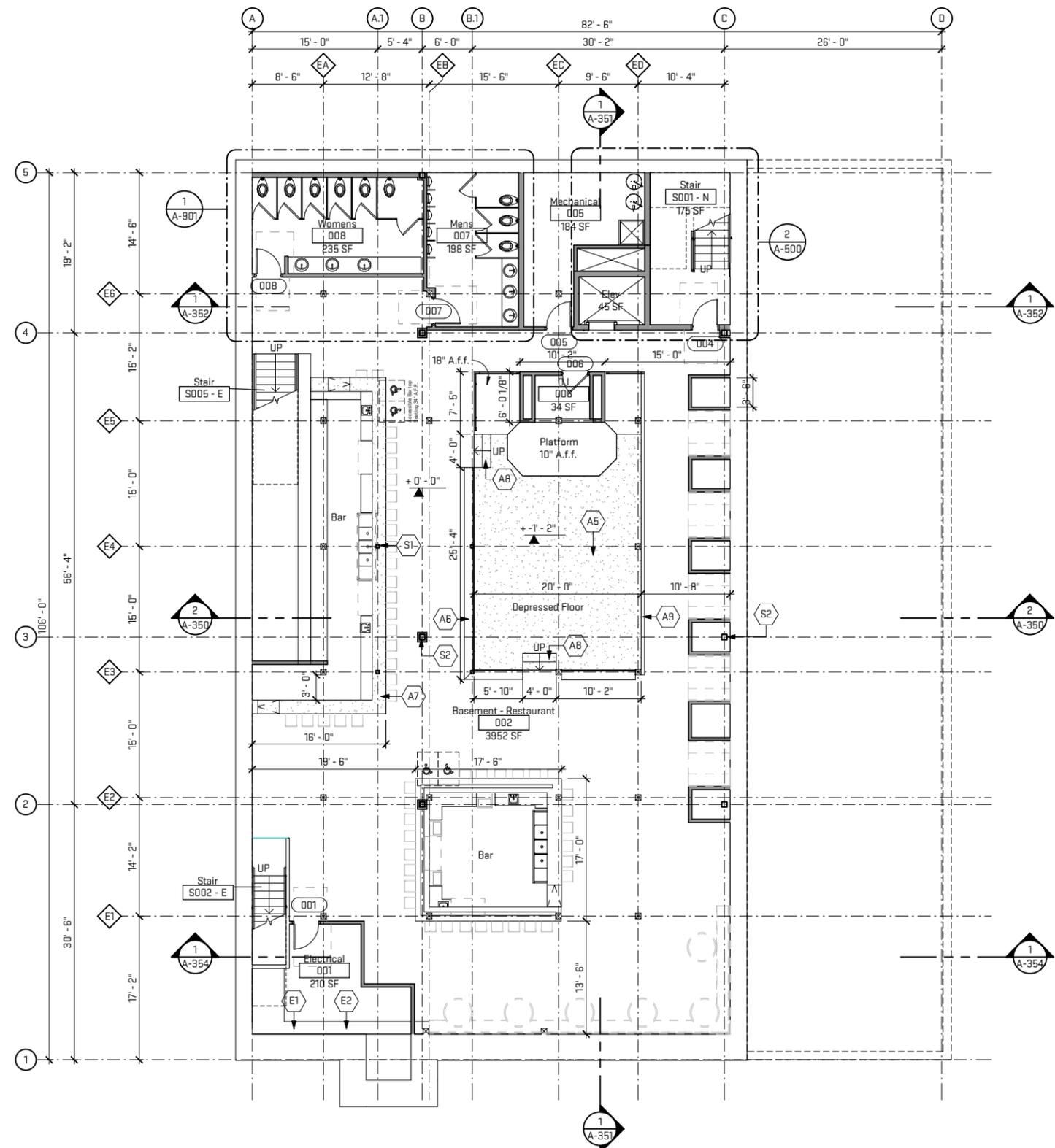
12/14/2016

LRC16

A-001

Scales listed are for 22x34 drawing size

NOT FOR CONSTRUCTION



1 Basement Floor Plan
 A-100
 1/8" = 1'-0"
 4' 8' 16'

General Sheet Notes:

A. All interior combustible decorative finishes including pallet wood interior wall cladding to be flame resistant or shall be treated and maintained flame resistant standards, pallet wood to be treated with firetect safe-t-guard icbo#3656. shall comply w/ IFC 703. All 2x wood blocking to be fire retardant treated wood. All plywood / wood backing to be fire retardant treated wood.

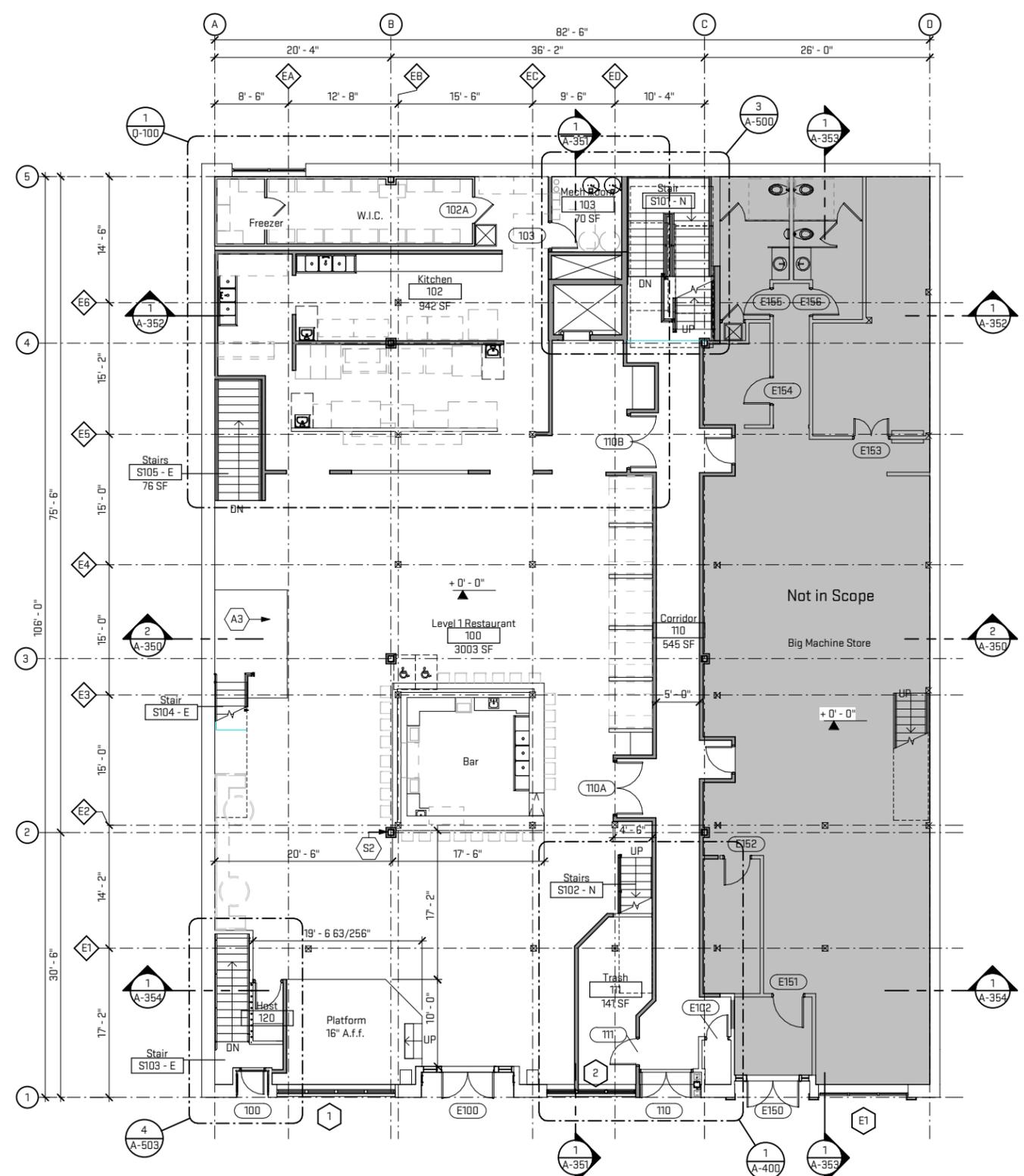
B. All Furniture-by owner (5% (not less than 1) of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

- # Sheet Keynotes**
- A5 New recessed concrete floor, 14" below finished floor.
 - A6 New guard rail with drink rail.
 - A7 Existing guard to remain.
 - A8 Grease duct.
 - A9 New half wall.
 - E1 Electrical equipment, see electrical drawings.
 - E2 Electrical panel, see electrical drawings.
 - S1 New HSS Column - extends to level 1, refer to structural drawings.
 - S2 New HSS Column - extends to new roof deck structure, refer to structural drawings.

Architectural Floor Plan Legend

- No work this area. Not in Scope
- Scope of work boundary.
- New construction. (UL #419)
- Existing Construction to Remain
- Furniture system per tenant

Plot Date/Time: 12/19/2016 5:09:21 PM File Path: C:\Revit Local Files\LRC16_krks.rvt



1 Level 1 Floor Plan
A-101 1/8" = 1'-0"

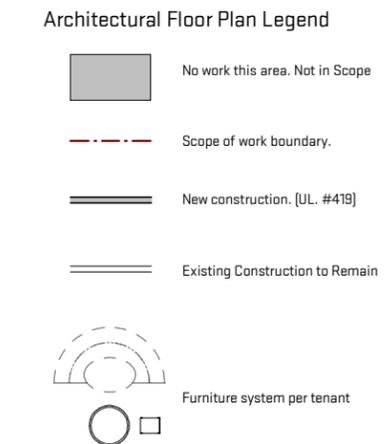
General Sheet Notes:

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B. All Furniture-by owner (5% (not less than 1) of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

Sheet Keynotes

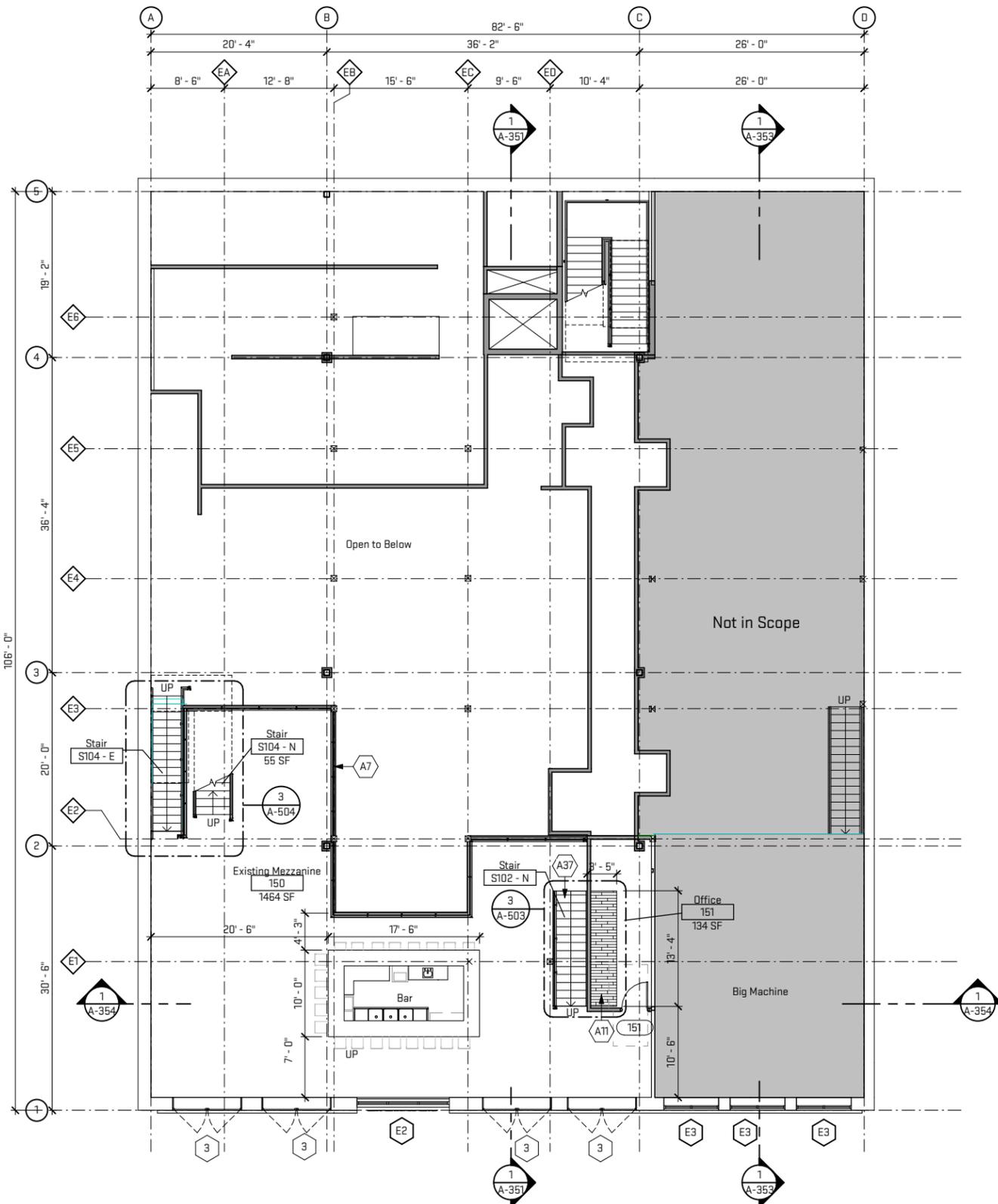
A3 Existing platform.
S2 New HSS Column - extends to new roof deck structure, refer to structural drawings.



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1 Mezzanine Floor Plan
 Scale: 1/8" = 1'-0"
 North Arrow

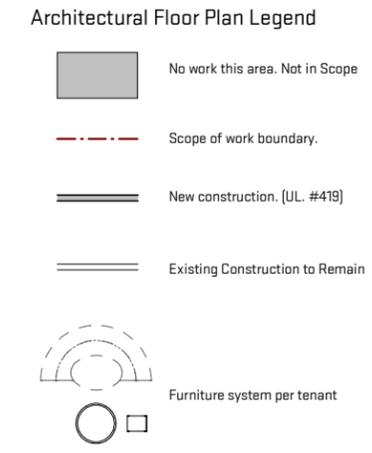
General Sheet Notes:

A. All interior combustible decorative finishes including pallet wood interior wall cladding to be flame resistant or shall be treated and maintained flame resistant standards, pallet wood to be treated with firetect safe-t-guard icbo#3656. shall comply w/ IFC 703. All 2x wood blocking to be fire retardant treated wood. All plywood / wood backing to be fire retardant treated wood.

B. All Furniture-by owner (5% (not less than 1) of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

Sheet Keynotes

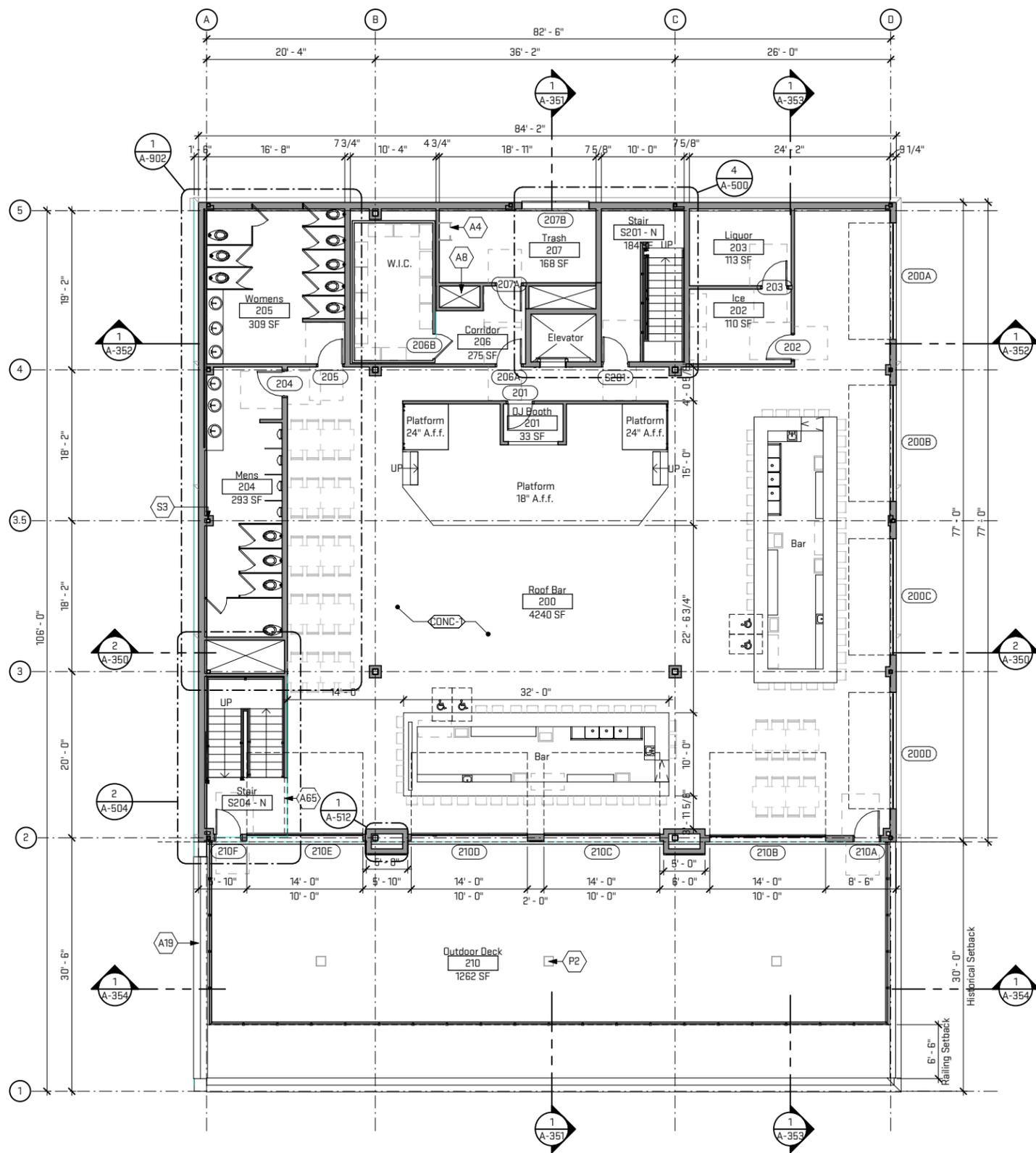
A7 Existing guard to remain.
 A11 New flooring infill; see structural.
 A37 Salvage stairs; see demo.



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1 Level 2 - Roof Deck Floor Plan
 A-104 1/8" = 1'-0"

General Sheet Notes:

- A. All interior combustible decorative finishes including pallet wood interior wall cladding to be flame resistant or shall be treated and maintained flame resistant standards. pallet wood to be treated with fireproof safe-t-guard icbo#3656. shall comply w/ IFC 703. All 2x wood blocking to be fire retardant treated wood. All plywood / wood backing to be fire retardant treated wood
- B. All Furniture-by owner (5% (not less than 1) of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

Sheet Keynotes

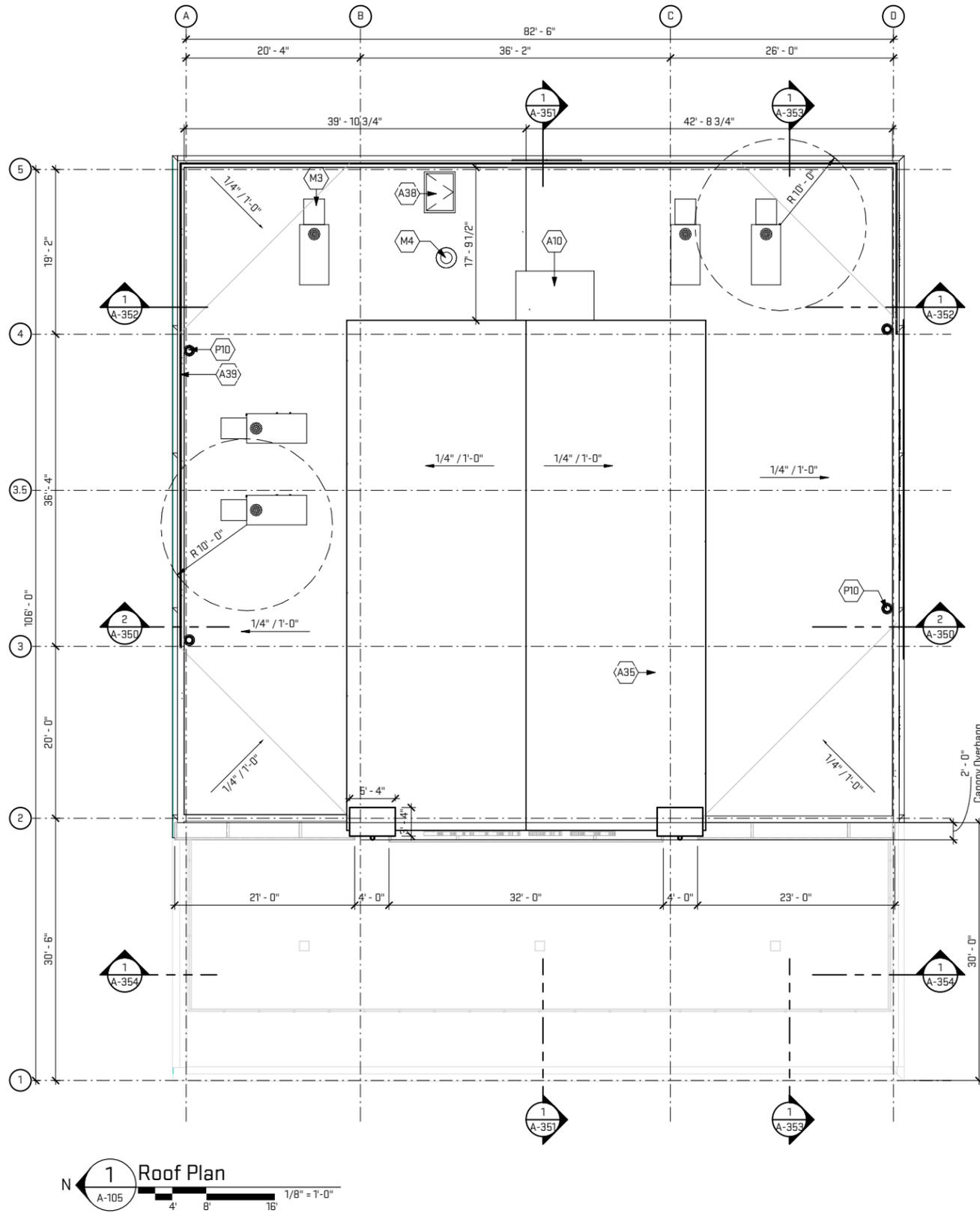
- A4 Roof access.
- A8 Grease duct.
- A19 New clay coping tiles; double slant style.
- A65 Draft curtain overhead.
- P2 Prom deck roof drain, refer to plumbing drawings.
- S3 New HSS Column, refer to structural drawings.

Architectural Floor Plan Legend

- No work this area. Not in Scope
- Scope of work boundary.
- New construction. (UL. #419)
- Existing Construction to Remain
- Furniture system per tenant

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Scales listed are for 22x34 drawing size



General Sheet Notes:
None

- # Sheet Keynotes
- A10 Elevator over-run.
 - A35 New EPDM roof construction; R ##.
 - A38 New roof hatch.
 - A39 New roof railing.
 - M3 Mechanical equipment, refer to mechanical drawings.
 - M4 Exhaust fan, refer to mechanical drawings.
 - P10 Roof drain / overflow drain, refer to plumbing drawings.

Job Title:	120 / 122 3rd Avenue South
Sheet Title:	Roof Plan
	Released For: MH ZC & MOHA Submittal
	120/122 3rd Avenue South Nashville, TN 37201

12/14/2016	Project #	Dwg Date
LRC16		
A-105	Drawing #	

Scales listed are for 22x34 drawing size

Plot Date/Time: 12/19/2016 5:09:30 PM
 File Path: C:\Revit Local Files\LRC16.kirks.rvt



3 West Elevation
 A-301 1/4" = 1'-0"

General Sheet Notes:
 1. Sign by Sign Manufacturer, shown for intent only. Not in Contract. Coordinate with new tenant and new signage.

- # Sheet Keynotes**
- A17 Salvaged wood frame windows from demolition phase.
 - A18 New alcove to be finished similarly to other facade entries.
 - A24 New folding windows; wood frame to match existing.
 - A26 Existing to remain.
 - A58 New masonry to match existing.
 - A60 Blade sign by sign Manufacturer, Not in Contract, shown for intent only.
 - A62 Existing temporary sign to be removed and updated per MHZC signage standards.
 - A63 New painted signage mural.
 - A64 Side lights to be replaced with glass.
 - M1 Existing meters to be moved, refer to mechanical drawings.

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	Woodtone - Real Wood	Rosewood / TBD	Exterior Siding
CS-2	Fiber Cement Panel	Woodtone - Real Wood	Timber Trail / TBD	Facade Accent Material
PT-1	Paint	Benjamin Moore	HC-49 Mayflower Red	Exterior Facade Paint

Scales listed are for 22x34 drawing size

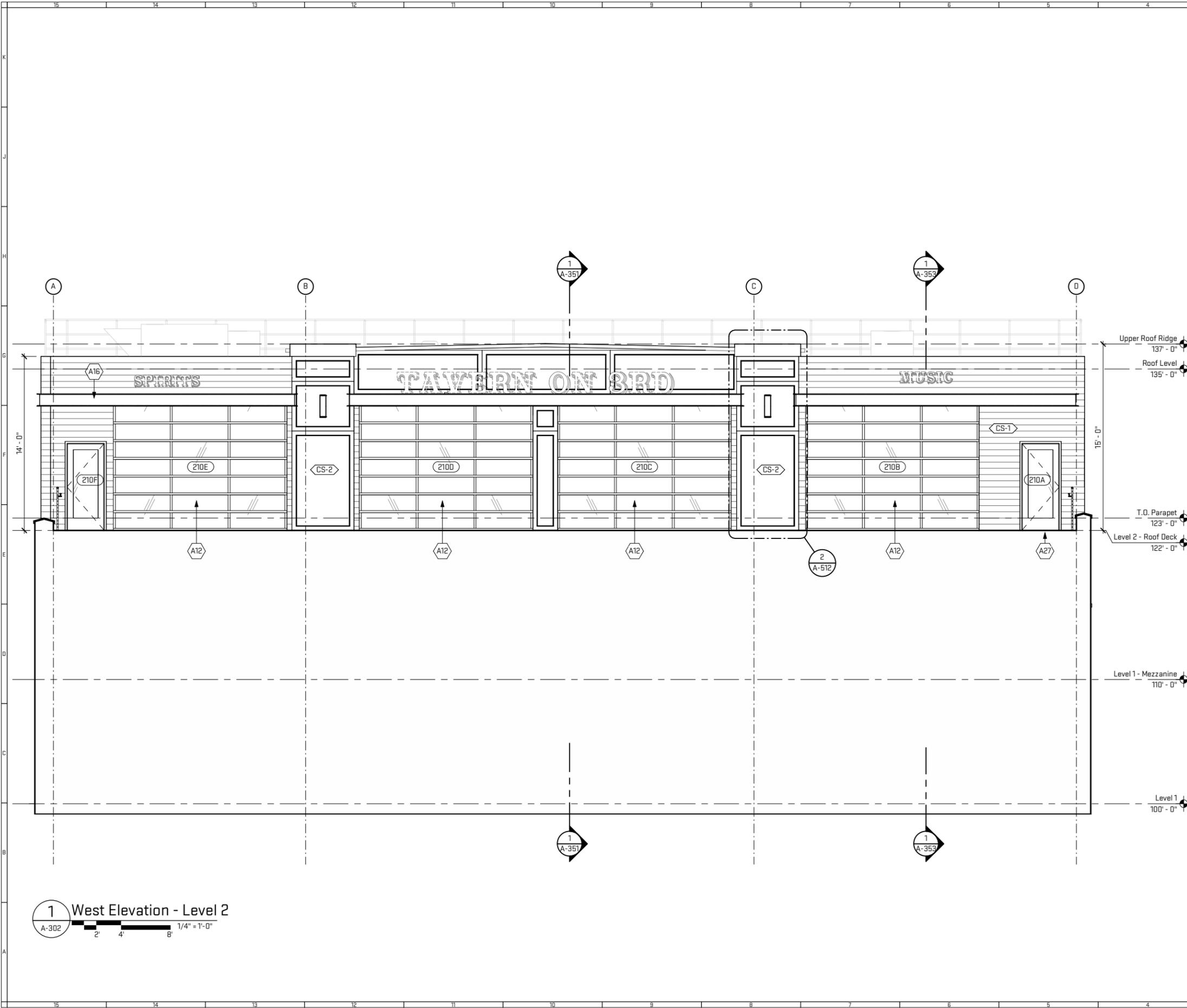
Job Title:
120 / 122 3rd Avenue South
 120/122 3rd Avenue South
 Nashville, TN 37201

Sheet Title:
Exterior Elevations
 Released For: MH ZC & MOHA Submittal

12/14/2016
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A-301

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Plot Date/Time: 12/19/2016 5:09:33 PM File Path: C:\Revit Local Files\LRC16_krks.rvt



1 West Elevation - Level 2
A-302

General Sheet Notes:

- Sign by Sign Manufacturer, shown for intent only. Not in Contract. Coordinate with new tenant nall new signage.

Sheet Keynotes

- A12 New Haas commercial aluminum sectional glass garage doors or equal, with 42" guard rail.
- A16 New canopy construction.
- A27 New roofdeck construction, 3" lightweight concrete on metal form, refer to structural drawings.

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	Woodtone - Real Wood	Rosewood / TBD	Exterior Siding
CS-2	Fiber Cement Panel	Woodtone - Real Wood	Timber Trail / TBD	Facade Accent Material
PT-1	Paint	Benjamin Moore	HC-49 Mayflower Red	Exterior Facade Paint

Scales listed are for 22x34 drawing size



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120 / 122 3rd Avenue South

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Nashville, TN 37201

Sheet Title:
Exterior Elevations

Released For: MH ZC & MOHA Submittal

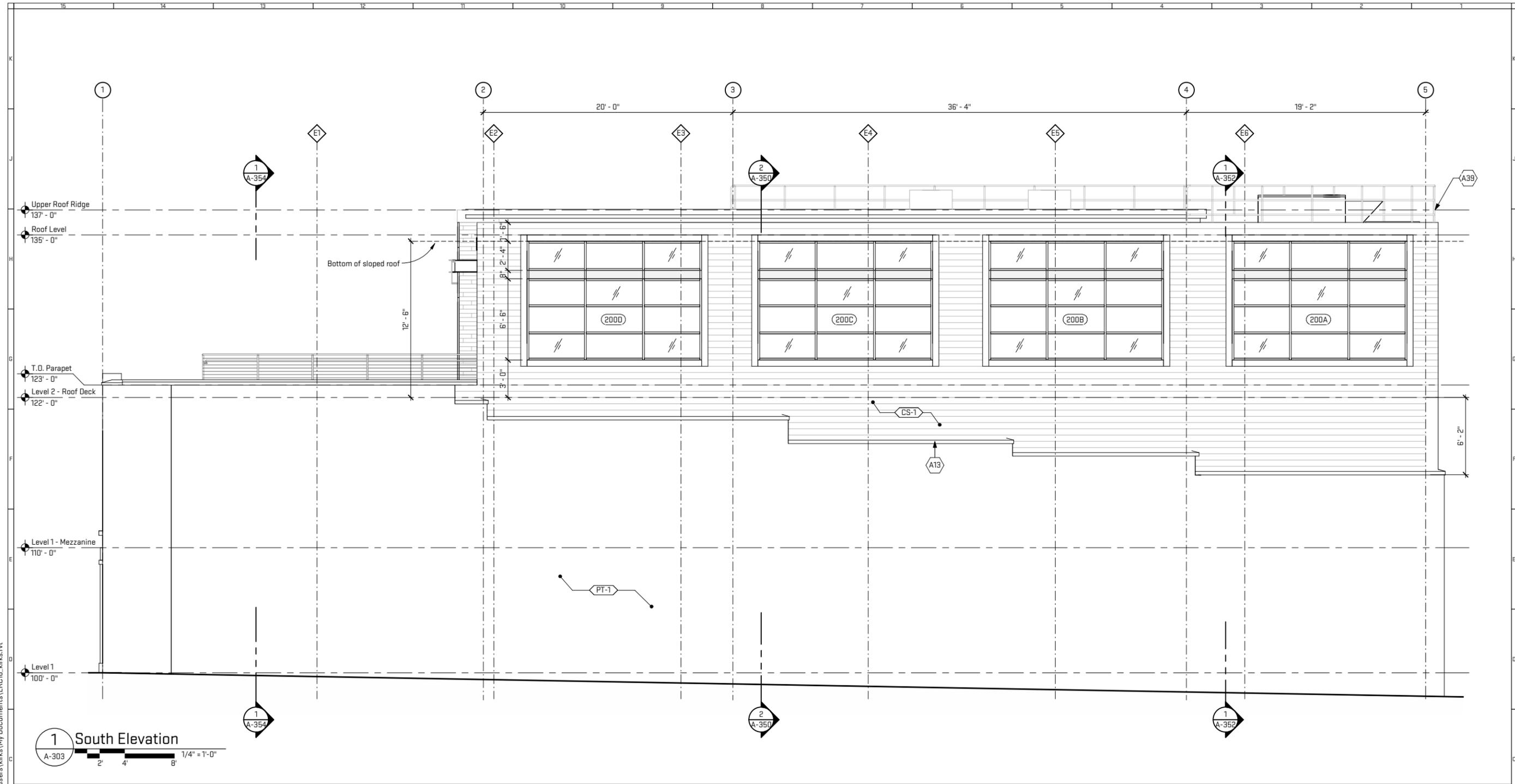
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A-302

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Plot Date/Time: 12/14/2016 10:39:34 AM File Path: \\caesar\users\kirk\My Documents\LRC16.kirks.rvt



1 South Elevation
A-303

General Sheet Notes:

- 1. Sign by Sign Manufacturer, shown for intent only. Not in Contract. Coordinate with new tenant and new signage.

Sheet Keynotes

- A13 New clay coping tile on existing parapet.
- A39 New roof railing.

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	Woodtone - Real Wood	Rosewood / TBD	Exterior Siding
CS-2	Fiber Cement Panel	Woodtone - Real Wood	Timber Trail / TBD	Facade Accent Material
PT-1	Paint	Benjamin Moore	HC-49 Mayflower Red	Exterior Facade Paint

Job Title:
120 / 122 3rd Avenue South

120/122 3rd Avenue South
Nashville, TN 37201

Sheet Title:
Exterior Elevations

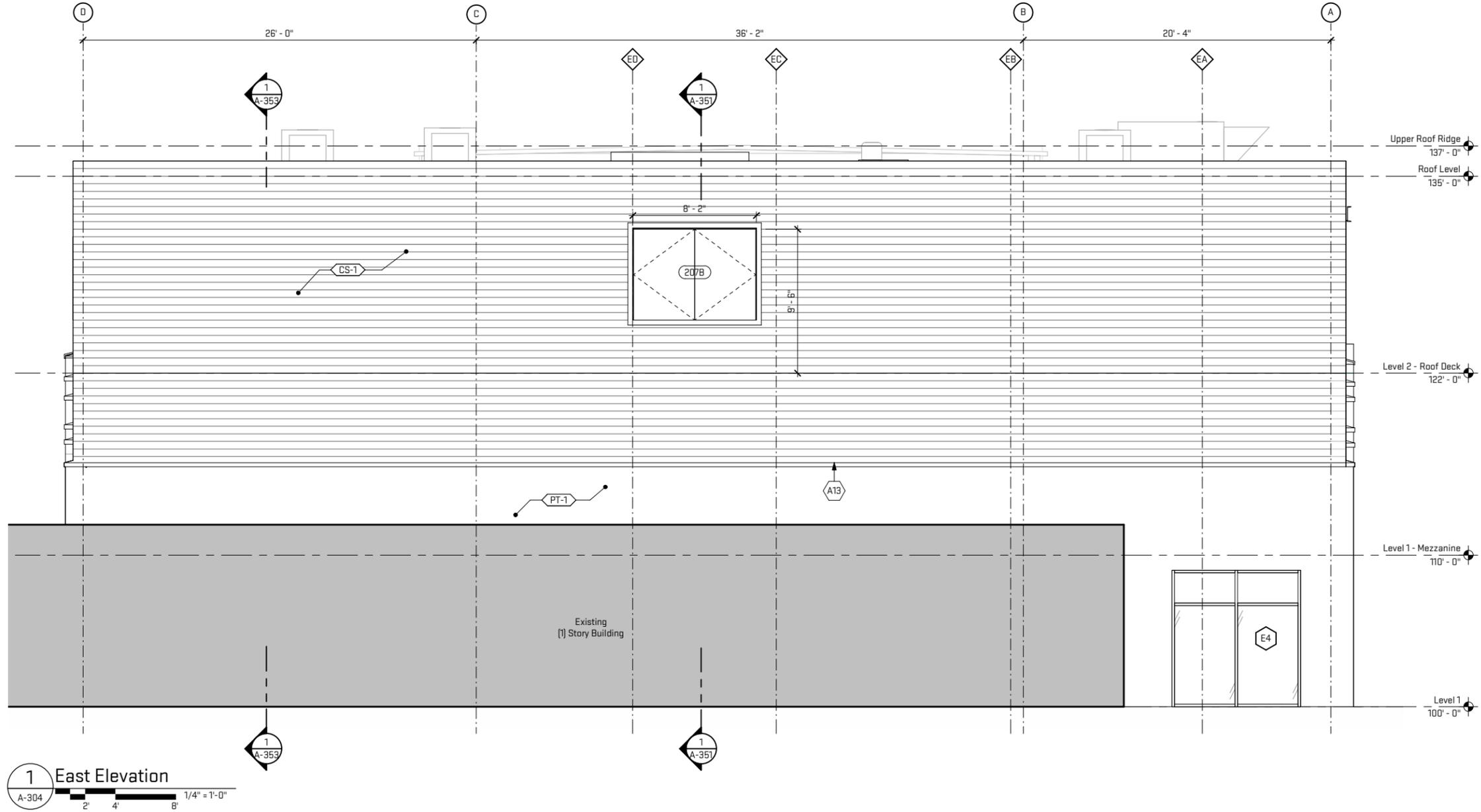
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LRC16

A-303

Scales listed are for 22x34 drawing size

NOT FOR CONSTRUCTION



1 East Elevation
A-304 1/4" = 1'-0"

General Sheet Notes:

- 1. Sign by Sign Manufacturer, shown for intent only. Not in Contract. Coordinate with new tenant nall new signage.

Sheet Keynotes

- A13 New clay coping tile on existing parapet.

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	Woodtone - Real Wood	Rosewood / TBD	Exterior Siding
CS-2	Fiber Cement Panel	Woodtone - Real Wood	Timber Trail / TBD	Facade Accent Material
PT-1	Paint	Benjamin Moore	HC-49 Mayflower Red	Exterior Facade Paint

Job Title:
120 / 122 3rd Avenue South

120/122 3rd Avenue South
Nashville, TN 37201

Sheet Title:
Exterior Elevations

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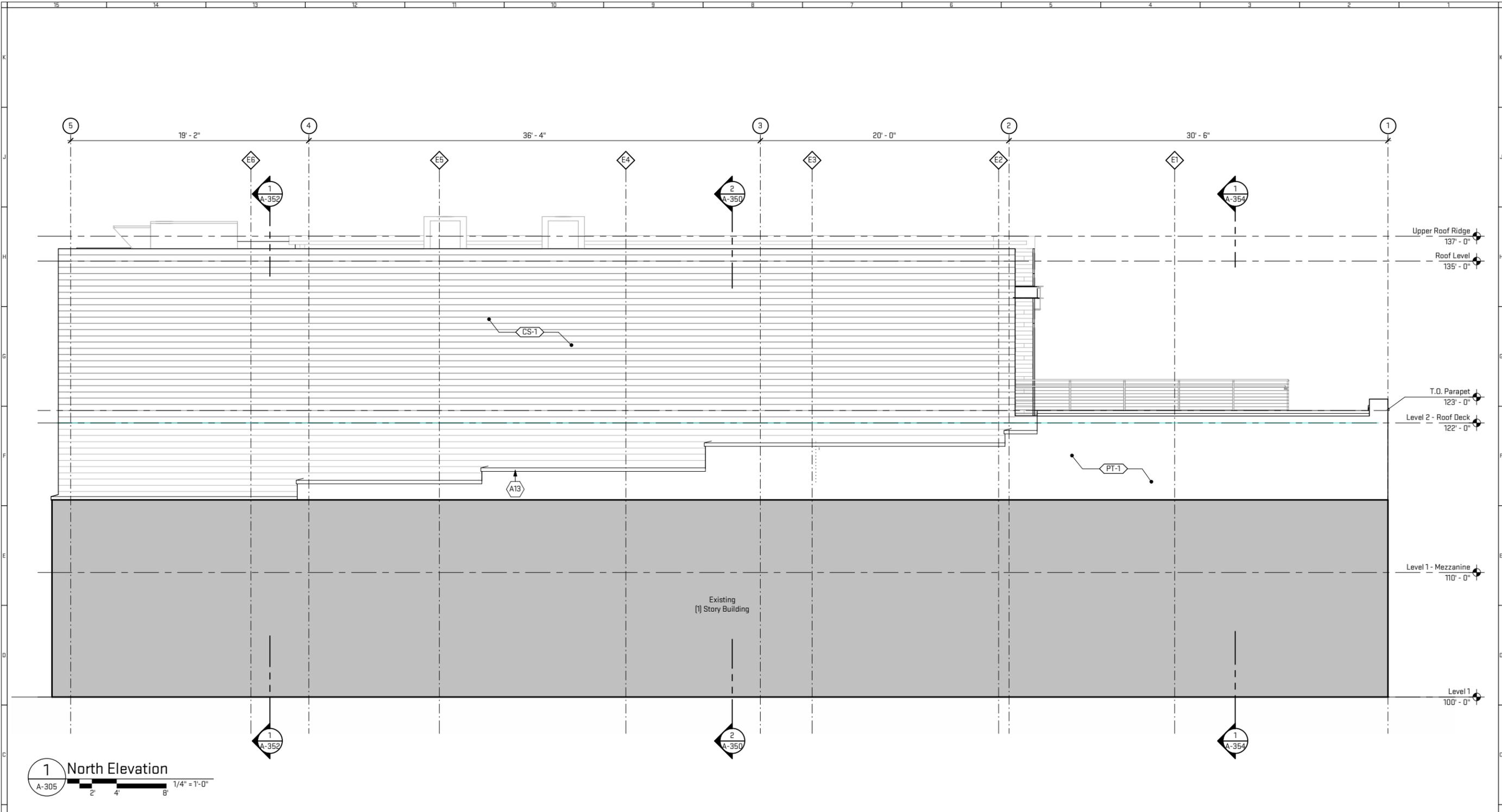
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A-304

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Job Title:
120 / 122 3rd Avenue South

120/122 3rd Avenue South
Nashville, TN 37201

Sheet Title:
Exterior Elevations

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1 North Elevation
A-305

General Sheet Notes:

- 1. Sign by Sign Manufacturer, shown for intent only. Not in Contract. Coordinate with new tenant nall new signage.

Sheet Keynotes

- A13 New clay coping tile on existing parapet.

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	Woodtone - Real Wood	Rosewood / TBD	Exterior Siding
CS-2	Fiber Cement Panel	Woodtone - Real Wood	Timber Trail / TBD	Facade Accent Material
PT-1	Paint	Benjamin Moore	HC-49 Mayflower Red	Exterior Facade Paint

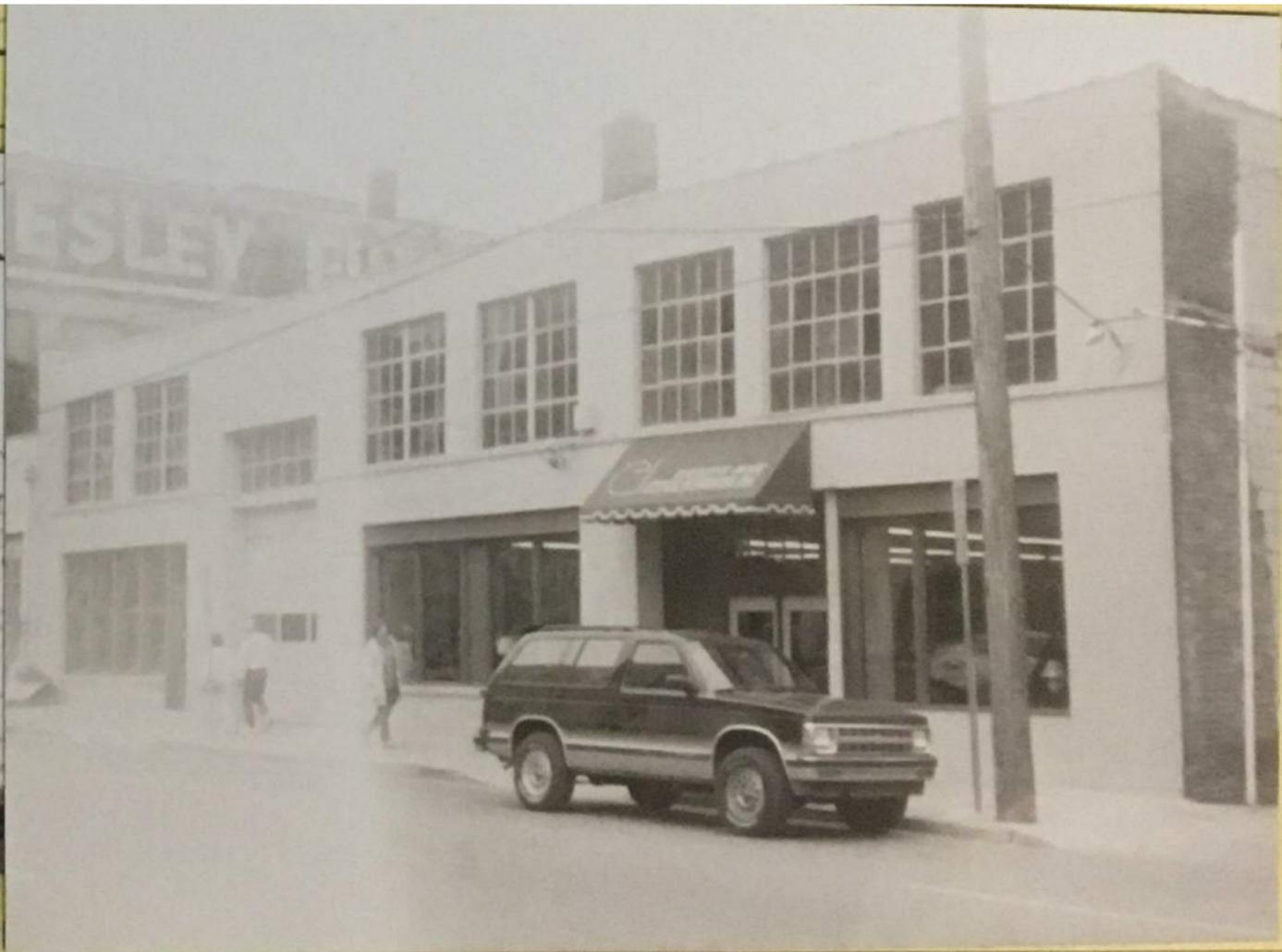
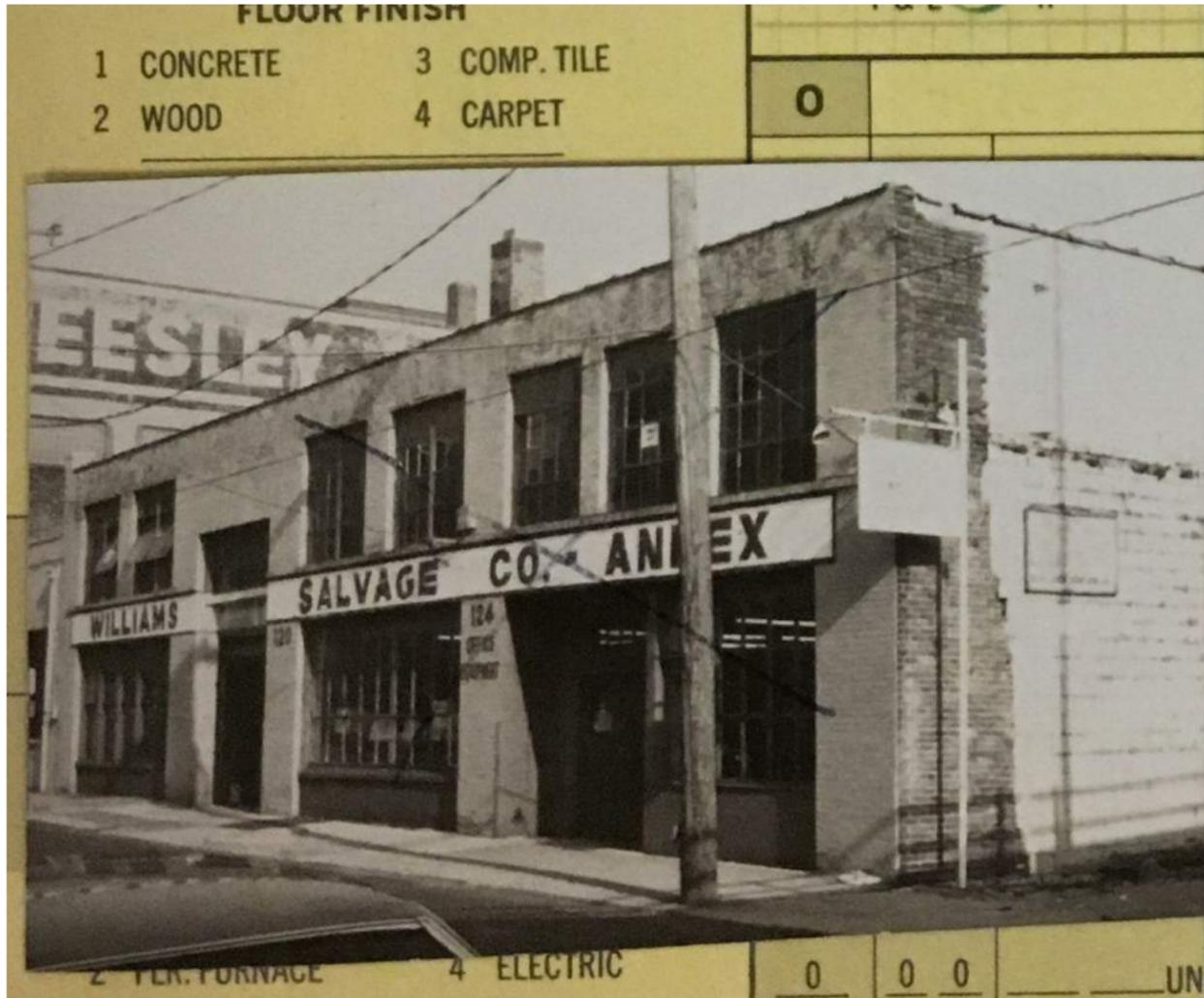
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A-305

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Job Title:
120 / 122 3rd Avenue South

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Sheet Title:
Historic Imagery

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12/14/2016

LRC16

SK-001

Project #
Drawing #
Date

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Job Title:
120 / 122 3rd Avenue South

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Nashville, TN 37201

Sheet Title:
Existing Imagery

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SK-002

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Sheet Title:
Rendered Perspective

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General Sheet Notes:

- 1. Sign by Sign Manufacturer, shown for intent only. Not in Contract. Coordinate with new tenant and new signage.

Finish Legend - Exterior

ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	Woodtone - Real Wood	Rosewood / TBD	Exterior Siding
CS-2	Fiber Cement Panel	Woodtone - Real Wood	Timber Trail / TBD	Facade Accent Material
PT-1	Paint	Benjamin Moore	HC-49 Mayflower Red	Exterior Facade Paint

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LRC16
SK-100

Project #
Drawing #

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Sheet Title:
Rendered Perspective

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General Sheet Notes:

1. Sign by Sign Manufacturer, shown for intent only. Not in Contract. Coordinate with new tenant and new signage.

Finish Legend - Exterior

ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	Woodtone - Real Wood	Rosewood / TBD	Exterior Siding
CS-2	Fiber Cement Panel	Woodtone - Real Wood	Timber Trail / TBD	Facade Accent Material
PT-1	Paint	Benjamin Moore	HC-49 Mayflower Red	Exterior Facade Paint

12/14/2016

LRC16

SK-101

Project #
Drawing #

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View from John Seigenthaler Pedestrian Bridge - Existing



View from John Seigenthaler Pedestrian Bridge - Proposed



View from 3rd Avenue South - Existing



View from 3rd Avenue South - Proposed

Job Title:
120 / 122 3rd Avenue South

120/122 3rd Avenue South
Nashville, TN 37201

Sheet Title:
Site Context Views

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LRC16
SK-102

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