

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
126 Second Avenue South
December 21, 2016

Application: Signage

District: Broadway Historic Preservation Zoning Overlay

Council District: 19

Map and Parcel Number: 09306405900

Applicant: Kayla Joslin, Joslin & Son Signs

Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The application is to install a projecting sign on the building and to remove the non-historic storefront sign at 126 Second Avenue South.

Recommendation Summary: Staff recommends approval of the application to relocate a projecting sign from 121 Third Avenue South to 126 Second Avenue South and to remove a non-historic sign, with the conditions that:

1. Drawings accurately showing the location of the projecting sign shall be submitted to Staff for approval;
2. The non-historic painted signage above the storefront is painted over. The color of the paint shall match the original brick color, to be approved by MHZC Staff.

With these conditions, staff finds that the project meets Section IV of the design guidelines for signage in the Broadway Historic Preservation Zoning Overlay.

Attachments

- A:** Photographs
- B:** Drawings
- C:** Renderings

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

IV.SIGNAGE

INTRODUCTORY PROVISIONS

Intent

The purpose of these regulations is to preserve the historic character of the overall district and individual historic buildings follow the basic principles and guidance of the “Downtown Codes Sign Standards” as adopted 1/30/2013. The “Downtown Codes Sign Standards” breaks signage guidance up by “street types.” The Broadway Historic Preservation Zoning Overlay closely follows the guidance for “Pedestrian Street” type.

Applicability

- These sign regulations apply to all properties within the Broadway Historic Preservation Zoning Overlay.
- (Not referencing code since our current design guidelines do not reference code and there are permissible signs within the code that would not meet our design guidelines.)
- Signage that is cut into the face of the building is prohibited.
- Signage located on the interior of a building or attached to the inside of glass windows is not reviewed.
- Sandwich board signs and 3-dimensional sidewalk signs that are brought into the building at the close of each business day shall not be reviewed by the MHZC but may require review by Public Works.
- Historic signage should be retained. Removal of historic signage may take place as a Modification.

Sign Permit Applications

Applications for sign permits shall be made with and reviewed by the Metro Historic Zoning Commission (MHZC). All sign applications that do not involve Modifications shall only require MHZC administrative approval.

Common Sign Plan

A common signage plan regulates signage for multiple businesses or tenants within one building or complex. A common sign plan is mandatory for all new developments and sign Modifications.

- A common signage plan shall provide for consistency among signs with regard to at least four of the following: materials; location of each sign on the building; sign proportions; color scheme; lighting; lettering or graphic style.
- The common signage plan shall establish an allowable area of signage for existing and future tenants with regard to all allowed sign types.
- The common signage plan shall indicate existing nonconforming signs as well as the amount and locations of on-premise signage to be allocated to each tenant under the new plan.

MODIFICATIONS

Sign Permit Modifications

Requests for modifications to sign standards are reviewed by the Metro Historic Zoning Commission. If the property is also within a MDHA redevelopment district, approval from the MHZC is all that is needed. Two additional types of Modifications for signage related permits may be requested and are outlined below.

Modifications for Exceptional Design

Creative signage that does not fit the specific regulations of these guidelines may be considered by the MHZC, based on its merits, as they relate to all of the following design criteria:

- Architecture
- The configuration or location of the building or property
- Building scale
- Legibility
- Technical competence and quality in design, construction and durability

Applications for this type of Modification require submittal of a common sign plan for the property in question. Approval of any related structure (i.e. canopy) will require review by all applicable agencies. Exceptional design modifications shall not permit electronic changeable copy where it is otherwise not permitted.

RIGHT OF WAY ENCROACHMENTS

Where a sign is proposed to encroach into the public right-of-way an application shall be made with the Public Works Department in addition to the sign permit application with the MHZC. Both applications shall include the requirements of the Public Works Department available at their website: www.nashville.gov/Public-Works/Developer-Services.aspx, in addition to the MHZC submittal requirements.

NON-CONFORMING SIGNS

Sections 17.40.660 and 17.40.690 of the Metro Zoning code apply. This section further clarifies them.

Building Signs

A sign shall be brought into compliance with the provisions of these design guidelines if a sign permit is required to rebuild the sign. This does not include a panel change in a non-conforming cabinet sign, which shall be permitted.

Ground Signs

An existing ground sign may change the face or panel of a sign that does not meet the area or height standards within these design guidelines. However, in no instance shall there be an increase in the degree of nonconformity. All new panels shall conform to all illumination standards therein.

A sign shall be brought into compliance with the provisions of these design guidelines if at any time the sign is altered, repaired, restored or rebuilt to the extent that the cost exceeds fifty percent of the estimated replacement cost of the sign (in current dollar value). All permits within any six consecutive calendar months shall be aggregated for purposes of measuring the fifty percent standard.

All Signs

If the alteration or repair is caused by involuntary damage or casualty, the design may be altered or repaired to its pre-damaged condition.

Repair and Maintenance

A sign may be removed or taken off-site for repair and maintenance. The sign must be returned to the original location within 90 days of removal.

Allocation of Sign Area

The maximum sign area for each type of sign is established in the following tables. Specific requirements for each sign type are shown on the subsequent pages.

For each cell in the table, there is a maximum allowed sign area that may be utilized with any combination and any number of signs associated with that cell, unless otherwise noted.

The measurements for “linear feet” shall be at grade.

Building Signs

Wall, Awning, Canopy and Projecting Signs—1.5 square feet of sign area per 1 linear foot of building façade or 36 square feet, whichever is greater. When a projecting sign is used on a building, an additional .50 square feet of sign area per 1 linear foot of building façade shall be permitted, for a total 2 square feet per 1 linear feet of building façade.

Shingle Sign: 9 square feet per sign

Ground Signs

Monument Sign-24 square feet

Skyline Signs

75'-110'—480 square feet

101'-200'—600 square feet

201' and taller-720 square feet

GENERAL STANDARDS

Materials

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

Building Façade and Street Frontage Measurement

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

Building Sign: Projecting Sign

Description

A projecting sign is a type of building sign that projects outward from the façade, typically at a ninety degree angle. Projecting signs are typically, but not always, vertically oriented and generally mounted above the first floor.

General Provisions

- A projecting sign must be located at least 25 feet from any other projecting sign. When building width prohibits adherence to this standard, flexibility shall be permitted through Modification to be reviewed by staff.
- A projecting sign may be erected on a building corner when the building corner adjoins the intersection of two streets. Allocation of sign area from both streets may be used, however, in no case shall the sign exceed the maximum dimensional standards below.
- A projecting sign shall be located below the windows sills of the third story.
- The top of a projecting sign shall not extend above the building eave or top of parapet.
- A projecting sign can be externally or internally illuminated in accordance with the Illumination design guidelines.
- Projecting signs that are 3-dimensional may be permitted through a modification.
- A projecting sign cannot cover windows or architectural details.

Design Standards

- A** Overall area allocation (max)—see allocation of sign area
- B** Height (max)
 - 1 story buildings—10 feet
 - 2 and 3 story buildings—16 feet
 - 4 or more story buildings—20 feet
- C** Average spacing from façade (min)—1 foot
- D** Projection Width (max)—6 feet
- E** Depth of Cabinet (max)—2 inch or 18 inches for internally lighted or neon signs

Illumination

Illumination of signs shall be in accordance with the following requirements:

External Illumination

- External light sources shall be placed close to, and directed onto the sign and shielded to minimize glare into the street, sidewalks or onto adjacent properties.
- Projecting light fixtures used for externally illuminated signs shall be simple and unobtrusive in appearance. They should not obscure the sign.

Internal Illumination

- Channel letters may be internally lit or back-lit.
- For cabinet signs, the background must be opaque. Only graphics, text and logos may be illuminated, and a halo of one inch around graphics, text, and logos may be non-opaque.
- Exposed neon may be used for lettering or as an accent.

Prohibited Light Sources

The following light sources are prohibited:

- Blinking, flashing, chasing, and sequential lighting. This type of lighting may be allowed for Broadway (not the district but the street) only through a modification. In these cases, the chase or flash should not last less than every three seconds.
- Bare bulb illumination.

Raceways and Transformers

- Visible transformers are prohibited.

Changeable copy signs shall be in accordance with the following requirements:

Description

- Manual changeable copy sign. A sign or portion of a sign that has a readerboard for the display of text information in which each alphanumeric character, graphic or symbol is defined by objects, not consisting of an illumination device. Changeable copy is changed or re-arranged manually or mechanically without altering the face or the surface of the sign.
- Electronic changeable copy sign. A sign or portion of a sign that displays information in which each alphanumeric character, graphic, or symbol is defined by a small number of matrix elements using different combinations of light emitting diodes (LED's), fiber optics, light bulbs or other illumination devices within the sign.

Usage

- Manual and Electronic changeable copy is allowed for Tourist Oriented Businesses only when used in conjunction with a wall sign or a monument sign provided the changeable copy portion is no greater than 50% of the built sign area.
- An electronic changeable copy sign is not allowed in a Redevelopment District or on Interstate frontage.

Spacing

- The closest edge of an electronic changeable copy sign must be a minimum distance of 100 feet from any residential zoning district.
- An electronic changeable copy sign must be separated from another electronic changeable copy sign by at least 50 feet.

Duration

- Any image or message or portion of the image or message must have a static display for minimum duration of eight seconds.
- Transition time must be immediate.
- No portion of the image or message may flash, scroll, twirl, change color or in any manner imitate movement.

Brightness

- The sign must not exceed a maximum illumination of 7,500 nits during daylight hours and a maximum illumination of 750 nits between dusk to dawn as measured from the sign's face at maximum brightness.
- Electronic changeable copy signs must have an automatic dimmer control to produce a distinct illumination change from a higher illumination level to a lower level.

Background: The building at 126 Second Avenue South was built between 1897 and 1914. Originally the building was three stories tall. A fourth story was added prior to 1931. The building is considered to be contributing to the historic character of the Broadway district.

The building has several painted wall signs on the front and side façades.

On the front there are two historic wall signs, one above the second story and one above the fourth story windows. Both of these signs read “AMERICAN STEAM FEED CO.” which was the business listed at this address from 1916 through 1951.



There is also a non-historic sign on the front that reads “TRAIL WEST” above the storefront. The non-historic sign pre-dates the Historic Preservation Zoning Overlay.

On the left side there is a four-story tall mural of a scene from the American Southwest and a large cowboy boot, with the words “TRAIL WEST” at the top and “BOOTS HATS APPAREL” at the bottom.

On the right façade there is an historic advertisement for equipment painted at the top of the wall, visible only from the John Seigenthaler Pedestrian Bridge.

Analysis and Findings: The application is to install a projecting sign on the building and to remove the non-historic storefront sign at 126 Second Avenue South. The historic painted signs will be retained. The projecting sign to be installed is currently located one block away at 121 Third Avenue South, where it was installed after being approved by the MHZC in August of 2011, using different signage design guidelines than what the Commission uses now.

Projecting Sign Allotment, Size: The projecting sign is sixteen feet (16’) tall by seven feet (7’) wide, for a total area of one hundred twelve square feet (112 sq. ft.). The width of the sign is eighteen inches (18”). The sign is mounted with two steel brackets with no separation between the body of the sign and the wall of the building.

By the current signage guidelines, the building is allotted one hundred square feet (100 sq. ft.) on signage with a projecting sign, and projecting signs are required to be set a minimum of one foot (1’) from the wall of a building. Although the sign does not meet the current guidelines, Staff finds that Sign Permit Modification for the sign’s projection and square footage is justified because it was permitted by the Commission under the

previous guidelines, and because the extent to which it doesn't meet the guidelines is minimal.

Location: The projecting sign will be located on the left pilaster of the building, within the area of the second and third stories. The sign will be more than twenty-five feet (25') away from any existing projecting signs. The sign meets the design guidelines for sign location, however Staff requests that detailed drawings accurately showing the location of the sign brackets shall be required before a permit is issued.

Existing Painted Signage: The historic painted signs on the front and right side advertise an early and long-time occupant of the building. While they would exceed the current signage allotment, they represent a significant period in the history of the building and the development of the Lower Broadway district. Staff determined that an appropriate calculation of signage allotment should not include the historic signs.

The non-historic painted wall sign on the front facade will be painted over prior to the installation of the projecting sign. Staff asks to approve the paint color prior to the work being done. The painted mural on the left wall will not be immediately painted over, but will be covered by a six story tall building that is to be built on the adjacent parcel. The building was approved by the MHZC in April of 2015, and will have zero setback from the existing building therefore completely covering the mural with a party-wall.

Illumination: The sign has exposed neon channel letters and graphics, with no blinking, flashing or sequencing. This meets section IV of the design guidelines for illumination.

Materials: The sign cabinet is aluminum with acrylic text and graphics. This meets section IV of the design guidelines.

Recommendation: Staff recommends approval of the application to relocate a projecting sign from 121 Third Avenue South to 126 Second Avenue South and to remove a non-historic sign, with the conditions that:

1. Drawings accurately showing the location of the projecting sign shall be submitted to Staff for approval; and,
2. The non-historic painted signage above the storefront is painted over. The color of the paint shall match the original brick color, to be approved by MHZC Staff.

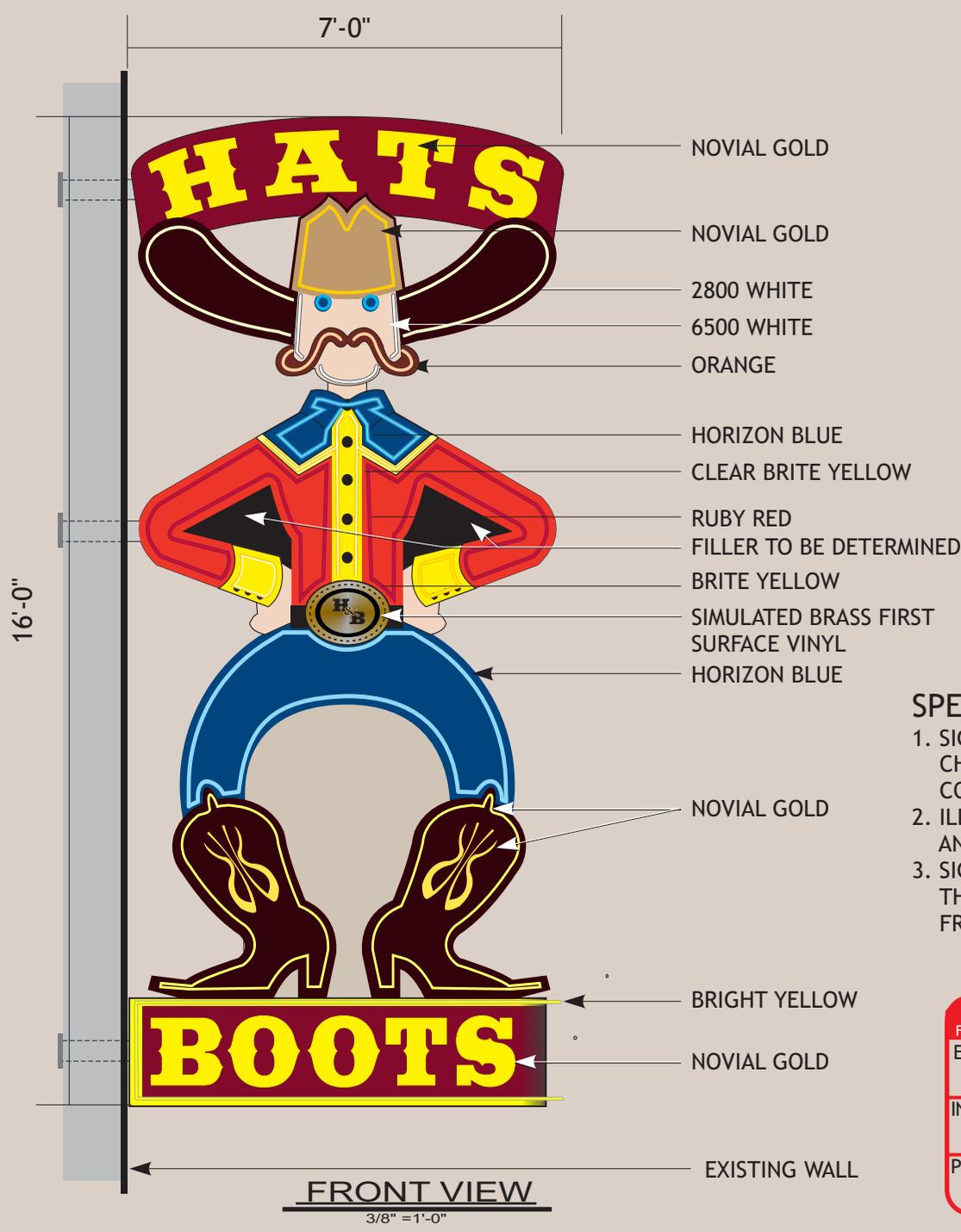
With these conditions, staff finds that the project meets Section IV of the design guidelines for signage in the Broadway Historic Preservation Zoning Overlay.



126 Second Avenue South, front façade, showing historic and non-historic signs.



Non-historic mural on 126 2nd Avenue South.



2.5" FORMED CHANNEL RETURNS WITH EXPOSED NEON & NO FACES

PMS FINISHES			
	202		YELLOW
	4685		465
	4975		186
	BLACK		294

SPECIFICATIONS:

1. SIGN TO BE A DOUBLE FACED 13" DEEP FORMED CHANNEL SHAPE WITH 3" DEEP FORMED CHANNEL COPY FLUSH MOUNTED TO BOTH FACES.
2. ILLUMINATION TO BE EXPOSED NEON AS SPECIFIED AND ILLUSTRATED.
3. SIGN TO BE CONSTRUCTED IN A MANNER ALLOWING THE SIGN BODY TO, AT A FUTURE DATE, SLIDE AWAY FROM THE BUILDING OVER THE STEEL TUBING.

APPROVALS FOR MANUFACTURING

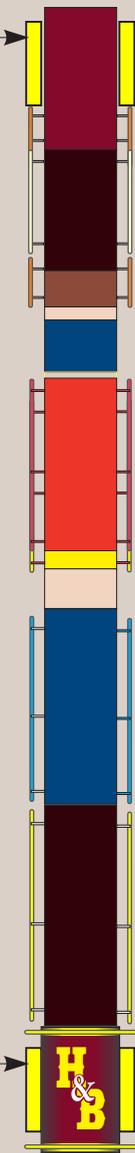
ENGINEERING: _____

INSTALLATION: _____

PROJECT MANAGER: _____

2.5" FORMED CHANNEL RETURNS WITH EXPOSED NEON & NO FACES

1'-6" (OAD)



HATS & BOOTS
ED SMITH
 DF Projecting Sign
 One(1) Req'd

LOCATION:
 126 2ND AVE S
 NASHVILLE, TN

APPROVED BY : _____ DATE: _____

JOB CONTACT: APPROVED BY: _____
 DATE: _____

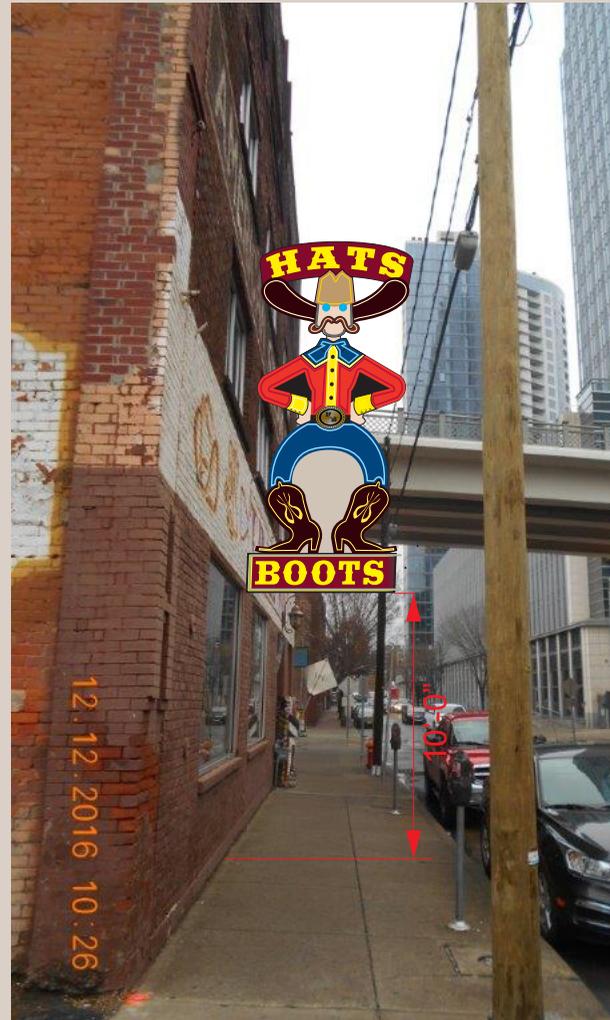
WORK ORDER #00

DRAWING NO. _____

DRAWN BY: _____ DATE: 12-02-16

AT _____

PAGE 1 OF 2



**HATS &
BOOTS
ED SMITH
DF Projecting Sign
One(1) Req'd**

LOCATION:
126 2ND AVE S
NASHVILLE, TN

APPROVED BY : DATE:

JOB CONTACT: APPROVED BY:
DATE:

WORK ORDER #00

DRAWING NO.

DRAWN BY: DATE: 12-02-16

AT

PAGE
2 OF 2

**JOSLIN
AND SON
SIGNS**

630 MURFREESBORO ROAD • NASHVILLE, TN 37210
(615) 255-3463 • (877) 545-9557