

MEGAN BARRY  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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**STAFF RECOMMENDATION**

**1626 Shelby Avenue  
December 21, 2016**

**Application:** New construction—outbuilding  
**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08314036000  
**Applicant:** Matthew Shutz  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to construct a four hundred and twenty-seven square foot (427 sq.ft.) outbuilding. The outbuilding will not be used as a Detached Accessory Dwelling Unit.

**Recommendation Summary:** Staff recommends approval with the following conditions:

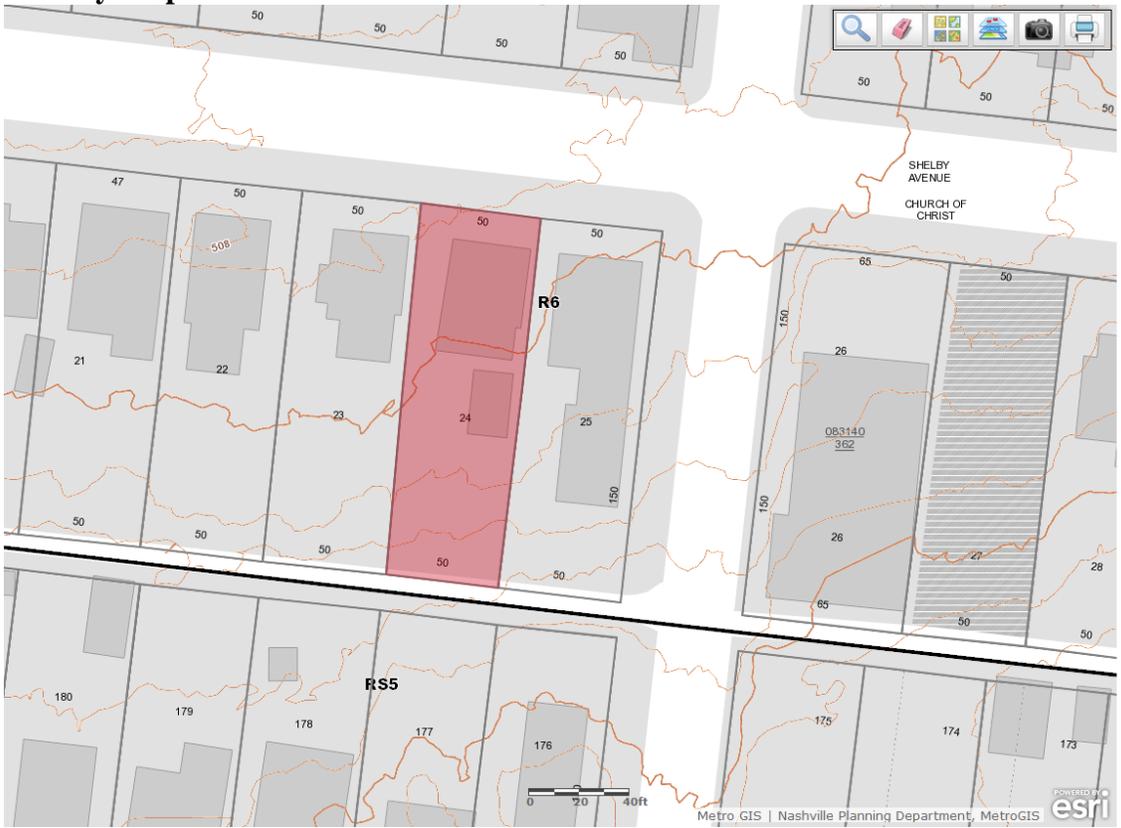
1. Staff approve all windows and doors; and
2. Staff approve the asphalt shingle color and texture.

With these conditions, staff finds that the outbuilding meets Section II.B.8. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

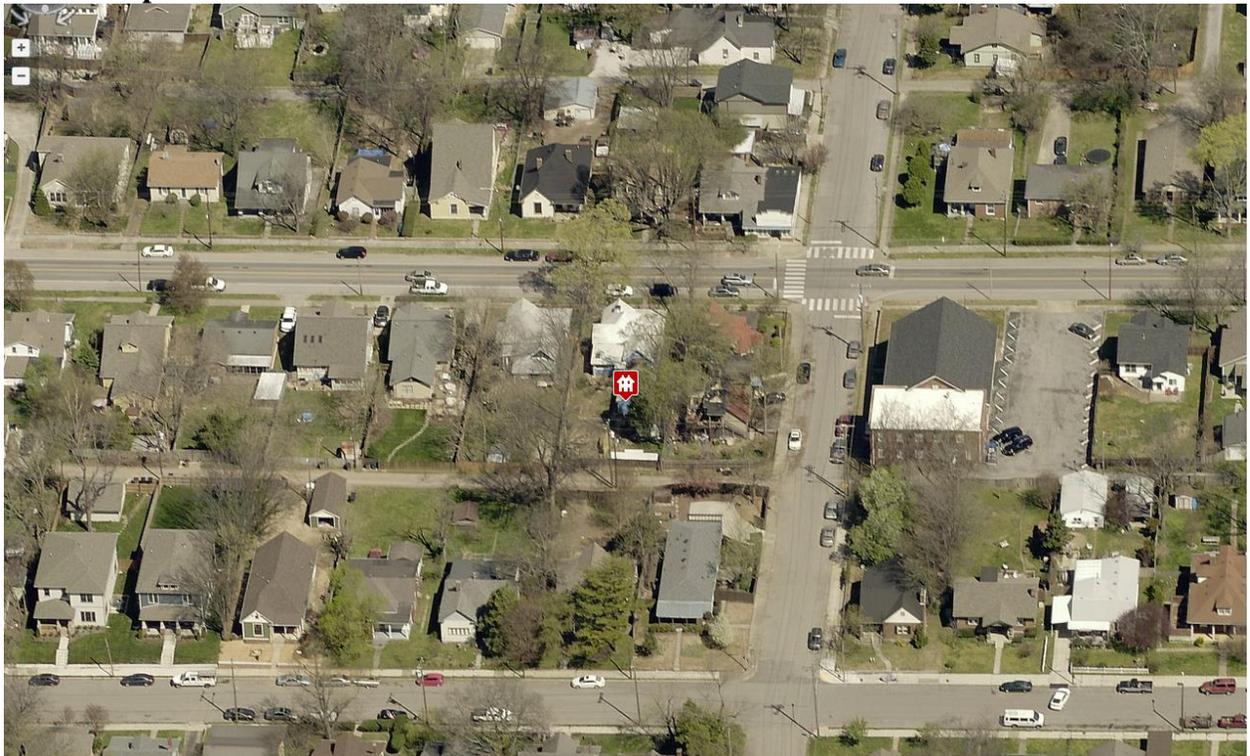
The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

**Attachments**  
**A:** Site Plan  
**B:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### II.B. New Construction

#### 8. Outbuildings

*(Although the MHZC does not review use itself there are additional ordinance requirements for buildings are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)*

- a) Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details..

#### *Outbuildings: Height & Scale*

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

#### *Outbuildings: Character, Materials and Details*

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

#### *Outbuildings: Roof*

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

#### *Outbuildings: Windows and Doors*

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

#### *Outbuildings: Siding and Trim*

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or*

*smooth cement-fiberboard board-and-batten or masonry.*

- *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- *Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

b) Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

*Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.*

*Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.*

*Generally, attached garages are not appropriate; however, instances where they may be are:*

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

*Setbacks & Site Requirements.*

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

*Driveway Access.*

- *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

*Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

**Background:** 1626 Shelby Avenue is a c. 1904 folk Victorian one-story house that contributes to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay (Figure 1). In 2014, MHZC staff approved a small addition to the house.



Figure 1. 1626 Shelby Avenue

**Analysis and Findings:** Application is to construct an outbuilding. The outbuilding will not be used as a Detached Accessory Dwelling Unit.

Roof Shape:

<b>Proposed Element</b>	<b>Proposed Form</b>	<b>Typical of district?</b>
Primary form	Gabled	Yes
Slope	10/12	Yes

Staff finds that the proposed roof form meets Section II.B.8. of the design guidelines.

Design Standards: The building’s location, fenestration pattern, and detail are appropriate and meet Section II.B.8 of the design guidelines.

Materials:

	<b>Proposed</b>	<b>Color/Texture</b>	<b>Approved Previously or Typical of Neighborhood</b>
<b>Foundation</b>	Concrete block	Split face	Yes
<b>Cladding</b>	Cement-fiber	Smooth with 5” reveal or less	Yes
<b>Roofing</b>	Asphalt shingle	Needs final review	Yes
<b>Trim</b>	Cement fiber	Smooth	Yes
<b>Driveway</b>	Concrete	n/a	Yes
<b>Windows</b>	Not indicated	Needs final approval	Yes
<b>Pedestrian Door</b>	Not indicated	Needs final approval	Yes
<b>Vehicular Door</b>	Not indicated	Needs final approval	Yes

With the staff’s final approval of the windows and doors and the asphalt shingle color, staff finds that the known materials meet Section II.B.8

Appurtenances/Utilities: No changes to the appurtenances were indicated on the plans.

General requirements for Outbuildings:

The answer to each of these questions must be “yes” for either an outbuilding or a DADU.

	<b>YES</b>	<b>NO</b>
<b>If there are stairs, are they enclosed?</b>	Yes	
<b>If a corner lot, are the design and materials similar to the principle building?</b>	N/A	

<b>If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?</b>	N/A	
<b>If dormers are used, do they sit back from the wall below by at least 2'?</b>	N/A	
<b>Is the roof pitch at least 4/12?</b>	Yes	
<b>If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?</b>	N/A	
<b>Is the building located towards the rear of the lot?</b>	Yes	

Staff finds that the outbuilding meets Section II.B.8. of the design guidelines.

Site Planning:

	<b>MINIMUM</b>	<b>PROPOSED</b>
<b>Space between principal building and DADU/Garage</b>	20'	32'6"
<b>Rear setback</b>	3'	3'
<b>L side setback**</b>	3'	3'
<b>R side setback**</b>	3'	25'6"
<b>How is the building accessed?</b>	From the alley or existing curb cut	From alley, but garage doors face side property line.

Staff finds that the outbuilding's site planning meets Section II.B.8. of the design guidelines.

Massing Planning:

	<b>Existing conditions (height of historic portion of the home to be measured from finished floor)</b>	<b>Potential maximums (heights to be measured from grade)</b>	<b>Proposed (should be the same or less than the lesser number to the right)</b>
<b>Ridge Height</b>	23'4"	23'4"	20'
<b>Eave Height</b>	13'2" at front; average eave height ≈ 11'	10'	10' (average eave height)*

\*The garage is designed so that it has lower eave heights facing the house and Shelby Avenue and a taller eave height facing the alley. In this instance, the eave heights facing the house/Shelby Avenue are approximately seven feet, nine inches (7'9") tall from the average grade. The eave heights facing the alley are ten feet (10') on one side and

fourteen feet, three inches (14'3") on the other side. Although the fourteen feet, three inch (14'3") eave is taller than what is typically approved, staff finds it to be appropriate in this instance because the average of the outbuilding's four eaves is ten feet (10'), which meets the design guidelines. In addition, the taller eave height faces the alley and will at most be minimally visible from the public street. Also, the building is significantly smaller in footprint (427 sq. ft.) than most outbuildings requested, which are typically seven hundred to seven hundred-fifty square feet (700-750 sq.ft.). The overall scale of the outbuilding is appropriate.

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1082 sq. ft.	427 sq.ft.

Staff finds that the proposed outbuilding to meet Section II.B.8 of the design guidelines.

**Recommendation Summary: Recommendation Summary:** Staff recommends approval with the following conditions:

1. Staff approve all windows and doors; and
2. Staff approve the asphalt shingle color and texture.

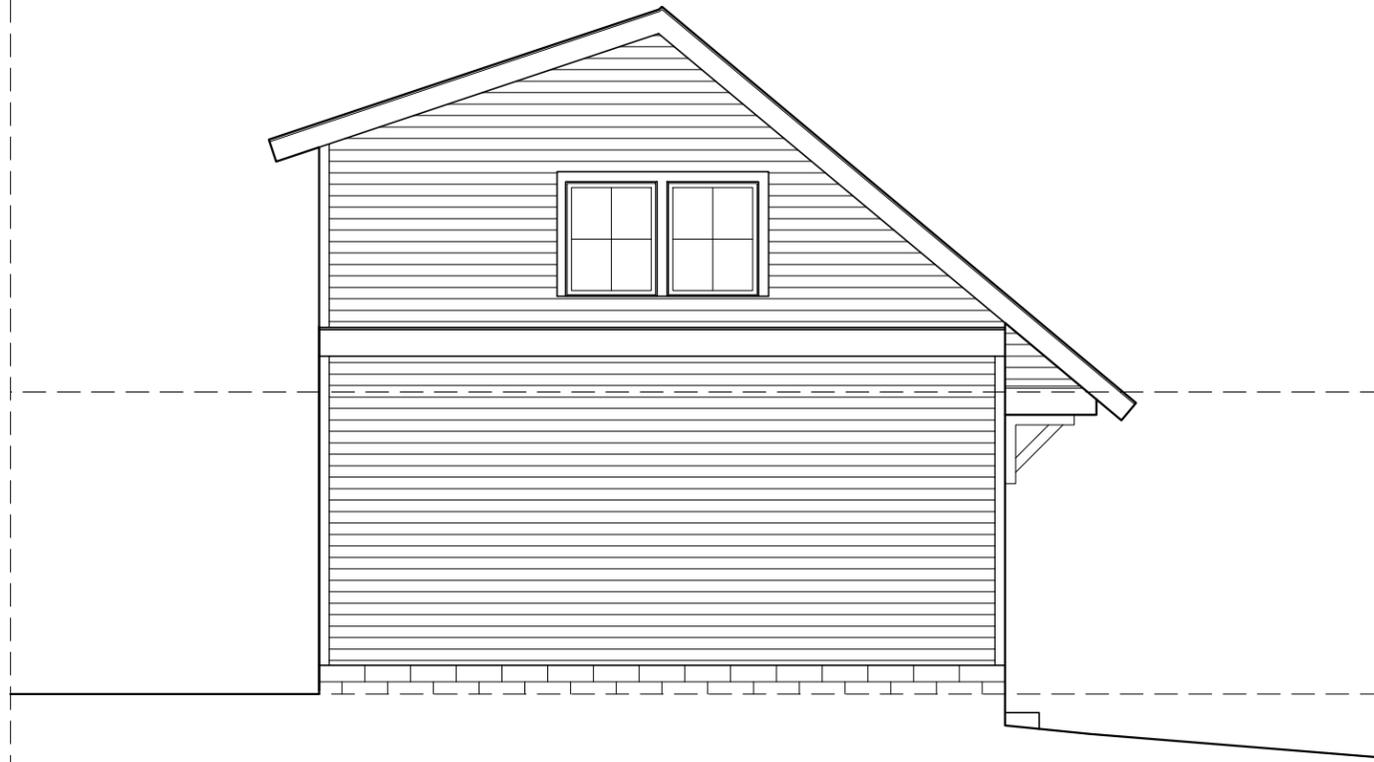
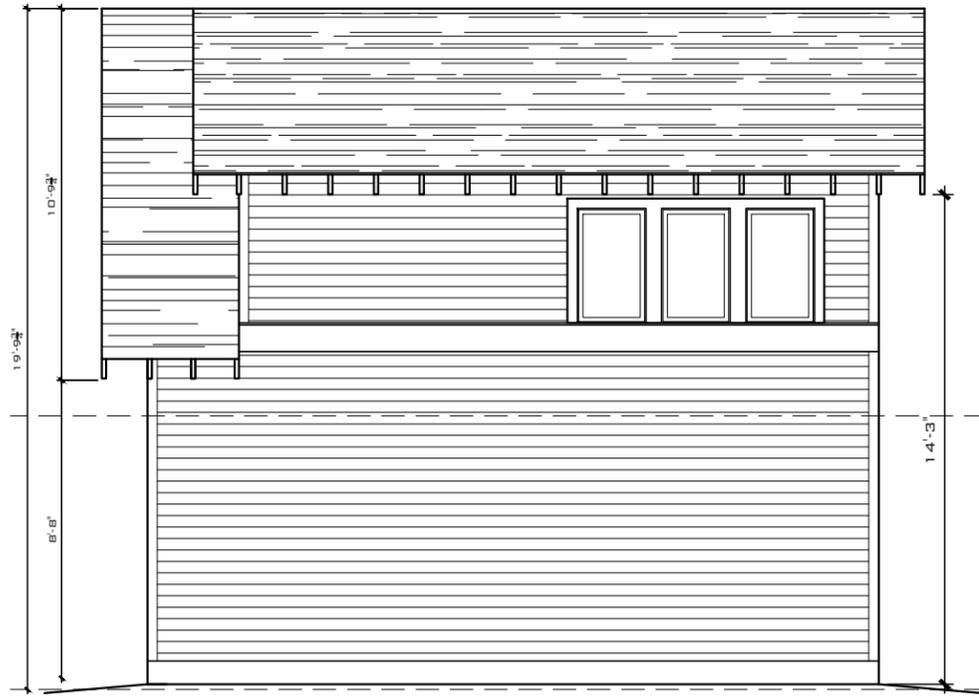
With these conditions, staff finds that the outbuilding meets Section II.B.8. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

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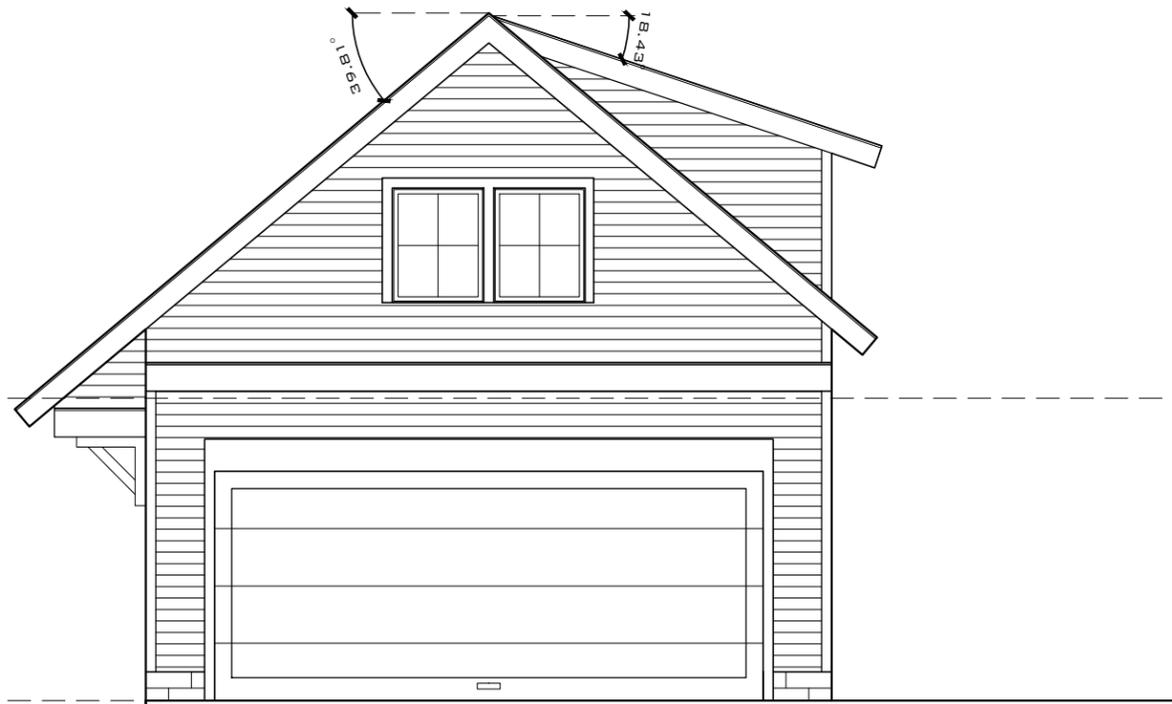
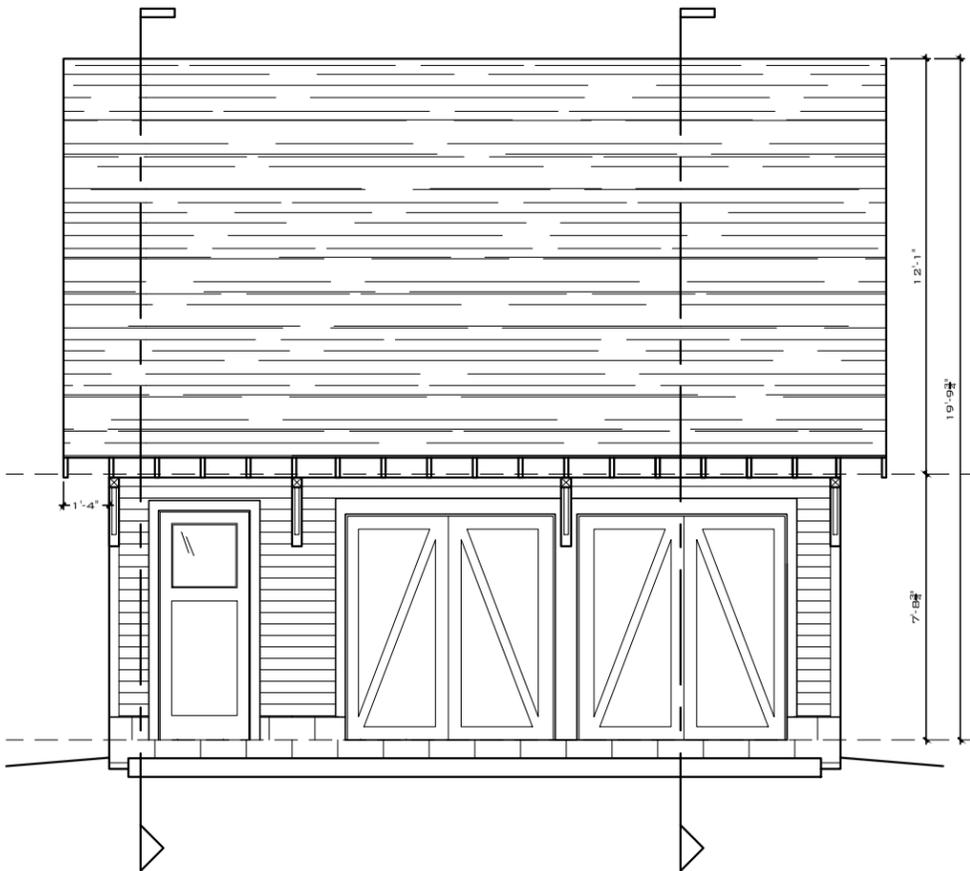




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SOUTH EAST  
NORTH WEST



EDWIN AND LISA WILLMORE RESIDENCE  
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# 1 | ELEVATIONS

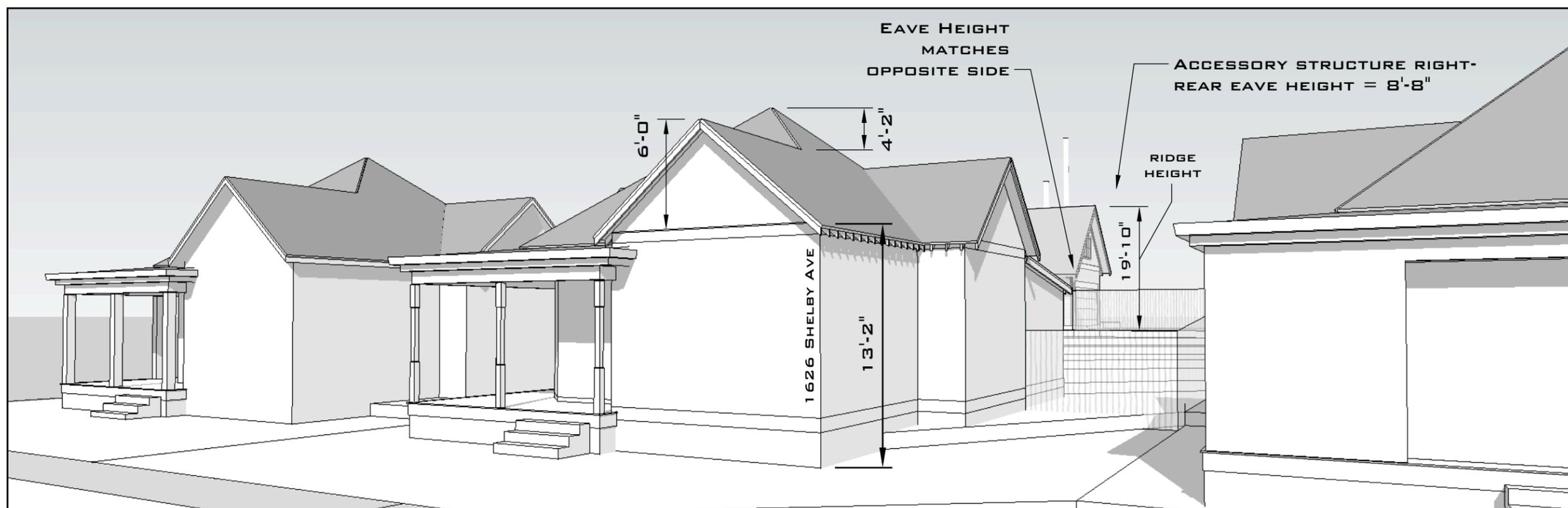
3/16" = 1'

# H2

2016-12-12  
ISSUED FOR REVIEW



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EDWIN AND LISA WILLMORE RESIDENCE  
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1 | STREET PERSPECTIVES  
NO SCALE