

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
1810 Fifth Avenue North
December 21, 2016

Application: New construction - addition
District: Salemtown Neighborhood Conservation Zoning Overlay
Council District: 19
Map and Parcel Number: 08108027700
Applicant: Dennis Payne
Project Lead: Sean Alexander, sean.alexander@nashville.gov

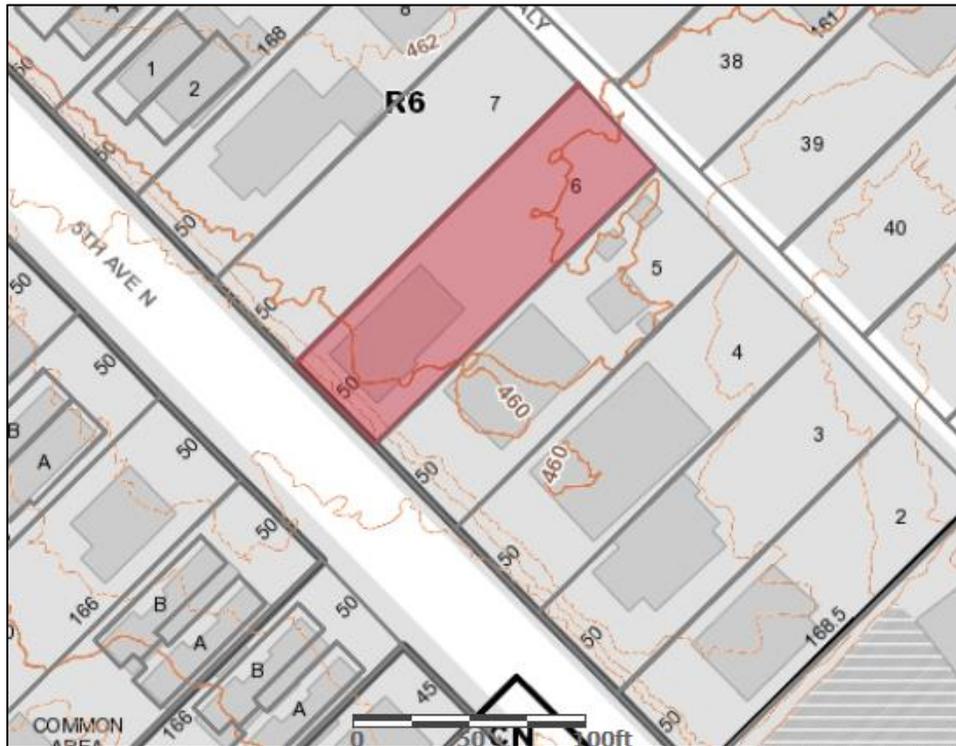
Description of Project: The applicant proposes to enlarge the building by replacing an existing rear wing addition with a larger rear wing and adding a new component. The new component would be for a second attached dwelling. The addition would also include a ridge raise on the original portion of the house.

Recommendation Summary: Staff recommends disapproval of the proposed additions to the historic house at 1810 Fifth Avenue North, finding that the project would not meet the following sections of the design guidelines for the Salemtown Neighborhood Conservation Zoning Overlay:

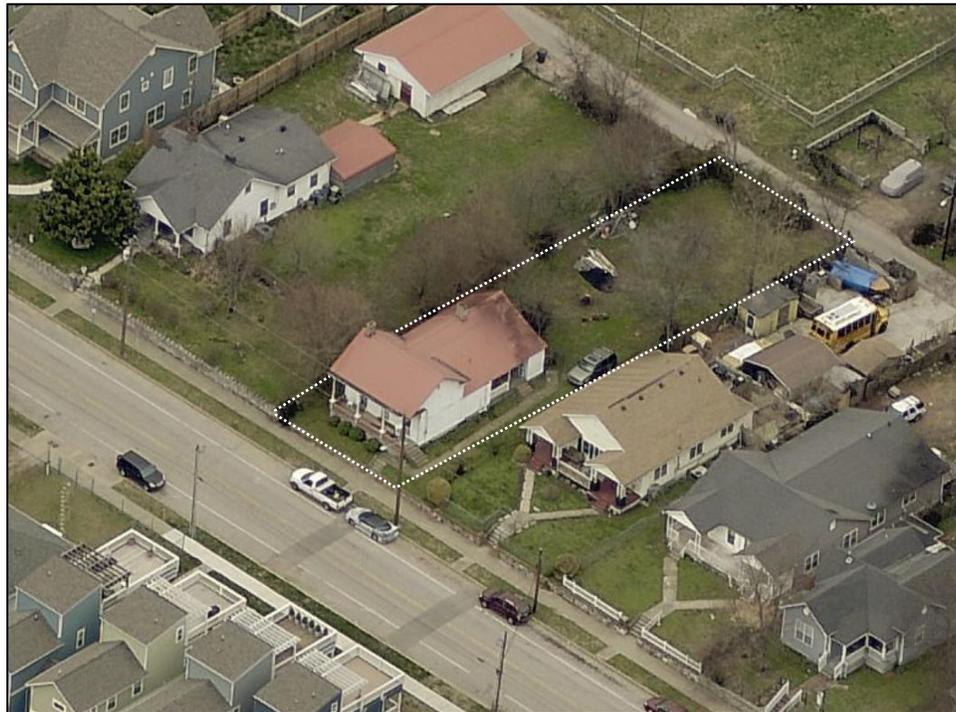
- II.B.1.a and II.B.1.b (Height and Scale)
- II.B.1.e (Roof)
- II.B.2.a and II.B.2.f (Location and Removability)
- II.B.2.b-e and II.B.2.g. (Design Character)

Attachments
A: Photographs
B: Site Plan
D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. ADDITIONS

A. Location

1. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.
 - a. Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
 - b. Generally rear additions should inset one foot, for each story, from the side wall.
2. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure.
 - a. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.
 - b. Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.
 - c. To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

B. Massing

1. In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as an extreme grade change or an atypical lot parcel shape or size. In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be higher and extend wider.

When an addition ties into the existing roof, it should be at least 6" below the existing ridge.

- a. When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above ridge of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

- b. When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

A rear addition that is wider should not wrap the rear corner. It should only extend from the addition itself and not the historic building.

No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.

Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.

2. Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.
3. Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset. Foundation height should match or be lower than the existing structure.
4. The height of the addition's roof and eaves must be less than or equal to the existing structure.
5. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

C. Roof Additions: Dormers, Skylights & Solar Panels

1. Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories. The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.
 - a. Rear dormers should be inset from the side walls of the building by a minimum of 2'. The top of a rear dormer may attach just below the ridge of the main roof or lower.
 - b. Front and side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:
 - New dormers should be similar in design and scale to an existing dormer on the building.
 - If there are no existing dormers, new dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.
 - The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes the width of roof dormers relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.
 - Dormers should not be added to secondary roof planes.
 - Eave depth on a dormer should not exceed the eave depth on the main roof.
 - The roof form of the dormer should match the roof form of the building or be appropriate for the style.
 - The roof pitch of the dormer should generally match the roof pitch of the building.
 - The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)
 - Dormers should generally be fully glazed and aprons below the window should be minimal.
 - The exterior material cladding of side dormers should match the primary or secondary material of the main building.
2. Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).
3. Solar panels should be located at the rear of the building, unless this location does not provide enough

sunlight. Solar panels should generally not be located towards the front of a historic building unless this is the only workable location.

- D. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.
- E. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
- F. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired. Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
- G. Additions should follow the guidelines for new construction.

V. B. GUIDELINES

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The building at 1810 Fifth Avenue North is a one story frame house built prior to 1897. The house has been enlarged with rear additions, but the original form and appearance of the house is well preserved.



Figure 1: 1810 Fifth Avenue North

Analysis and Findings: The applicant proposes to enlarge the building by replacing an existing rear wing addition with a larger rear wing and adding a new component behind that. The new component would be for a second attached dwelling.

The addition would also include a ridge raise on the original portion of the house.

Demolition: The existing rear wing addition will be demolished in order to make way for the new additions. The sidewalls of the rear wing are flush with the sides of the original house, but the siding reveal and cornerboards clearly distinguish it as an addition and it has lower eaves that separate it from the primary mass of the house. Additionally, the rear wing has been altered and no longer exhibits its original form. Staff therefore finds that the rear wing does not contribute to the architectural and historical character and significance of the building, and that the partial demolition meets Section V.B.2 for appropriate demolition and does not meet section V.B.1 for inappropriate demolition.

Location & Removability: The new rear wing component of the proposed rear addition will follow the same footprint as the previous addition, with a new component added behind it. Where these components of the addition connect at the first story will not impact the front or sides of the original building.

The project also includes a ridge raise on the original side-gabled structure. Although ridge raises do alter the roof of a house, they have been found to be appropriate previously when they are necessary to create usable upperstory space in an attic. With this proposed addition, the ridge raise gives headroom above stairs being added to reach a second story in the rear wing, but the ceiling in the original attic area will remain too low to be functional space. Staff finds the ridge raise here to be inappropriate because it alters the original form of the house, and does not provide usable space in the existing house.

Staff finds that the proposed ridge raise does not meet sections II.B.2.a and II.B.2.f of the design guidelines for location and removability.

Design: The proposed new rear wing addition does not share many features in common with the original building; it is most notably different in its roof pitches and the proportions and rhythm of windows. However, because the sidewalls will be stepped in

one foot on each side, the impact of this section of the addition would not contrast inappropriately if it were not for the ridge raise and new upperstory.

The second dwelling in the new rear-right component will have even fewer features in common with the historic house. Whereas the original building has elements typical of the Italianate architectural style, including tall divided-light windows and paired brackets under the eaves, the new rear addition appears more like a different house altogether with no correlation to the form or character of the existing building. The roof pitch and form of this portion of the addition is more reminiscent of a Craftsman bungalow, a type of building that was not introduced to the area for nearly a quarter century after the construction of the historic house. In the past, the Commission has required that additions that serve as separate units not look like separate homes attached to the historic building.

Staff finds that the form, proportions, and overall character of the additions are not compatible with the historic house and that the project does not meet sections II.B.2.b-e and II.B.2.g of the design guidelines.

Height & Scale: The rear wing addition includes a ridge raise, extending the front slope of the roof back and up two feet (2') above the original building. The roof of the wing would then tie into the new ridge, with a gable extending back forty-eight feet (48') over the addition, with forty-foot (40) long shed-dormers on each sides. The dormers would be stepped two feet (2') in from the first story walls below.

By adding dormers, it may be possible to create an additional half-story within an otherwise appropriately scaled addition, but with the dormers proposed taking up the entirety of the wing's roof they essentially become a full second story. Staff finds the scale of the rear wing with upperstory and ridge raise to be inappropriate.

The new component behind the wing would step out ten feet (10') out to the right, outside of the silhouette of the historic house. The roof of this component would be a side-oriented gable with a ridge height one foot (1') higher than the original roof. Because the original house is only twenty-one feet (21') tall and twenty-four feet (24') wide, the guidelines could allow an addition to be taller or wider. However, the rear unit of the proposed addition would be simultaneously taller and wider, which is not subordinate to the historic house and it does not meet the design guidelines.

Staff finds that the project does not meet sections II.B.1.a and II.B.1.b of the design guidelines.

Setback & Rhythm of Spacing: The additions would meet the bulk-zoning setback requirements. Although the second dwelling component of the addition steps out ten feet (10') to the right of the silhouette of the original building, it does so sufficiently set back from the front that it would not have a significant impact on the rhythm of spacing between buildings. The project meets section II.B.1.c of the design guidelines.

The wider portion of the addition, however, is also taller and therefore is not subordinate to the historic house.

Materials:

| | Proposed | Color/Texture/ Make/ Manufacturer | Approved Previously or Typical of Neighborhood | Requires Additional Review |
|--------------------------------|---------------------------------|--|---|---|
| Foundation | Concrete Block and Slab | Not indicated | Yes | X |
| Cladding | 5" cement fiberboard lap siding | Smooth | Yes | |
| Roofing | Composite Shingles | Color unknown | Yes | X |
| Trim | Not indicated | Not indicated | | X |
| Front Porch floor/steps | Concrete/wood | Natural Color | Yes | |
| Front Porch Posts | Not indicated | Not indicated | | X |
| Front Porch Railing | Not indicated | Not indicated | | X |
| Rear Porch floor/steps | Not indicated | Not indicated | | X |
| Rear Porch Posts | Not indicated | Not indicated | | X |
| Rear Porch Railing | Not indicated | Not indicated | | X |
| Rear Porch Roof | n/a | | | |
| Windows | Not indicated | Not indicated | | X |
| Principle Entrance | No change indicated | | | |
| Side/rear doors | Not indicated | Not indicated | | X |

The known materials are compatible with the historic house. More information is needed to determine if the project meets section II.B.1.d of the design guidelines.

Roof form: Ridge raise additions have been approved previously for side-gabled houses. Although they do impact the original form of the building, they allow an attic with a low ceiling to be converted into habitable space as an alternative to an addition that increases the footprint of the building.

The purpose of the proposed ridge raise is to provide headroom for a stair into the upperstory of the new rear wing addition, not to make useable space in the attic of the original building. Meanwhile, the rear wing of the upperstory includes spaces identified as “loft” and “observation deck.” Instead of altering the original portion of the building as proposed, Staff suggests another design would better preserve the historic form and meet section II.B.1.e of the design guidelines.

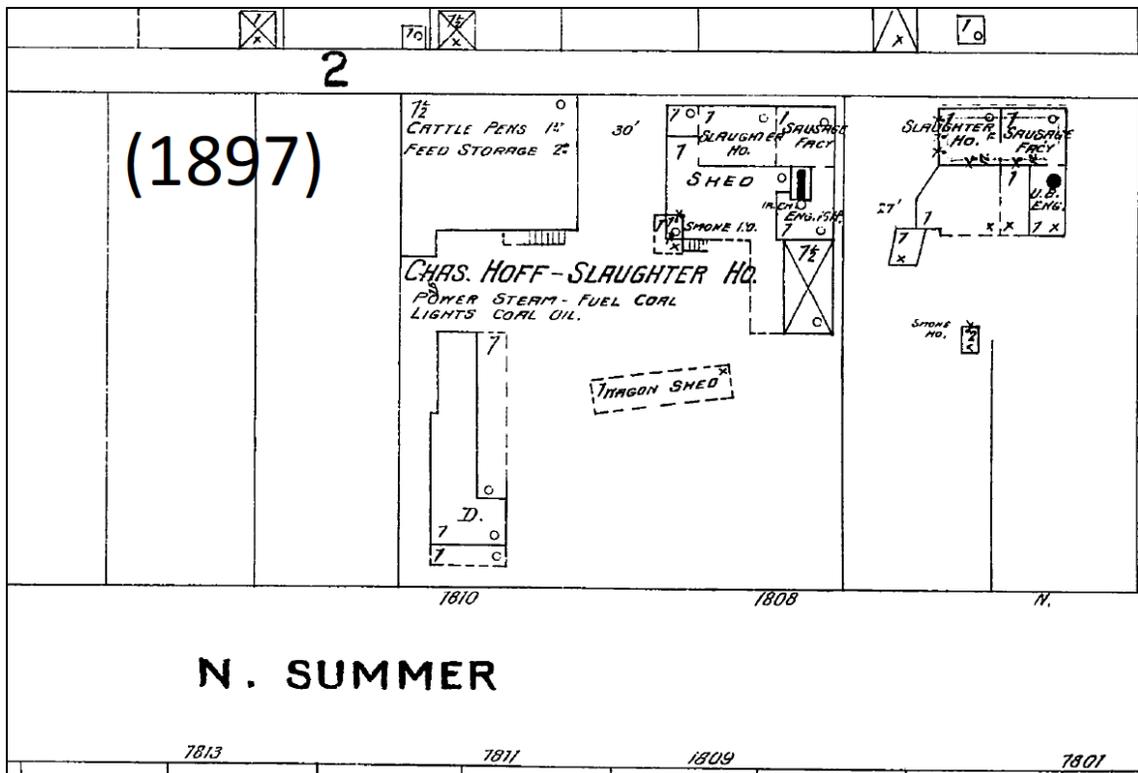
Proportion and Rhythm of Openings: The existing transom on the front elevation will be restored, but no changes to the window and door openings on the existing house were called out on the plans. The windows on the proposed addition are all generally twice as tall as they are wide, as is typical of the historic proportions of openings. There are no large expanses of wall space without a window or door opening. Staff finds the project’s proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities: No changes to the site’s appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house. The project meets section II.B.1.i.

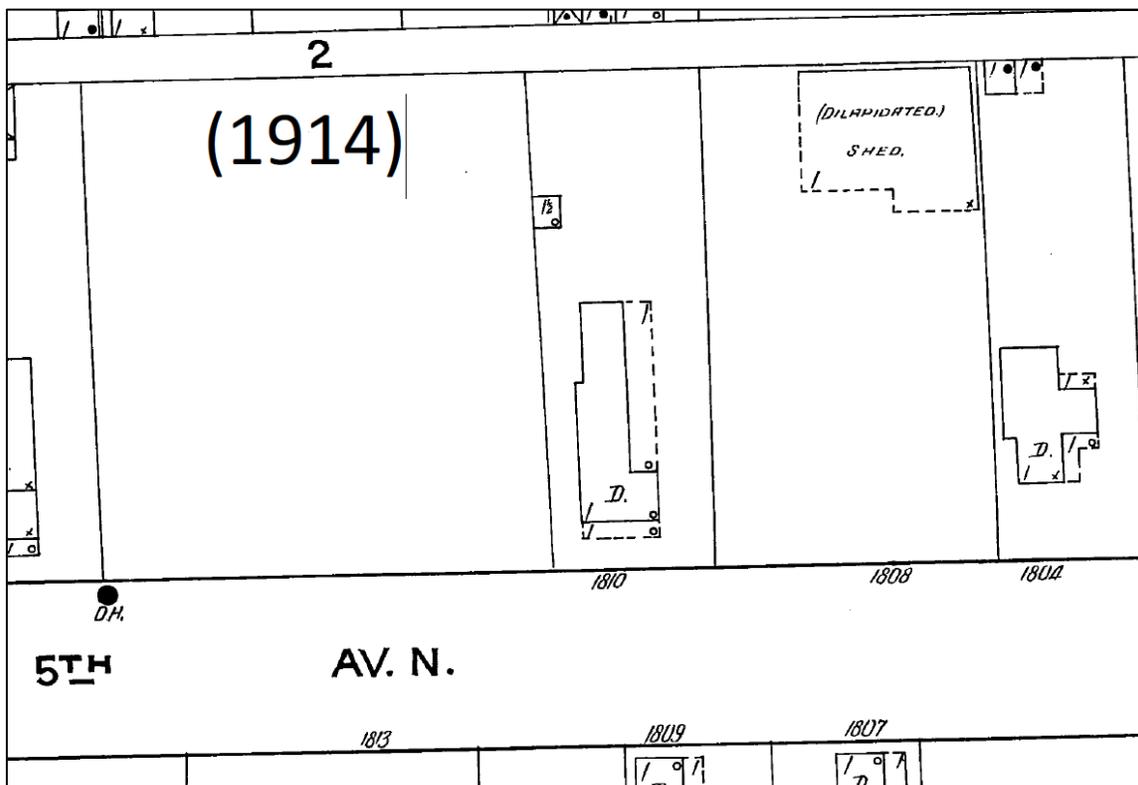
Recommendation: Staff recommends disapproval of the proposed additions to the historic house at 1810 Fifth Avenue North, finding that the project would not meet the following sections of the design guidelines for the Salemtown Neighborhood Conservation Zoning Overlay:

- II.B.1.a and II.B.1.b (Height and Scale)
- II.B.1.e (Roof)
- II.B.2.a and II.B.2.f (Location and Removability)
- II.B.2.b-e and II.B.2g. (Design Character)

Eliminating the ridge raise, reducing the scale of the upperstory, and revising the addition to not be taller and wider would be more appropriate. Another option could include keeping the house as a single-family dwelling and constructing a Detached Accessory Dwelling Unit. Since either solution will require a redesign, staff recommends disapproval rather than approval with conditions.



1897 Sanborn Map detail.



1914 Sanborn Map detail.

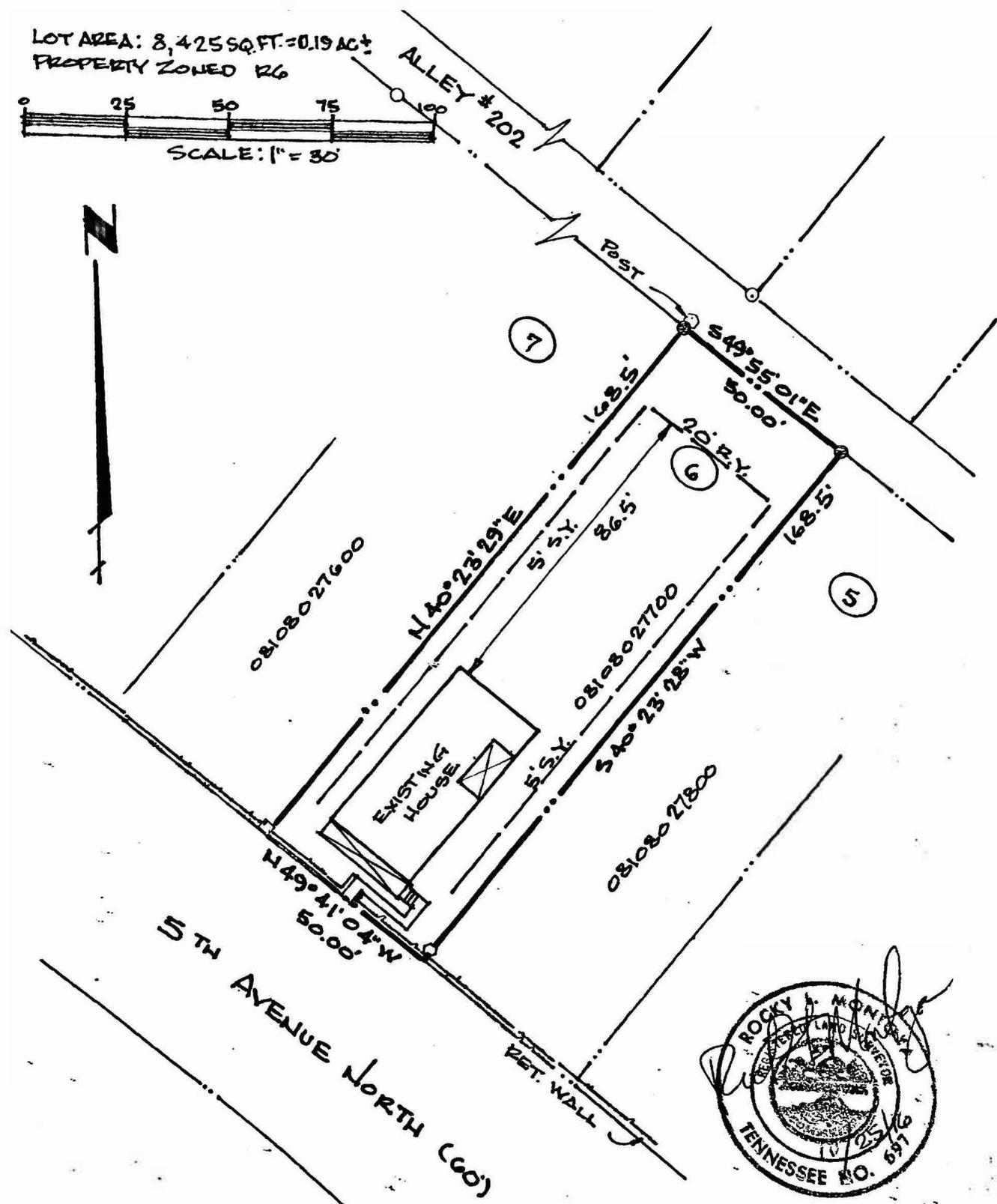


1810 Fifth Avenue North, front-left. The lower eaves, cornerboard, and different siding reveal suggest that existing rear wing was an early addition.



1810 Fifth Avenue North, front-right. The side porch on the rear wing has been expanded and partially enclosed.

LOT AREA: 8,425 SQ. FT. = 0.19 AC ±
 PROPERTY ZONED R6

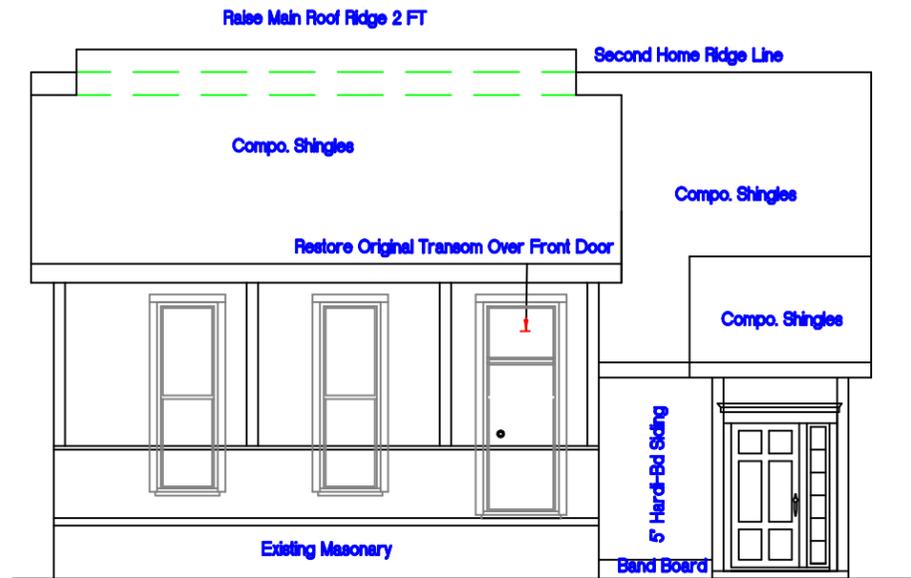


LOT SURVEY and PLOT PLAN

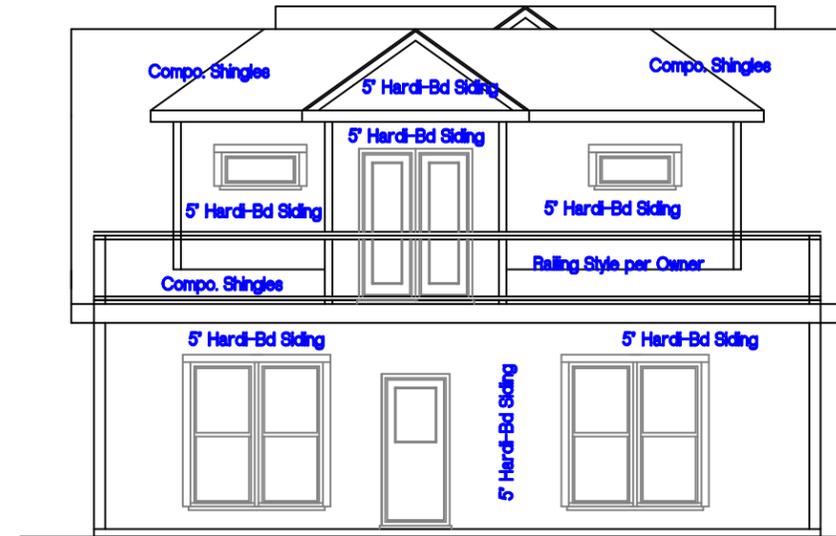
NOTES:

1. This lot is not included in an area designated "special flood hazard" on Federal flood maps available me at this time.
2. I hereby certify that this survey has been made using the latest recorded deeds and other information furnished by title attorney, that there are no encroachments or projections other than those shown, and that the survey is correct to the best of my knowledge and

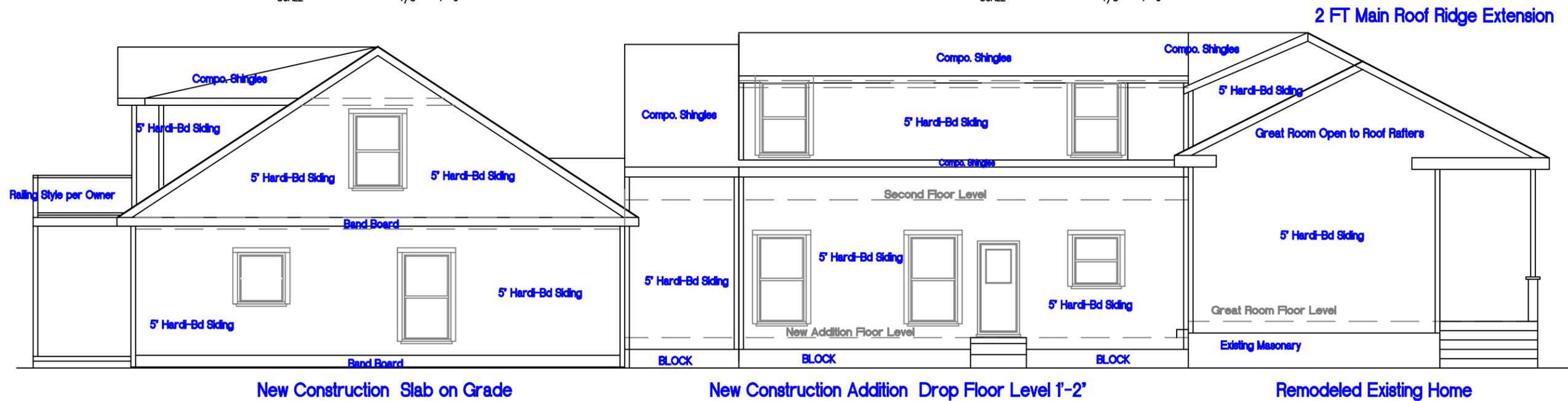
1810 5th Ave. N Page 2 Revised 12/8/16



Front Elevation
SCALE 1/8" = 1'-0"



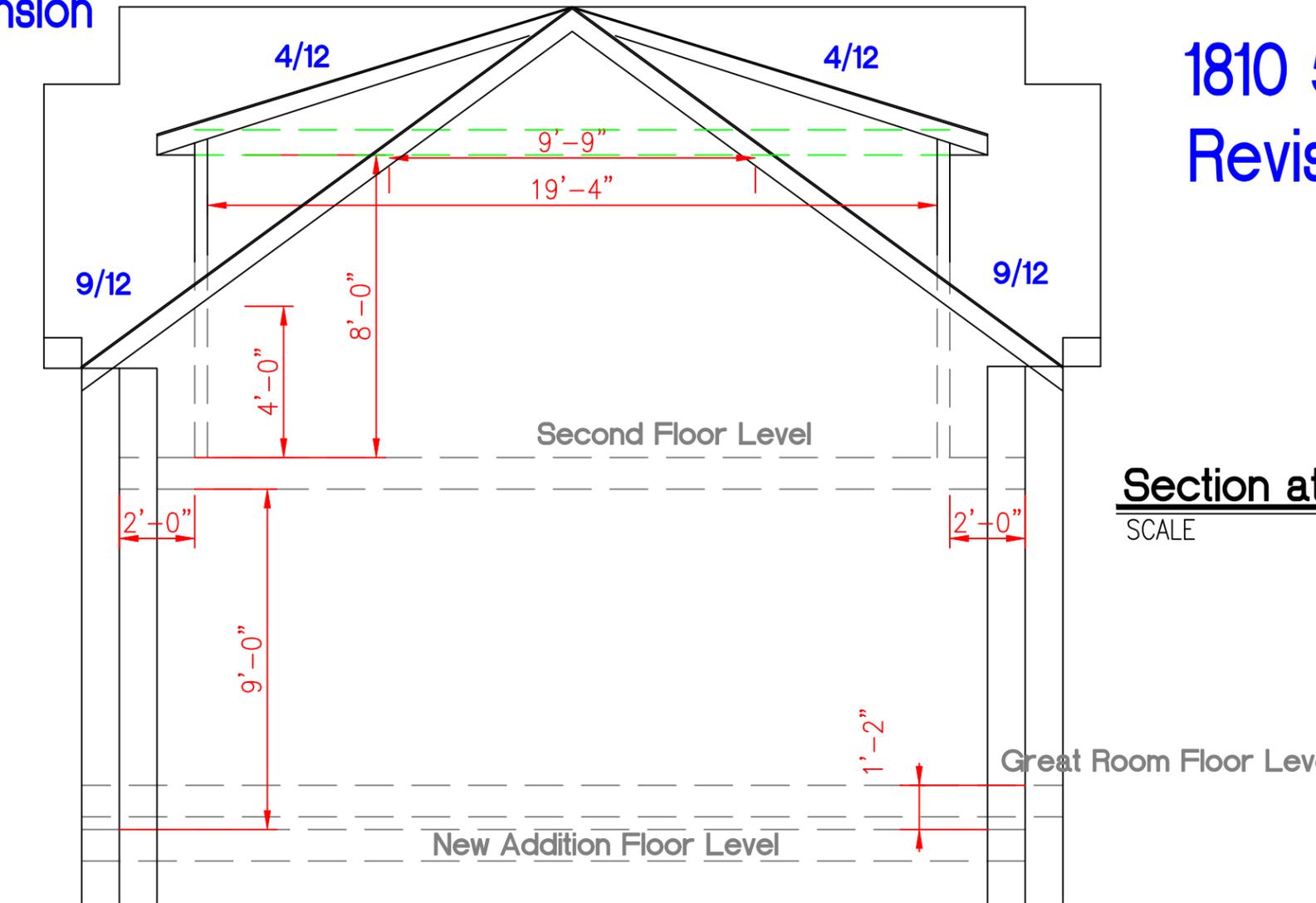
Rear (Alley) Elevation
SCALE 1/8" = 1'-0"



Left Side Elevation
SCALE 1/8" = 1'-0"

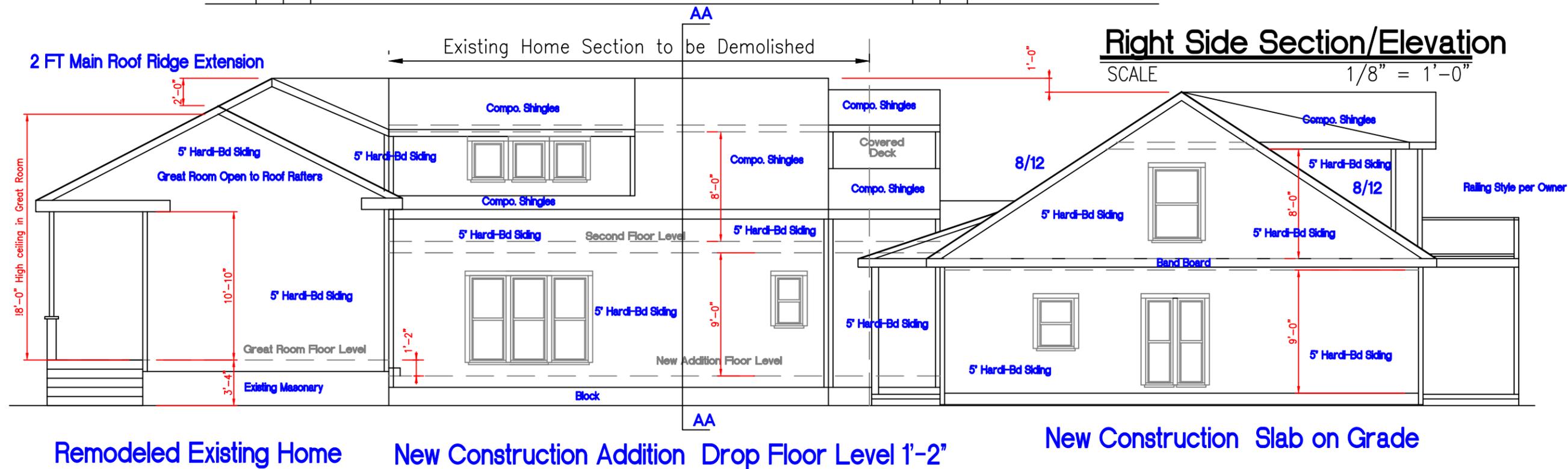
2 FT Main Roof Ridge Extension

1810 5th Ave. N Page 3
Revised 12/8/16



Section at New Addition AA

SCALE 1/4" = 1'-0"



Right Side Section/Elevation

SCALE 1/8" = 1'-0"

2 FT Main Roof Ridge Extension

18'-0" High ceiling in Great Room

10'-10"
Great Room Floor Level
3'-4" Existing Masonry

Remodeled Existing Home

Existing Home Section to be Demolished

New Construction Addition Drop Floor Level 1'-2"

New Construction Slab on Grade

Railing Style per Owner