

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

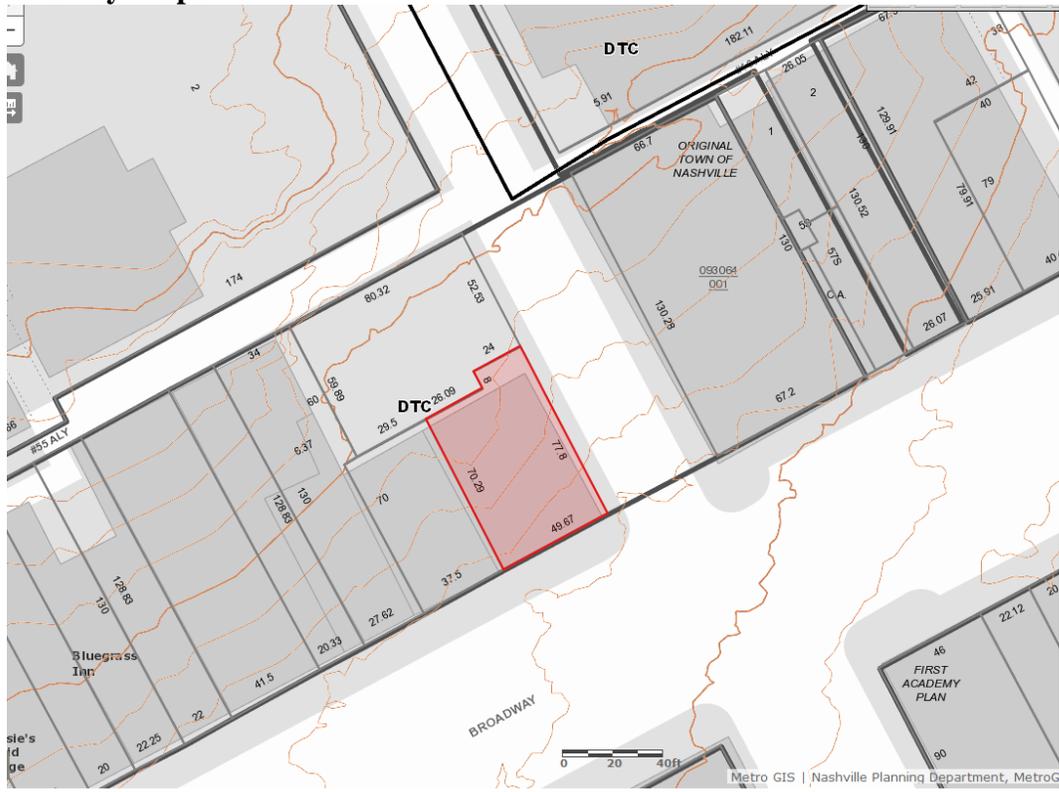
STAFF RECOMMENDATION
400 Broadway
December 21, 2016

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

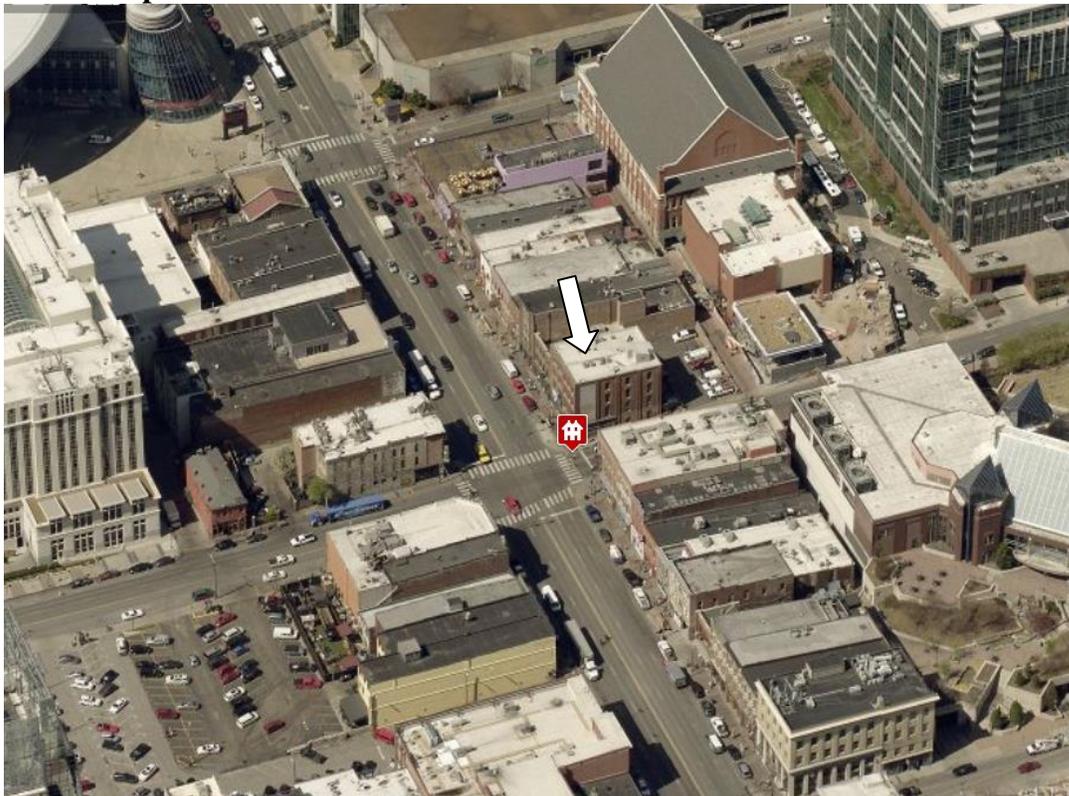
Application: New construction—alteration to previously approved addition
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306308200
Applicant: Joshua Hughes, Tuck Hinton
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

<p>Description of Project: Application is to alter the design of previously-approved rooftop addition by increasing the height.</p> <p>Recommendation Summary: Staff recommends approval of the alteration to the rooftop addition, finding that it meets Section III. of the <i>Broadway Historic Preservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Photographs B: Site Plan C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction

H. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.

Rooftop railings should set back from each street facing wall by 8'.

Railings should not be used to support additional elements such as speakers, lighting, plants or signage.

In locations where railings are visible from the street, the materials should minimize the impact of the railing.

Materials such as butt-joint glass or horizontal steel cable, may be appropriate

3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

Background: 400 Broadway is a c. 1870 brick commercial structure that contributes to the Broadway Historic Preservation Zoning Overlay (Figure 1). The western-most portion of the building was altered in the early to mid-twentieth century with new window openings and steel windows. The building was altered again in 1990. The storefronts date to that restoration. In July 2016, the Historic Zoning Commission approved alterations to the building's storefronts, new lighting, and a rooftop and rear addition. In October 2016, the Commission approved a revised, larger version of the addition that was approved in July 2016. In that approval, changes were made to the size and location of the stair bulkheads. This application seeks to change the size of the previously-approved rooftop addition by extending the height of the elevator overrun.



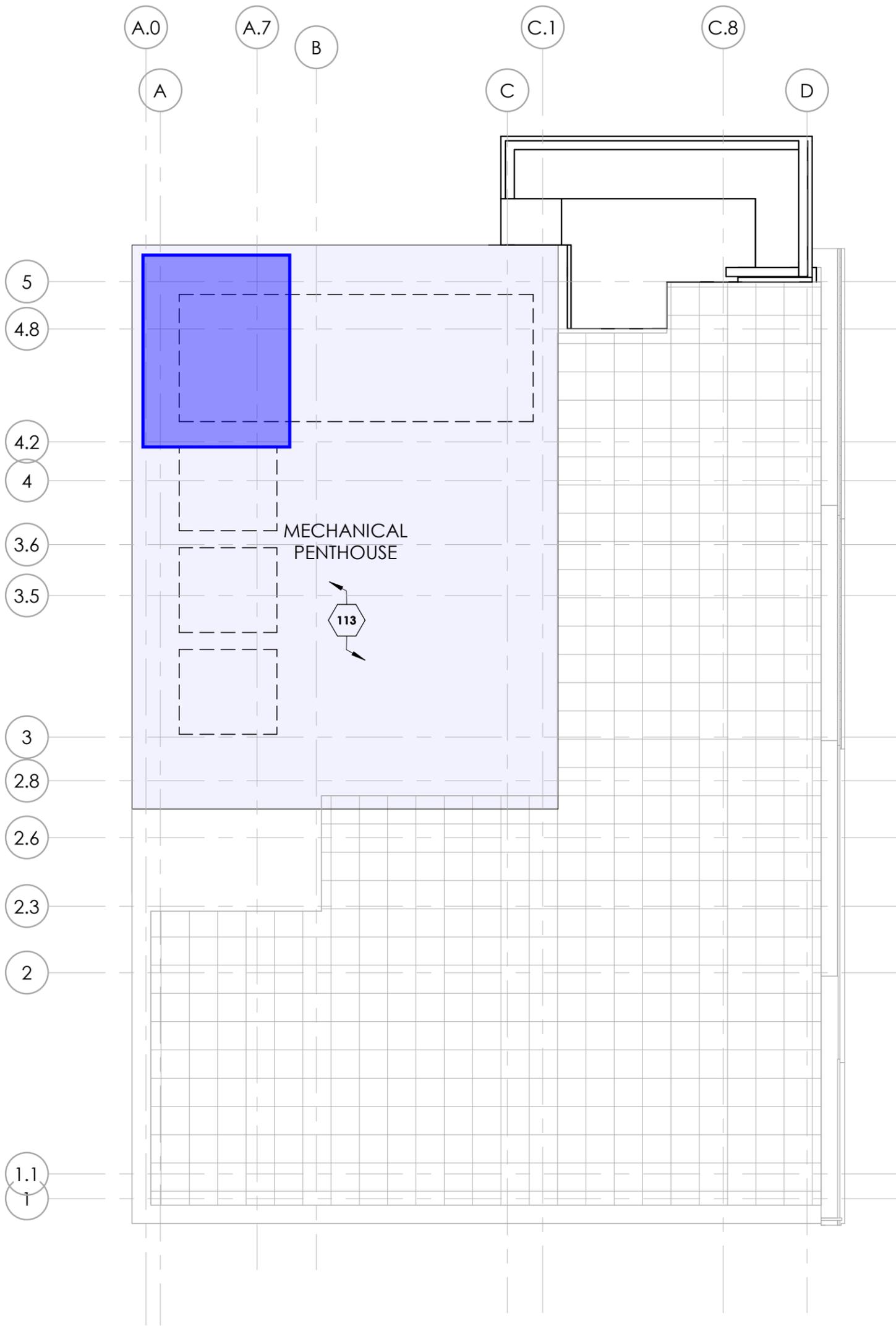
Figure 1. 400 Broadway.

Analysis and Findings: Application is to alter the design of a previously-approved rooftop addition.

Rooftop Addition: The height and scale of the main portion of the rooftop addition and rear addition have not changed since the Commission voted to approve the project, with conditions, in July and again in October 2016. However, the applicant's engineer has recommended that the building should have a traction elevator rather than a hydraulic elevator because of the size of the building and likely amount it will be used. While the traction elevator is more reliable, it requires a larger overrun than a hydraulic elevator. The traction elevator will require that a portion of the addition will be sixteen feet, three inches (16'3") taller than the historic roof parapet. This is one foot, three inches (1'3") taller than what the design guidelines allow. The taller portion will be about ten foot, six inches (10'6") wide and thirteen feet, nine inches (13'9") deep. It will be pushed back from the Broadway façade nearly fifty-five feet (55') and from the Fourth Avenue North façade nearly thirty-nine feet (39'). Staff finds that the additional one foot, three inches (1'3") of height for the elevator overrun to be acceptable, in this instance, because it is located so far back from the facades and is modestly scaled. It will likely be at most minimally visible.

Staff therefore finds that the alterations to the previously approved rooftop addition meet Section III.H. of the Broadway Historic Preservation Zoning Overlay design guidelines.

Recommendation Summary: Staff recommends approval of the alteration to the rooftop addition, finding that it meets Section III. of the *Broadway Historic Preservation Zoning Overlay: Handbook and Design Guidelines*.



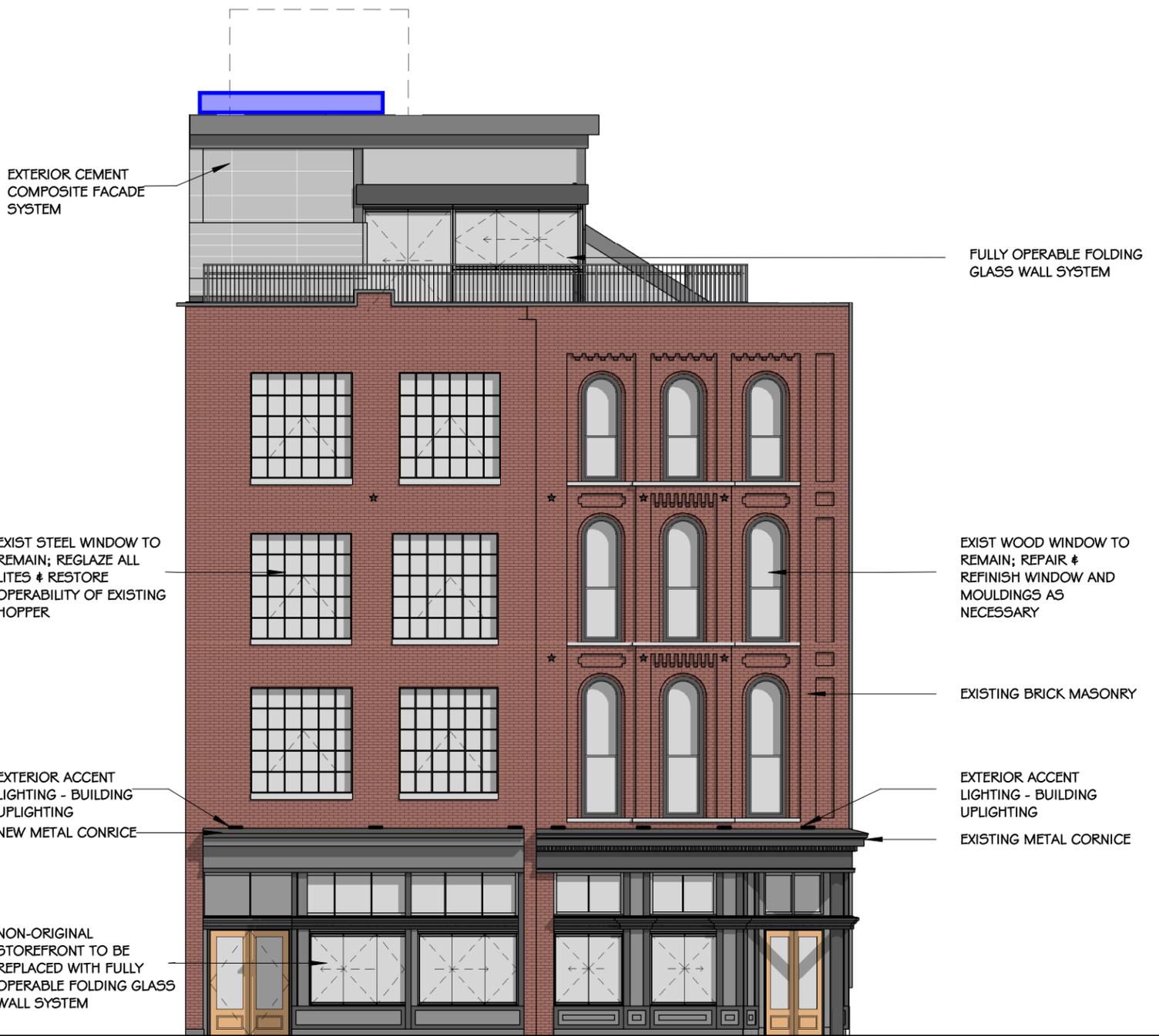
KEYNOTES

113 MEMBRANE ROOFING



DIERKS BENTLEY'S WHISKEY ROW

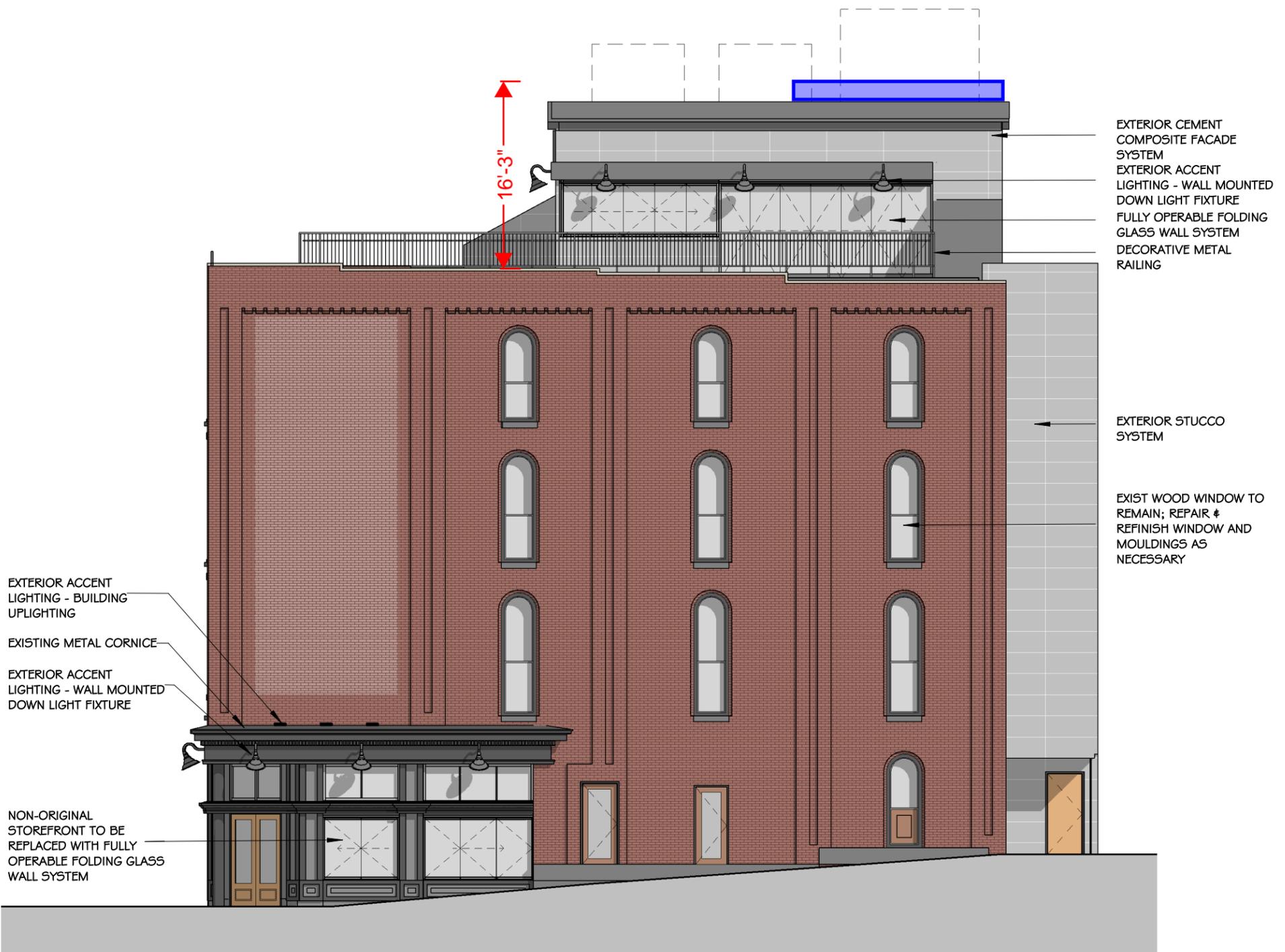
ROOF PLAN



16' 12' 8' 4' 0 16'

DIERKS BENTLEY'S WHISKEY ROW

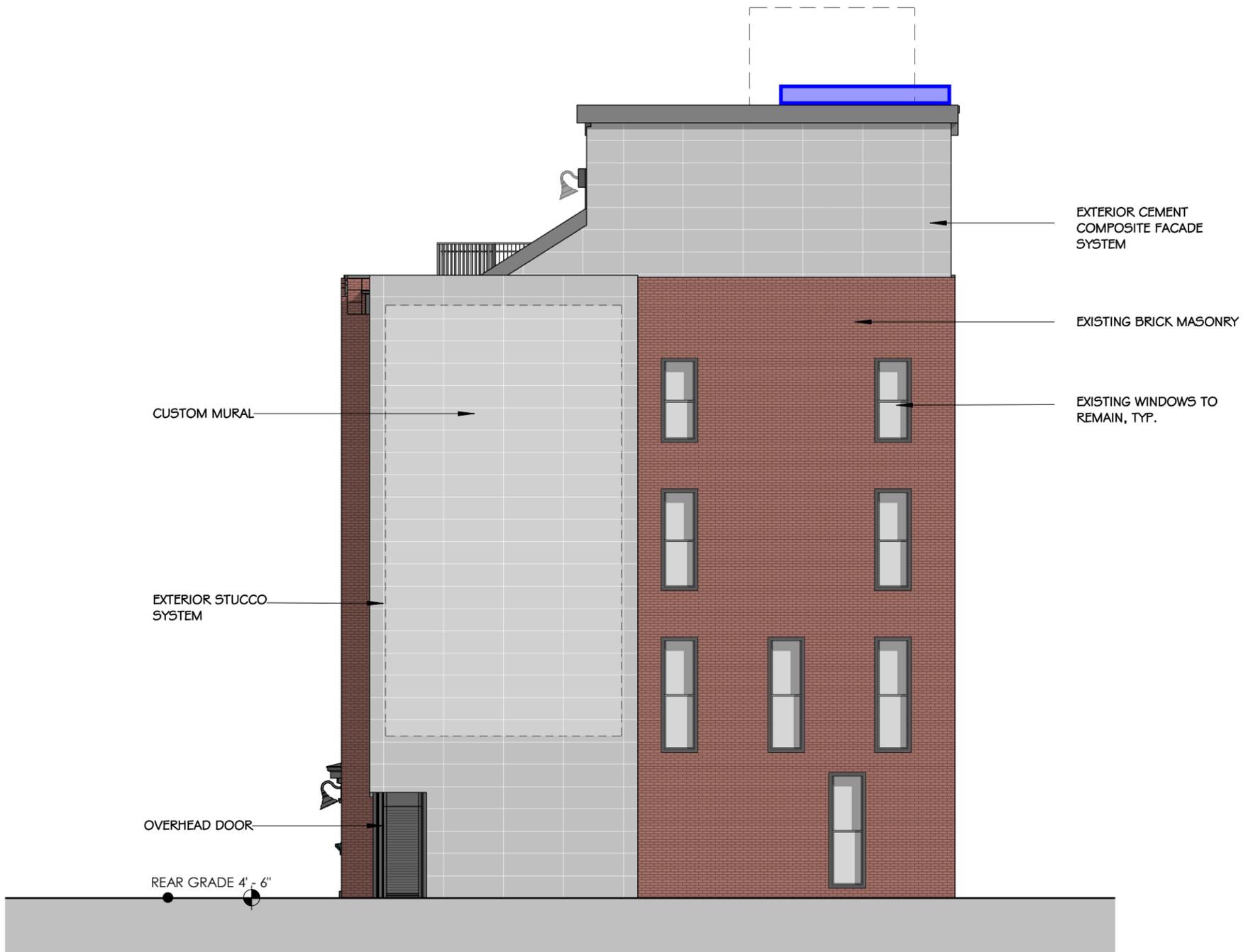
BROADWAY ELEVATION



16' 12' 8' 4' 0 16'

DIERKS BENTLEY'S WHISKEY ROW

4TH AVE ELEVATION



16' 12' 8' 4' 0 16'

DIERKS BENTLEY'S WHISKEY ROW

REAR ELEVATION