

MEGAN BARRY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
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### STAFF RECOMMENDATION 209 South 5<sup>th</sup> Street December 20, 2017

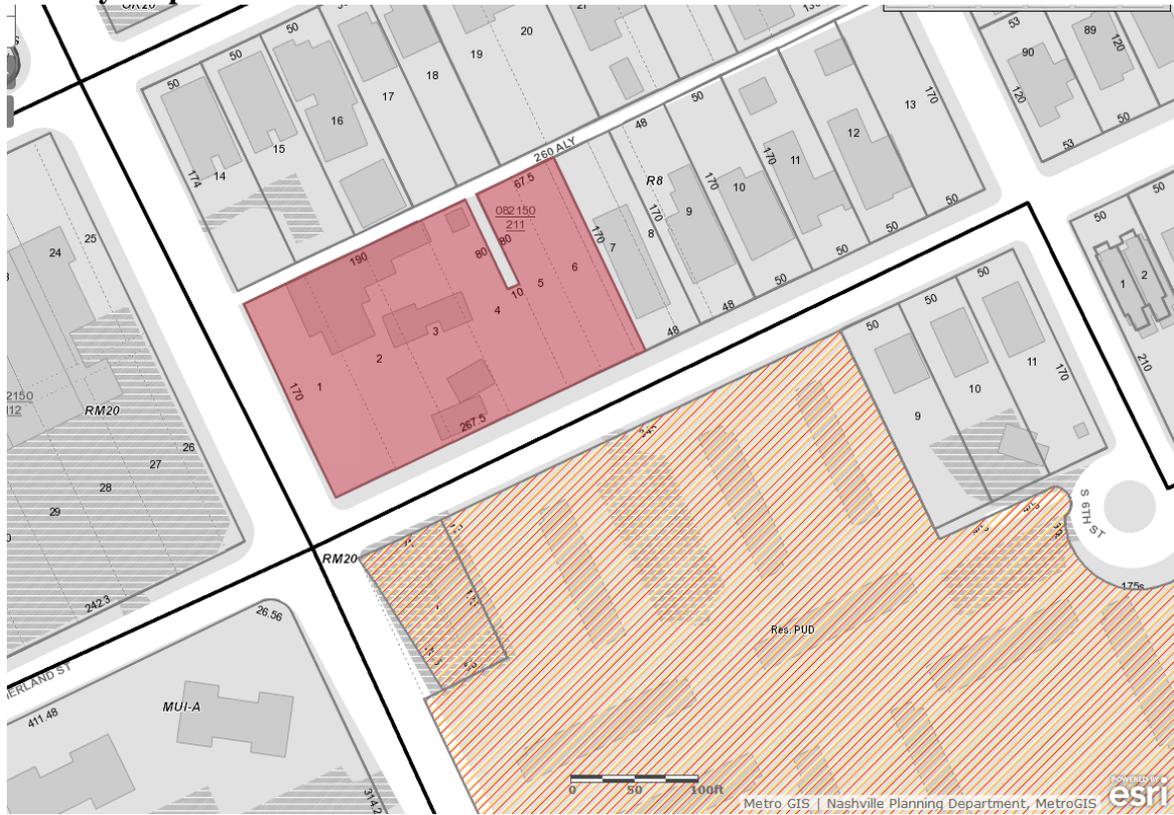
**Application:** New construction—addition; Partial demolition  
**District:** Edgefield Historic Preservation Zoning Overlay  
**Council District:** 06  
**Map and Parcel Number:** 08215021100  
**Applicant:** Dave Wachtel  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

**Description of Project:** Application is to remove a portion of a non-historic addition and to construct a new side addition.

**Recommendation Summary:** Staff recommends disapproval, finding that the proposed side addition does not meet Section III.B, specifically sections for additions, height, scale and roof form, of the Edgefield Historic Preservation Zoning Overlay design guidelines.

**Attachments**  
**A:** Photographs  
**B:** Site Plan  
**C:** Elevations

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III.B NEW CONSTRUCTION AND ADDITIONS TO HISTORIC AND NON-HISTORIC BUILDINGS

#### III.B.1 Additions

- a. Generally, an addition should be situated at the rear of a building in a way that will minimize the visual impact upon both public facades.

##### *Placement*

*Additions should be located at the rear of an existing structure.*

*Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.*

*Generally, one-story rear additions should inset one foot, for each story, from the side wall.*

*Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.*

*In order to assure that an addition has achieved proper scale, the addition should:*

- No matter their use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*

- An extreme grade change*

- Atypical lot parcel shape or size*

*In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

*When an addition needs to be wider:*

*Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.*

*In addition, a rear addition that is wider should not wrap the rear corner.*

##### *Sunrooms*

*Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.*

##### *Foundation*

*Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.*

*Foundation height should match or be lower than the existing structure.*

*Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.*

#### *Roof*

*The height of the addition's roof and eaves must be less than or equal to the existing structure. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.*

*Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).*

#### *Side Additions*

*When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.*

*Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.*

*To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.*

- c. An addition should be compatible, by not contrasting greatly, with the height, scale, roof form, proportion and rhythm of openings, materials, texture, details, and material color of the associated building.
- d. The creation of an addition through enclosure of a front porch is not appropriate.
- e. The enclosure of side porches may be appropriate if the visual openness and character of the porch is maintained.
- f. Dormers generally should not be introduced where none existed originally.

#### *Rear Dormers*

*Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.*

- g. Additions should follow the guidelines for new construction.

*Italicized sections of the guidelines contain interpretive information that is meant to make the guidelines easier to understand; they are not part of the guidelines themselves. Illustrations are intended only to provide example buildings and circumstances. It is important to remember that every building is different and what may be appropriate for one building or site may not be appropriate for another.*

- 6. Every building, structure, and site shall be recognized as a product of its own time. Alterations that have not historical basis and which seek to create an earlier appearance are not appropriate.

*This principle precludes the "theme park effect." Fake old buildings are not appropriate. New buildings inspired by historic styles, but identifiable as new construction, can be appropriate.*

*It is important to note the variety of historic architectural styles and house types represented in Edgefield. Although roofs, windows, doors, porches, and other elements, may be common to all, each house possesses particular details and features that distinguishes it from others. The unique character of each historic building should be preserved in order to maintain the integrity of the district as a whole.*

- 7. Changes which have taken place over the course of time are evidence of the history and development

of a building, structure, or site and its environment. If the changes have acquired significance in their own right, they should be retained.

*For example, as tastes changed in the first quarter of the twentieth century, Victorian Era styles were replaced by Colonial Revival and Bungalow styles. An addition or major remodel in a new style to an earlier house can sometimes be as architecturally important as an unaltered historic house.*

### **III.B.2 New Construction**

#### **a. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings reinforce that rhythm.

*The Commission has the ability to reduce building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setback reductions will be determined based on:*

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

*Appropriate height limitations will be based on:*

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### **b. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

*For those lots located within the Corner Commercial Subdistrict of the Five Points Redevelopment District new buildings shall not exceed 2 stories and 30' in height. An additional story may be added to a building provided that, where it is adjacent to a detached house or a residential subdistrict, it is set back a minimum of 25' from the building wall or 50' from the property line. Three story building height shall not exceed 45'. All front and side buildings walls shall be a minimum of 16' in height and at the build-to line. For multi-story buildings, the minimum first floor height shall be 14' from finished floor to finished floor.*

### **c. Building Shape**

The shape of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

### **d. Roof Shape**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

*Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.*

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

### **e. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

#### *Porches*

*New buildings should incorporate at least one front street-related porch that is accessible from the front street.*

*Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.*

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

#### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median.*

*Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### *Multi-unit Developments*

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical*

*spacing between buildings along the street.*

#### **f. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in new buildings shall be compatible, by not contrasting greatly, with surrounding historic buildings.

*Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

#### **g. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

#### **i. Appurtenances Related to New Construction**

*For information on fences, paving, walls, et cetera, see the Appurtenances section.*

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.*

*Generally, utility connections should be placed no closer to the street than the mid point of the structure.*

*Power lines should be placed underground if they are carried from the street and not from the rear or an alley.*

*Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.*

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*

## **V.B DEMOLITION GUIDELINES**

1 . Demolition is not appropriate

a. if a building, or major portion of a building, contributes to the architectural or historical significance or character of the district.

2 . Demolition is appropriate

a. if a building, or major portion of a building, does not contribute to the architectural or historical character or significance of the district; or

b. if a building, or major portion of a building, has irretrievably lost its physical integrity to the extent that it no longer contributes to the district's architectural or historical character or significance; or

c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420, as amended, of the historic zoning ordinance.

**Background:** 209 South 5<sup>th</sup> Street is a c. 1868 brick house that contributes to the historic character of the Edgefield Historic Preservation Zoning Overlay (Figure 1).



Figure 1. 209 South 5<sup>th</sup> Street

The house has been altered some over the years. Its red brick was painted for the first time in the late 1970s, just prior to the enactment of the preservation overlay (Figure 2). Shortly after the creation of the historic overlay in 1978, MHZC approved a one-story side addition (Figure 2) to the house. Comparing Figure 2 to Figure 4 below, it is evident that the two-story portion on the right side of the house was extended towards the rear during this time. Sometime before 1995, a greenhouse structure was constructed on top of the one-story side addition without a preservation permit (Figure 4).

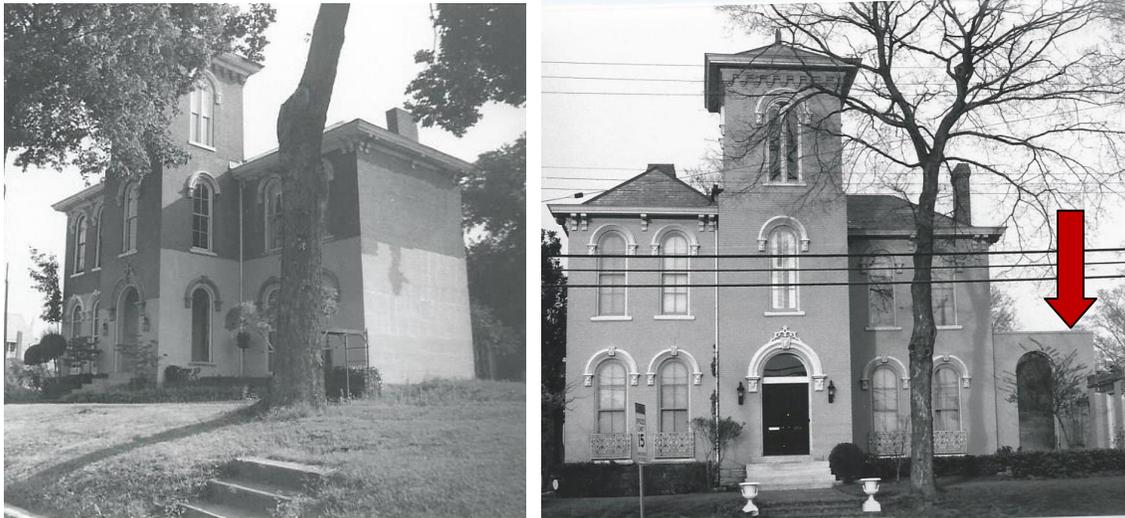


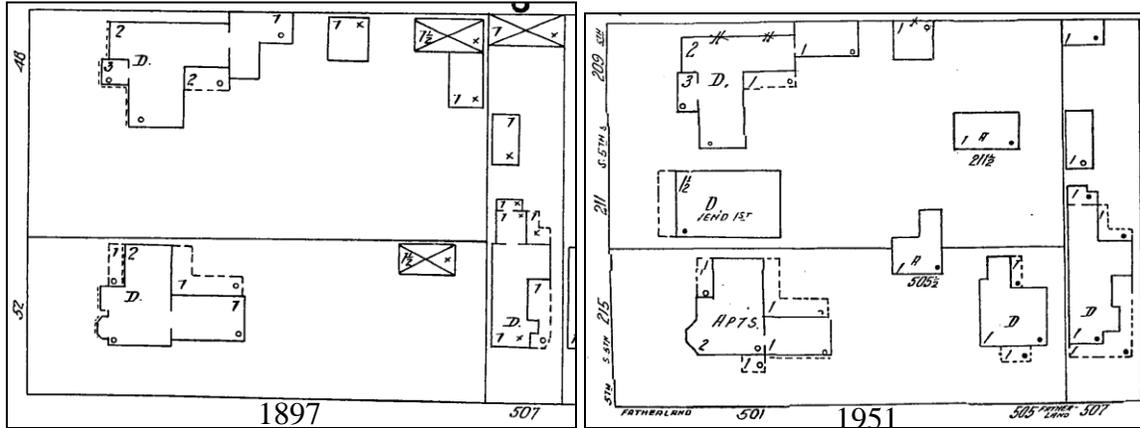
Figure 2 (Left) shows the house in the 1970s being painted. There are no side additions and no wall on the site at this time. Figure 3 (Right) shows the one story side addition prior to the greenhouse structure.



Figure 4. The greenhouse structure was constructed on top of the side addition prior to 1995.

The site for 209 South 5<sup>th</sup> Street has changed dramatically since it was constructed. A late nineteenth century map shows show that on this block of South 5<sup>th</sup> Street, there were originally two, two-story houses (Figure 5). Sometime between 1914 and 1951, a one-

and-a-half story house was constructed in between the two, two-story houses (Figures 6 & 7). These two houses next door to 209 South 5<sup>th</sup> Street are no longer extant; their date of demolition is not known. Two houses that were at the rear of the property, facing Fatherland (505 Fatherland and 507 Fatherland) were approved for demolition by MHZC in 1979 and their lots were incorporated into this lot. C. 1984, a brick wall with attached outbuildings was constructed around the perimeter of the site (Figures 8, 9, 10).



Figures 5 & 6 show the current site in 1897 and in 1951. The entire area shown in these maps is now part of the site for 209 S. 5<sup>th</sup> St.



Figure 7. The date of the photo is unknown, but the house formerly at 211 S. 5<sup>th</sup> St. can be seen.



Figure 8. View along S. 5<sup>th</sup> St.



Figure 9. View of the corner of S. 5<sup>th</sup> St. and Fatherland St.



Figure 10. Fatherland Street view of the house.

Today, the site for 209 South 5<sup>th</sup> Street contains several outbuildings and is over forty-five thousand square feet (45,000) (Figure 11).

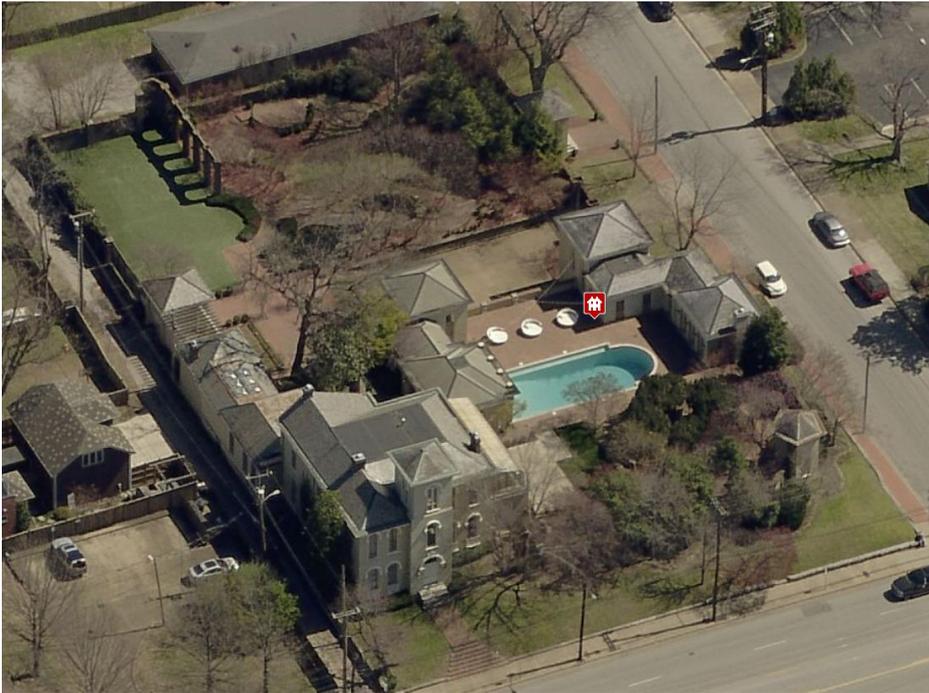


Figure 11. An aerial view of the current site at 209 S. 11<sup>th</sup> Street.

**Analysis and Findings:** Application is to remove a portion of a non-historic addition and to construct a new side addition.

Demolition: The applicant intends to remove the glass greenhouse-type structure above the one story side addition (See Figure 4). This greenhouse structure is not historic, as it was constructed in the late 1980s or early 1990s. Staff finds that its removal will improve the historic character of the house. Staff therefore finds that the removal of the greenhouse structure meets Section V.B.2 for appropriate demolition and does not meet section V.B.1 for inappropriate demolition.

Height & Scale: Staff finds that the proposed scale for the side addition to be inappropriately large. The side addition will have a total width of seventy-six feet, four inches (76'4"), which is almost twice the width of the historic portion of the house. By comparison, the width of the historic portion of the house is approximately just forty-six feet (46') (Figure 12). Although the design guidelines do permit side additions on wide lots like this one, staff finds that the proposed side addition does not meet the guideline that side additions should be "narrower than half of the historic building width."

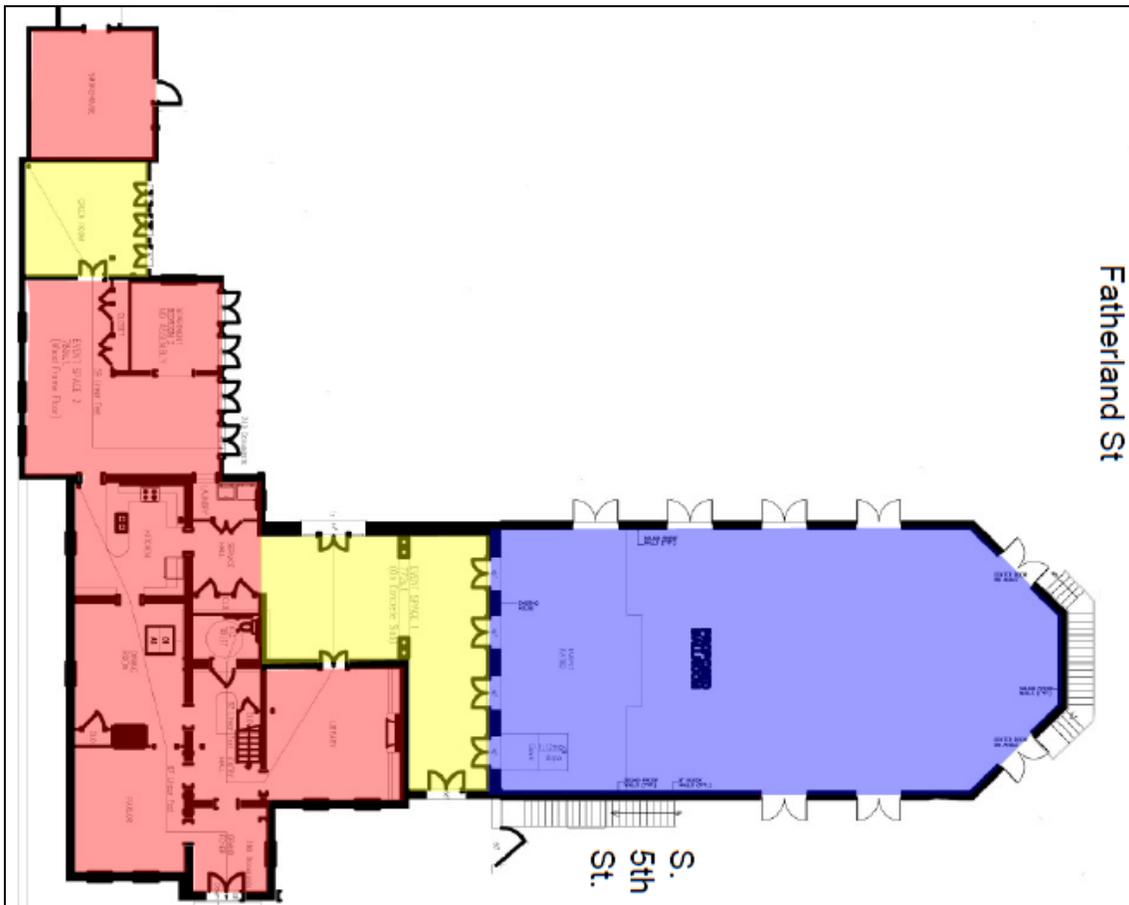


Figure 12. The red portions show the footprint of the historic house from the earliest Sanborn map in 1897 to the latest Sanborn in 1957. The yellow portions show the footprint of the addition that was added in the 1970s. The blue portion of the addition is what is proposed under this application.

The design guidelines state that side additions “*should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.*” The side addition attaches on to a 1970s side addition, and it matches the one-story height of the previous addition. While the addition is significantly shorter than the historic house, its massive width and footprint render the scale of the addition inappropriate.

In addition, the Secretary of Interior Standards (NPS Technical Preservation Brief #14) notes that a “new addition should be smaller than the historic building-it should be subordinate in both size and design the historic building” and it “should not be highly visible from the public right-of-way.” Staff finds that the proposed addition is not in compliance with the Secretary of Interior Standards for Rehabilitation.

Although the applicant maintains that the addition will not be highly visible from the street because of the brick wall and the landscaping, staff counters that the brick wall was constructed in the 1980s and therefore not historic. Both the brick wall and the landscaping could be easily removed, and if they were, the addition would be highly visible from both South 5<sup>th</sup> Street and Fatherland Street. In the past the Commission has not used fences/walls or landscaping when determining “visibility.”

Staff also finds that the two exterior stairs, one on the South 5<sup>th</sup> Street façade and one on the Fatherland façade are not appropriate. Historically, stairs were internal, or if they were utilitarian, were located on the rear façade.

Staff finds that while the addition’s height could meet Section III.B.2.b., its scale does not meet Section III.B.1. of the design guidelines.

Location & Removability: While the design guidelines do allow for some modestly-scaled side additions on lots of this size, the side location for an addition of this width and scale is not appropriate. Because the addition attaches to an existing addition, it will not require the removal of any historic fabric. If the addition were to be approved, it could be removed in the future without affecting the historic integrity of the house.

Staff finds that while the addition is removable, its size renders its location to the side of the historic house inappropriate. Staff therefore finds that the addition does not meet Section III.B.1. of the design guidelines.

Design: The addition’s design is intended to be an extension of the 1970s side addition to the house. However, its long width and large footprint throws off the proportions of the historic house, which was originally constructed as a two-story grand city house. Staff finds that the proposed design does not meet Section III.B.1 of the design guidelines.

Setback & Rhythm of Spacing: The proposed addition meets all base zoning setbacks. It will be approximately sixty-two feet (62’) from the left property line, twenty-five feet (25’) from the right property line, and over one hundred and seventy feet (170’) from the rear property line. Even though the addition meets the base zoning setbacks, staff finds

that it interrupts the rhythm of spacing along this section of South 5<sup>th</sup> Street. As the Sanborn maps show, historically there were two to three houses on this section of South 5<sup>th</sup> Street, all oriented towards South 5<sup>th</sup> Street. The side “ballroom” addition transforms the house and the lot into something they were not historically. Historically, this block had a collection of larger city homes on urban-size lots. The side “ballroom” addition prevents the historic rhythm of spacing of houses to be reestablished in the future with infill development. Further, it tries to make the house into a grand estate on an over-sized lot, which was not its historic use or intention. Staff finds while the setbacks meet the base zoning setbacks, the addition’s rhythm of spacing does meet section III.B.2.a. of the design guidelines.

**Materials, Texture, and Details and Material Color:**

	<b>Proposed</b>	<b>Color/Texture/Make/Manufacturer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	Painted Brick to Grade	Unknown	Yes	No
<b>Cladding</b>	Painted Brick	Unknown	Yes	No
<b>Exterior Stairs</b>	Not Indicated	Not Indicated	Unknown	Yes
<b>Roofing</b>	Not Indicated	Not Indicated	Unknown	Yes
<b>Roof Railing</b>	Not indicated	Not indicated	Unknown	Yes
<b>Windows/ Doors</b>	Not indicated	Not indicated	Unknown	Yes

Although the design guidelines do not permit historic masonry to be painted and discourage the painting of unpainted masonry, painted brick to grade could be appropriate in this instance since it matches the historic house’s painted brick. Staff recommends approval of a brick sample, if the Commission finds that the addition is appropriate. Staff also recommends approval of the exterior stair and railing materials and all windows and doors prior to purchase and installation. With these conditions, staff finds that the known materials meet Section III.B.2.g. of the design guidelines.

**Roof form & Building Shape:** The proposed addition is long and one story with a flat roof. Staff finds that the proposed flat roof does not meet the design guidelines, as the guidelines state that new construction should have a minimum roof slope of 6/12. Staff finds that the building’s shape, which is a long rectangle, does contrast greatly with the historic house’s shape. Staff therefore finds that the project does not meet Sections III.B.2.c. and III.B.2.d of the design guidelines.

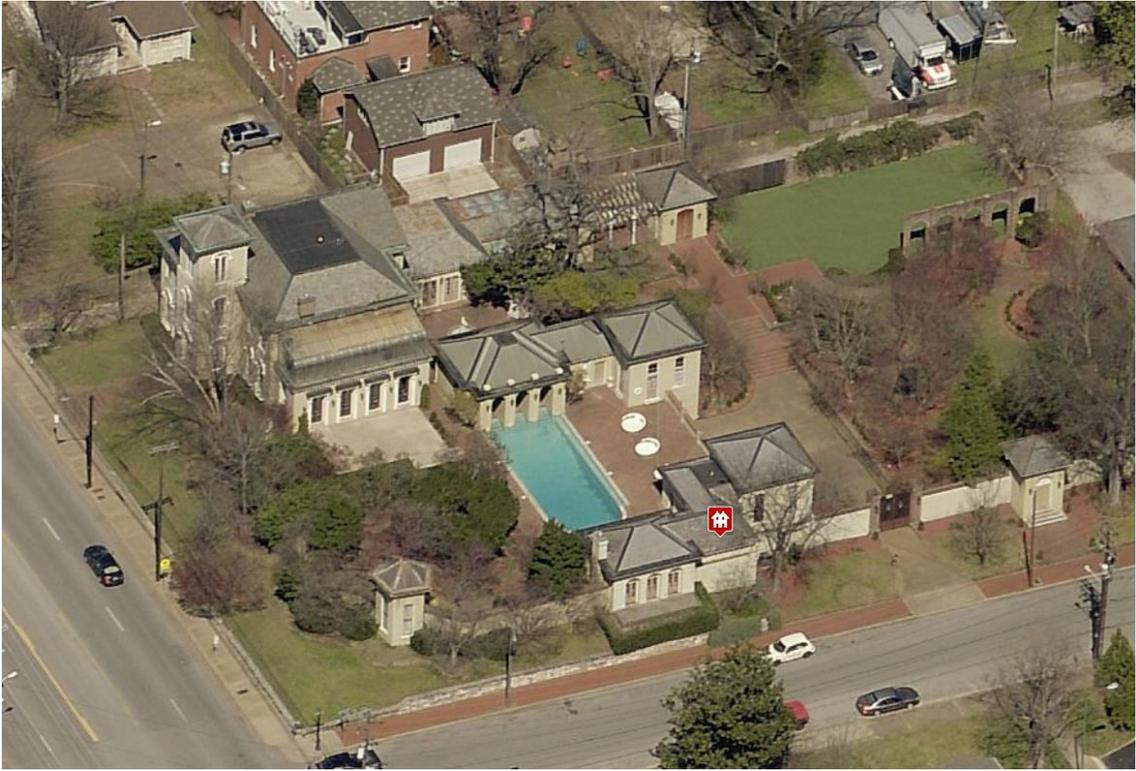
**Orientation:** The addition does not affect the historic house’s orientation and primary focus towards South 5<sup>th</sup> Street. Staff finds that the proposed addition meets Section III.B.2.e. of the design guidelines.

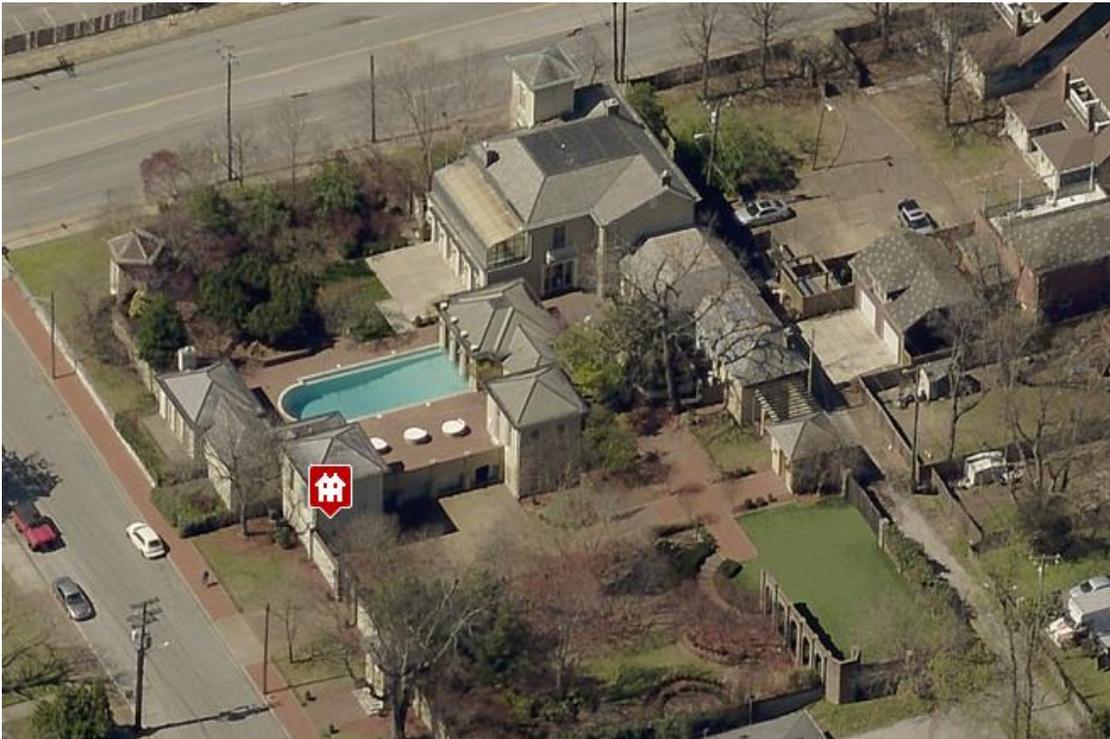
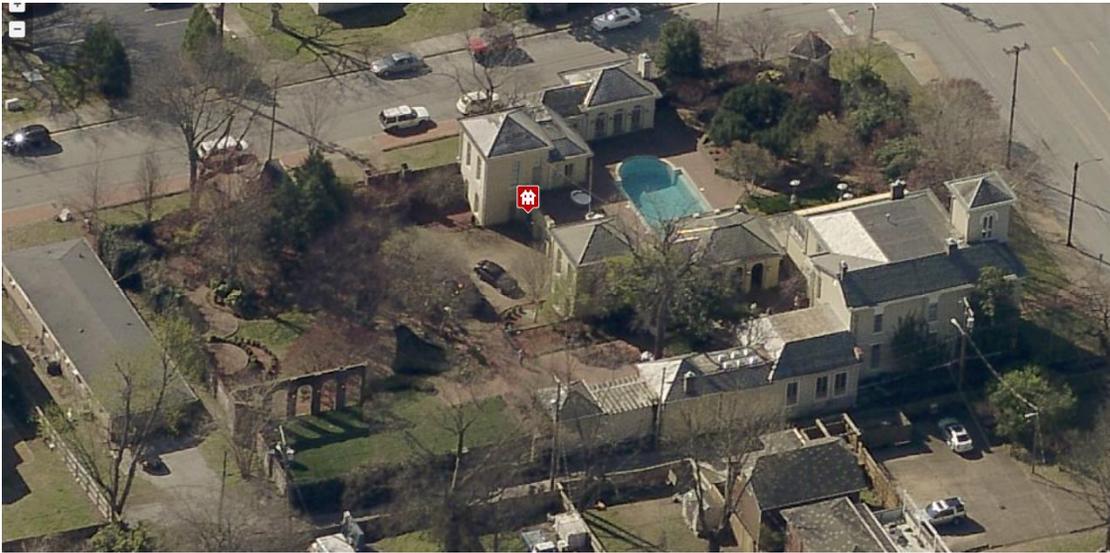
Proportion and Rhythm of Openings: No changes to the window and door openings on the existing house were indicated on the plans. The openings on the addition are arched French doors. There is an expanse of approximately thirty-five feet (35') on the front of the addition, facing South 5<sup>th</sup> Street, without a window or door opening. Staff finds that this expanse does not meet the design guidelines, which state that there should be a door or window opening every eight to thirteen feet (8'-13'). Staff finds that the project's proportion and rhythm of openings do not meet Section III.B.2.f. of the design guidelines.

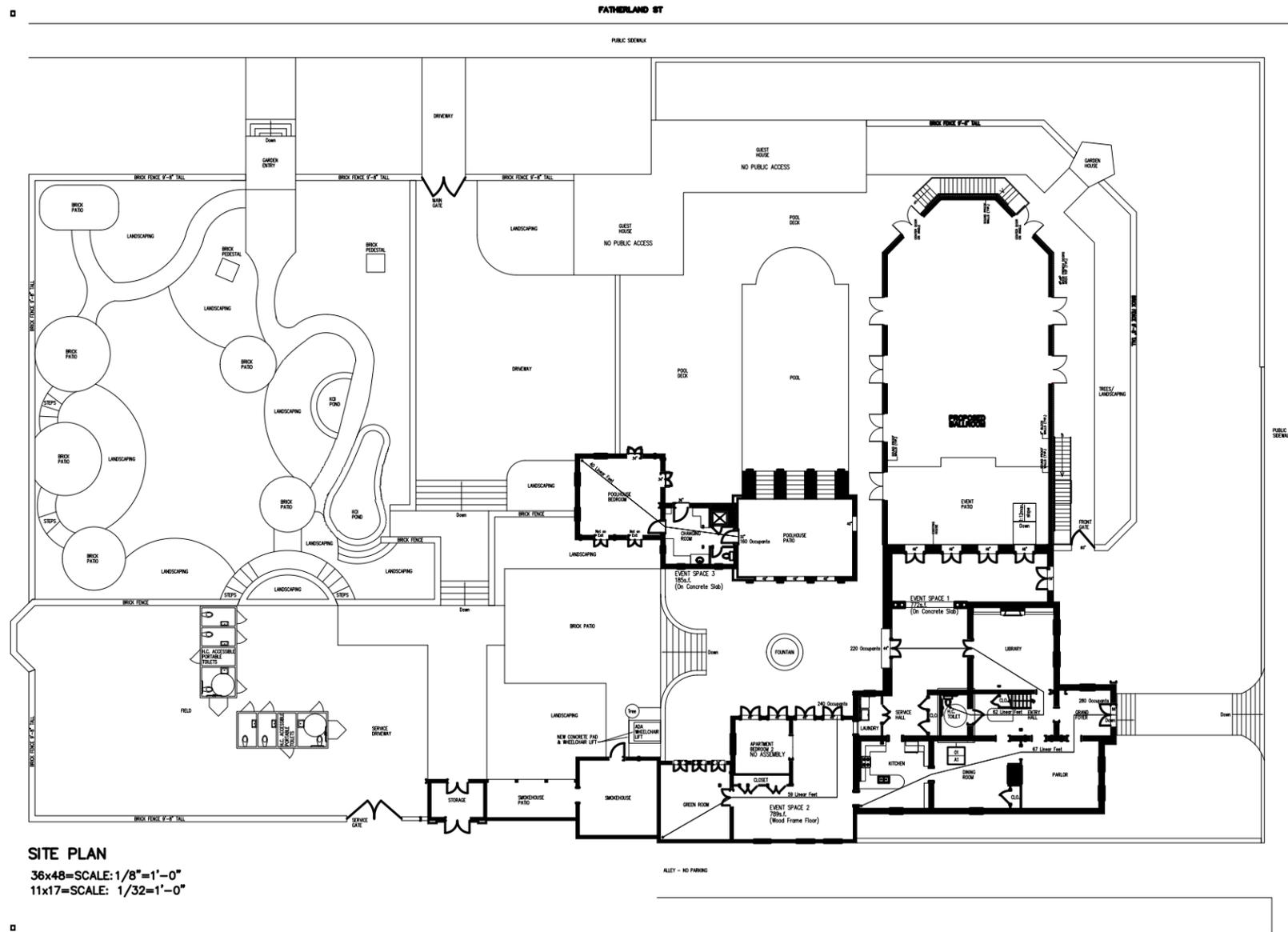
Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. Because this is an historic overlay, MHZC must approve all appurtenances, including, but not limited to, utility location, fencing, walls, pathways, and exterior lighting.

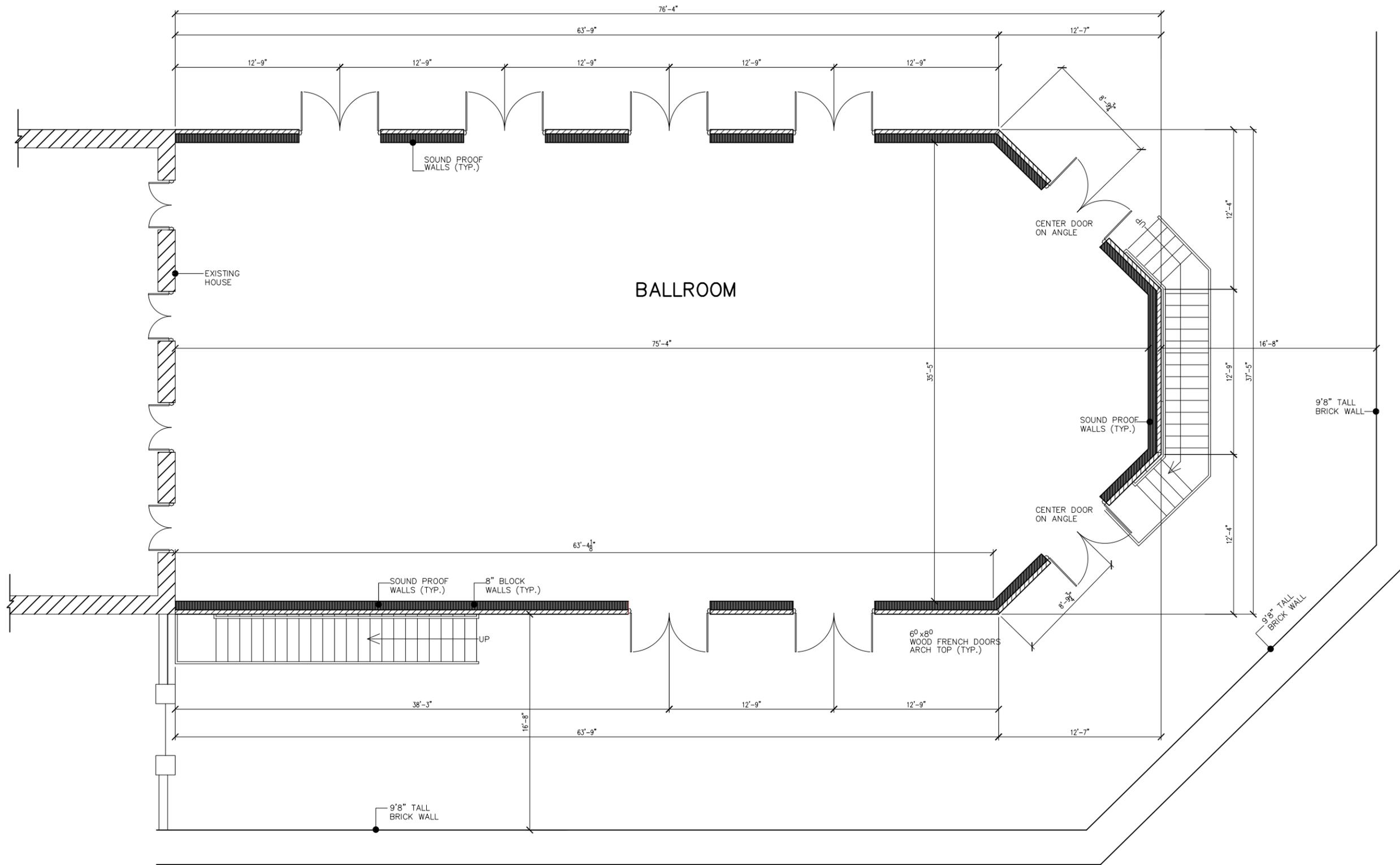
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**Additional Photos:**









FIRST FLOOR PLAN

24x36=SCALE: 1/4"=1'-0"

11x17=SCALE: 1/8"=1'-0"

5TH STREET

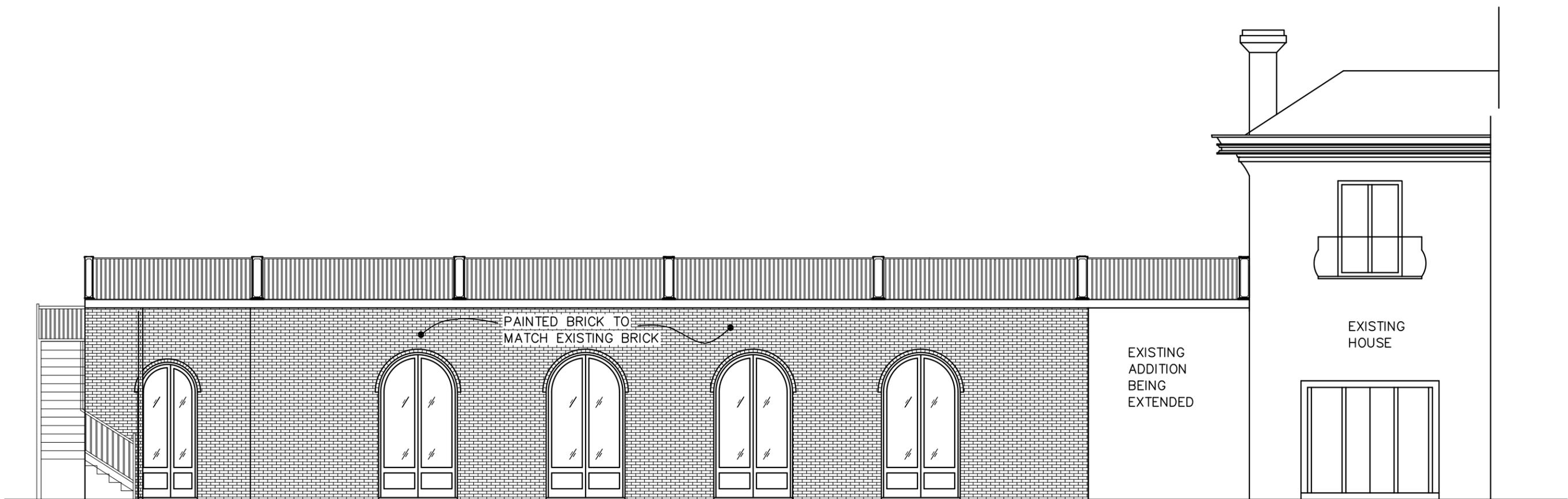
FATHERLAND

IVY MANSION  
DAVIDSON COUNTY, TENNESSEE

DATE: 11-29-2017  
DRAWN BY: JDR

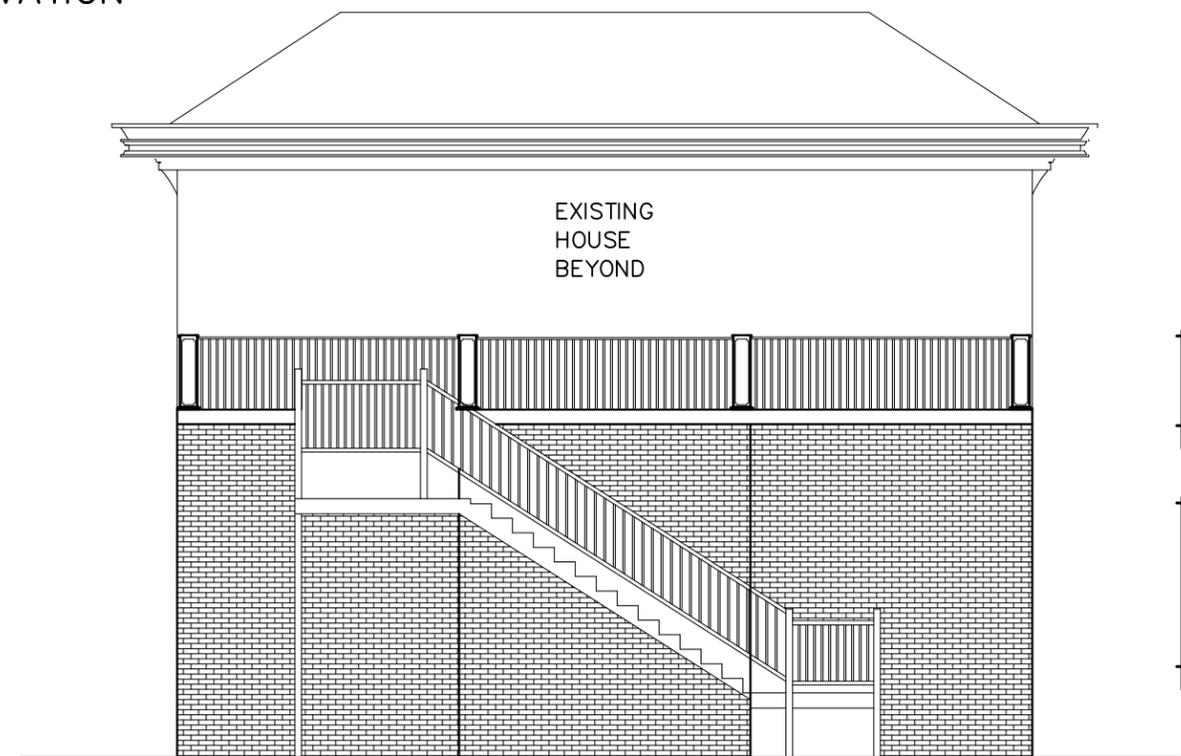
REVISIONS

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**PROPOSED FRONT ELEVATION**

24x36=SCALE: 1/4"=1'-0"  
 11x17=SCALE: 1/8"=1'-0"



**PROPOSED LEFT SIDE ELEVATION**

24x36=SCALE: 1/4"=1'-0"  
 11x17=SCALE: 1/8"=1'-0"

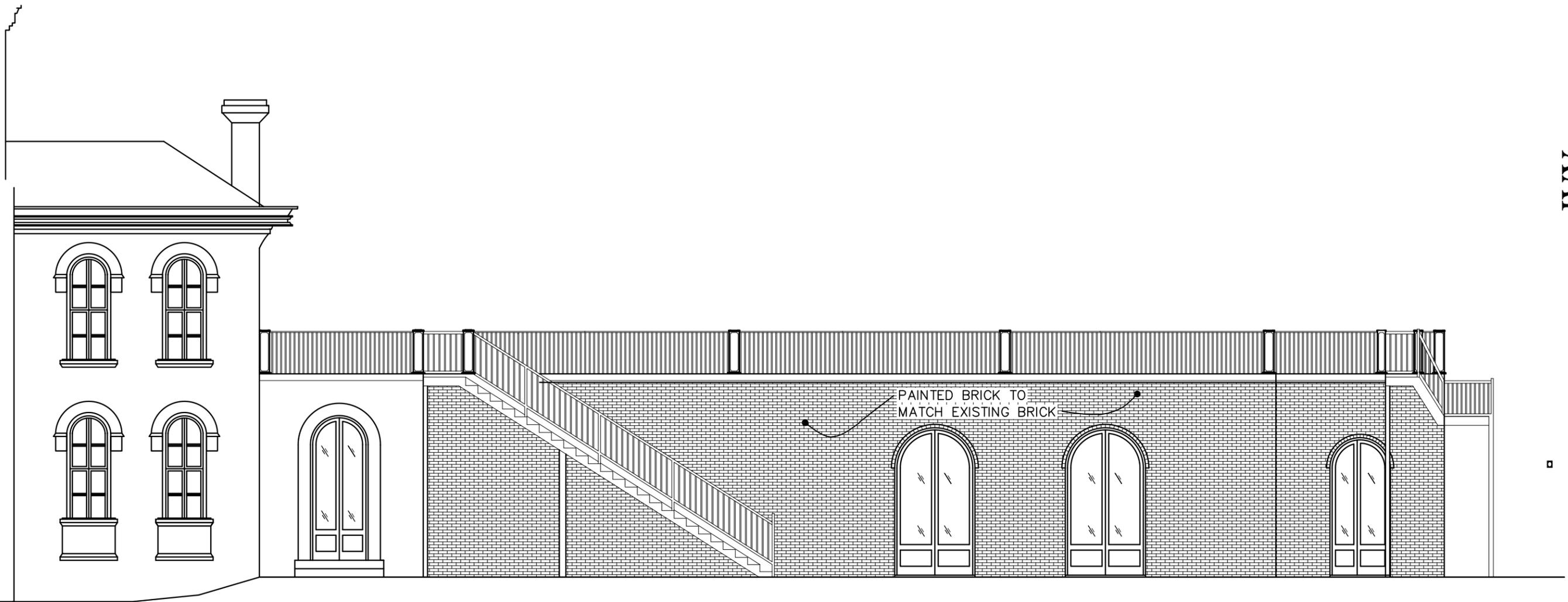
**NOTE:**  
 EXISTING GLASS ATRIUM  
 ROOF TO BE REMOVED.

**NOTE:**  
 PROPOSED ADDITION  
 WILL NOT BE SEEN FROM  
 FATHERLAND. STREET LEVEL  
 IS APPROX. 5'-10" BELOW  
 9'-8" TALL EXISTING BRICK  
 WALL.

DATE: 11-29-2017  
 DRAWN BY: JDR

**REVISIONS**

①	_____
②	_____
③	_____
④	_____
⑤	_____
⑥	_____
⑦	_____



PROPOSED REAR ELEVATION FROM 5TH STREET

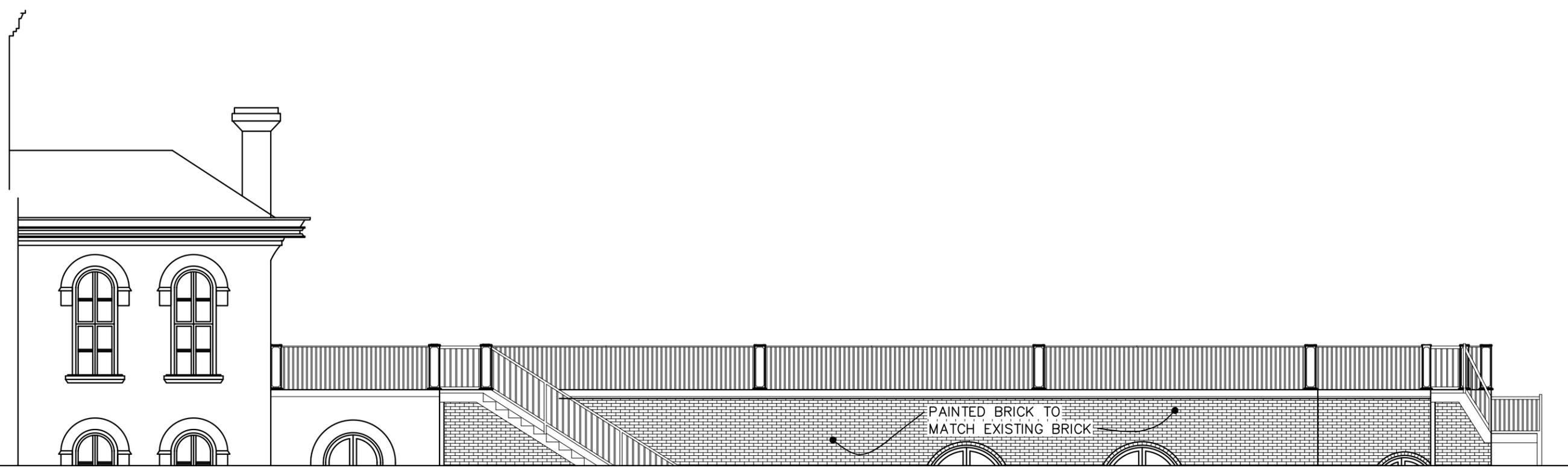
24x36=SCALE: 1/4"=1'-0"

11x17=SCALE: 1/8"=1'-0"

DATE: 11-29-2017  
DRAWN BY: JDR

REVISIONS

- ① \_\_\_\_\_
- ② \_\_\_\_\_
- ③ \_\_\_\_\_
- ④ \_\_\_\_\_
- ⑤ \_\_\_\_\_
- ⑥ \_\_\_\_\_
- ⑦ \_\_\_\_\_



EXISTING  
BRICK WALL

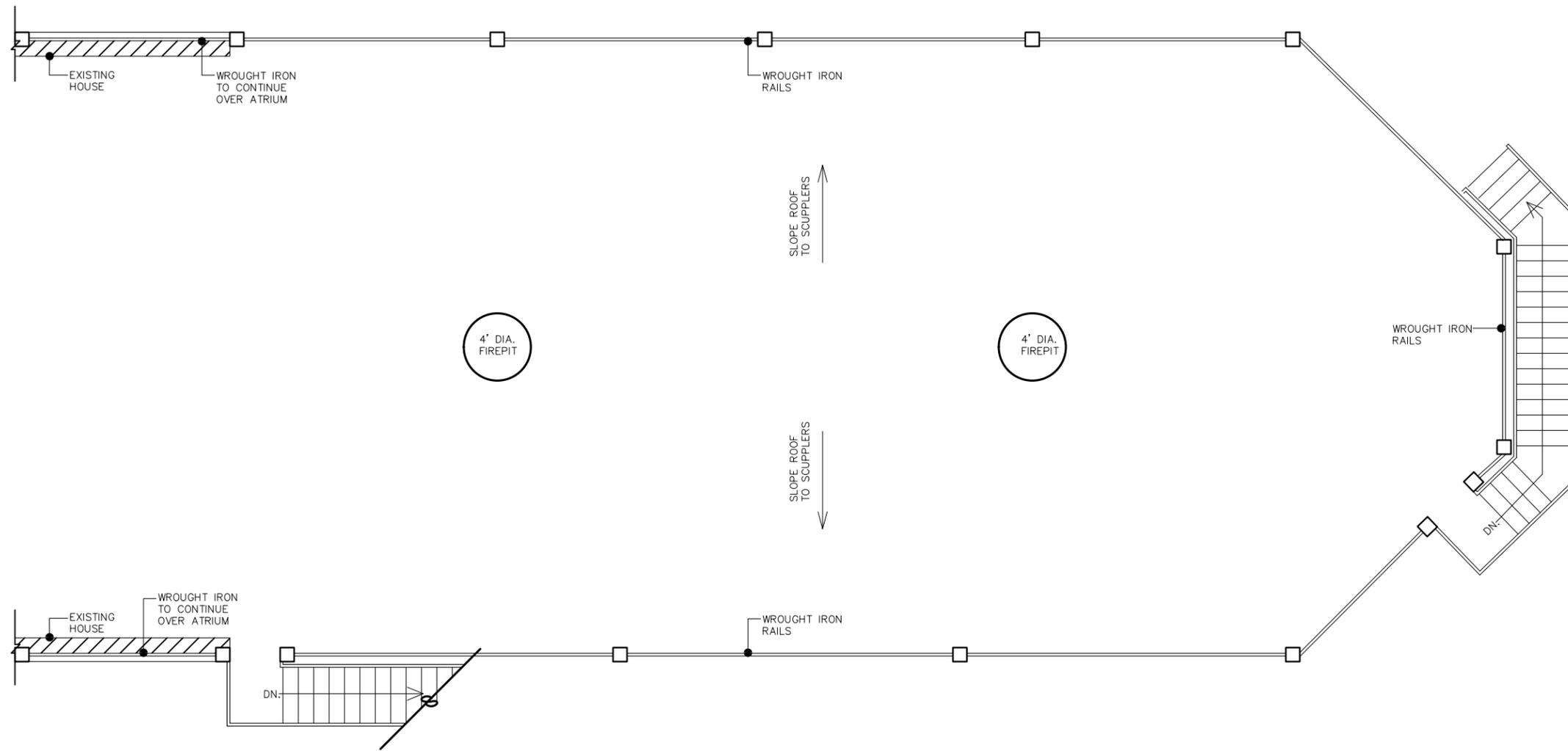
PROPOSED REAR ELEVATION FROM 5TH STREET  
W/BRICK WALL SHOWN

24x36=SCALE: 1/4"=1'-0"  
11x17=SCALE: 1/8"=1'-0"

DATE: 11-29-2017  
DRAWN BY: JDR

REVISIONS

- ① \_\_\_\_\_
- ② \_\_\_\_\_
- ③ \_\_\_\_\_
- ④ \_\_\_\_\_
- ⑤ \_\_\_\_\_
- ⑥ \_\_\_\_\_
- ⑦ \_\_\_\_\_



**ROOF PLAN**

24x36=SCALE: 1/4"=1'-0"

11x17=SCALE: 1/8"=1'-0"

**IVY  
MANSION**  
DAVIDSON COUNTY, TENNESSEE

DATE: 11-29-2017  
DRAWN BY: JDR

**REVISIONS**

- ① \_\_\_\_\_
- ② \_\_\_\_\_
- ③ \_\_\_\_\_
- ④ \_\_\_\_\_
- ⑤ \_\_\_\_\_
- ⑥ \_\_\_\_\_
- ⑦ \_\_\_\_\_