

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION
305 Broadway and 105 Third Avenue South
December 20, 2017

Application: New construction-addition; Alterations
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306402600
Applicant: Aaron Vermeulen, OX Studio Inc.
Project Lead: Paul Hoffman, paul.hoffman@nashville.gov

Description of Project: This application is to construct a rooftop addition across 305 Broadway and 105 3rd Avenue South and to make alterations to the non-historic storefront of 305 Broadway and the parapet wall of 105 3rd Avenue South.

Recommendation Summary: Staff recommends approval of this application with the conditions:

1. Staff provide final approval of materials including brick, windows, doors, roll-up doors, transoms, trim, columns, corner boards, mechanical screen and railings;
2. Staff approve paint color for masonry surfaces;
3. Wood and fiber-cement siding and panels are smooth-faced;
4. Signage and lighting not be included as a part of this decision;
5. New drawings reflecting all conditions be submitted prior to issuance of a permit.

With these conditions, Staff finds that the addition and proposed alterations will meet Section II and Section III.H of the Broadway Historic Preservation Zoning Overlay design guidelines.

Attachments:
A: Photographs
B: Site Plan
C: Floor Plans
D: Elevations

Applicable Design Guidelines:

II. Rehabilitation

A. Storefronts

1. Historic storefronts, their component elements, and other aspects of appearance including the original entrance configuration, plane, and recess should be retained.
2. Deteriorated or damaged storefronts or component elements should be repaired using historically appropriate materials.
3. If replacement storefronts or component elements are necessary, replacements should be compatible with the materials, composition, design, texture, and general appearance of the original. Replacements should use physical or photographic evidence to replicate the original appearance. If evidence is not available, the replacement storefront should use arrangement, features, materials, and proportions typically found on buildings of the same style and period of the building involved.

B. Doors and Entryways

1. Original doors, entryways, and related elements should be retained.
2. Deteriorated or damaged doors or entryways should be repaired using historically appropriate materials.
3. If replacement doors are necessary, replacements should replicate the originals. If original doors do not remain, replacement doors should be of wood and the proportion of glass to door should be comparable to the proportion of display windows to storefront.
4. If doors or entrances do not conform to building or accessibility codes, the originals should be retrofitted to conform. If this is not feasible, replacement doors should be compatible with the original storefront. Variances to building codes may also be sought when the building meets the intent of the code requirements.
5. If wood replacement doors are not feasible, or were not original to the building, dark or bronze anodized metal doors with a wide stile may be appropriate. Raw metal doors and doors without a glass pane are not appropriate. Glass used in replacement doors should be clear.
6. Generally, new entryways should not be introduced to public facades, unless needed for access to an upper floor or a secondary building use. If a new entrance is needed, it should be compatible with the style and period of the building.

C. Display Windows

1. Original display windows and their component elements should be retained.
2. Deteriorated or damaged display windows should be repaired using historically appropriate materials.
3. If replacement display windows are necessary, replacements should replicate the originals. If original display windows do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include individual or grouped single-light clear-glass panes and simple wood, copper, bronze anodized aluminum, or baked-enamel aluminum frames.
5. Glazing should be clear glass. Ornamental, frosted, spandrel, or stained glass display windows are not appropriate.
6. Display windows should remain visible and not be concealed or enclosed.
7. If privacy or shade other than that afforded by awnings is needed, interior shades or blinds are appropriate.

D. Windows

1. Historic window openings, windows, and window surrounds should be retained.
2. Deteriorated or damaged window openings, windows, and window surrounds should be repaired using historically appropriate materials. If replacement windows or window surrounds are necessary, replacements should replicate originals.

3. If original windows do not exist, replacements should be appropriate for the building's style and period.
4. If the original windows are missing, replacement windows should use wood, anodized aluminum, or baked-on-enamel aluminum frames and should have single-light or multiple-light clear-glass panes to match the style and period of the building. Steel windows should be replaced with steel or aluminum designs that replicate the appearance of the original window.
5. Window openings, surrounds, or other elements not original to a building should generally not be introduced to the public facades of the building. The installation of such window openings on the rear of the building may be appropriate.
6. Should storm windows be desired, their dimensions should match window dimensions in order to conceal their presence. Frames should be set within the window opening and attach to the exterior sash stop; if aluminum, they should have an anodized or baked-on enamel finish.
7. Self installed snap, clip or glue type muntins on windows are not permitted. Muntins set within the vacuum between glass panes on windows are not approved.
8. Window grilles and balcony rails are not appropriate window treatments. Shutters are only appropriate when they replace original wood shutters and should be operable.

J. Brick, Stone, and Other Masonry

1. Historic masonry (brick, stone, and terra cotta) should be retained.
2. The use of detergent cleaners and chemical stain and paint removers to clean masonry or remove paint is appropriate under most conditions. Abrasive or high-pressure cleaning methods are destructive and should not be used.
3. Silicone-based water sealants are not recommended for use on historic masonry.
4. Historic masonry should remain visible and not be concealed or obscured.
5. Deteriorated or damaged brick and stone should be repaired with materials that match the original.
6. Repointing with a hard (Portland cement) mortar is destructive to historic brick and masonry. Flexible mortar, made from mixing hydrated lime cement and natural sand, should be used when repointing is necessary.
7. Mortar used in repointing should match the historic mortar in width, depth, color, raking profile, composition, and texture.
8. Bricks should be the same color and size as those of the historic wall and should be laid, jointed, tooled, and mortared in the same way as the historic wall.
9. The guidelines for paint should be followed for work to brick, stone, and other masonry.

K. Decorative Elements

1. Original decorative elements such as cornices, brick corbelling, arches, brackets, and detailing should be retained without alteration.
2. Deteriorated, damaged, or missing decorative elements should be repaired using historically appropriate materials.
3. Owners should not add decorative elements to a building, unless there is physical or pictorial evidence.
4. Decorative or ornamental detailing should not be added to buildings unless there is physical or photographic evidence that shows the detailing was original to the building. New designs should be appropriate to the style and period of the building.

L. Roofs and Chimneys

1. Historic roofs, chimneys, and related elements should be retained.
2. Guidelines for brick and mortar should be followed for chimney maintenance.
3. Deteriorated or damaged roofs and chimneys should be repaired using historically appropriate materials and methods.
4. Guidelines for brick and mortar should be followed for chimney repair.
5. If replacement roofs or chimneys are necessary, replacements should be appropriate for the building's style and period.
6. Appropriate roof coverings include standing seam metal, composite asphalt, rolled roofing, and rubber membrane roofing. Most rooflines in the Broadway district are flat or sloped while a small

number retain original gable roof forms. These roof forms should not be altered unless based on historical documentation.

7. Rooftop locations concealed from pedestrian view are appropriate places for climate control and other mechanical systems. Mechanical systems should be located at the rear façade and screened.

M. Paint

1. Building owners are encouraged to remove paint from masonry. Gentle, non-abrasive chemical cleaning is an appropriate way to remove paint. The exceptions to this guideline are two brick buildings which were historically painted; Tootsies Orchid Lounge at 422 Broadway and Acme Feed at 101 Broadway.
2. Painting of stone and brick is generally not appropriate.
3. The painting or staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.
4. Historic painted signage on exterior brick walls should be maintained.
5. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time.

P. Mechanical Systems

1. Equipment such as condensers, air conditioners, meters, and conduits should not be visible from the street. Rear elevations and roof locations that are not visible from the public rights-of-way are appropriate locations for this equipment.
2. The installation of mechanical systems should not result in the removal or obstruction of historic building elements.
3. Landscape elements such as fencing or low masonry walls should be used to shield ground-level equipment from view and still allow service access.

T. Lighting

1. If lighting is installed, it should be concealed or simple and unobtrusive in design, materials, and relationship to other façade or elevation elements.
2. Light should be directed toward the façade instead of outward. Building facades may be illuminated through uplights mounted above the storefront cornice.
3. Dark metals are appropriate materials for light fixtures.
4. Concealed, indirect, or spot lighting is appropriate for exterior signage. Visible fluorescent or incandescent bulbs are not appropriate.

III. New Construction

A. Height

1. Infill buildings which directly front on Broadway shall not exceed a height greater than 65 feet or 5 stories. Infill buildings which directly front on Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building.
2. Infill buildings which are constructed on corner lots facing Broadway may rise an additional 15 feet (80 feet total or 6 stories), at a distance of 30 feet from the main façade of the building and 20 feet from the secondary street.
3. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 150 feet from the right-of-way of Broadway shall not exceed a height greater than 80 feet total or 6 stories.
4. Infill buildings which directly front on First, Second, Third, Fourth and Fifth Avenues and are a minimum of 200 feet from the right-of-way of Broadway shall not exceed a height greater than 90 feet or 7 stories.
5. Infill buildings shall be a minimum of 40 feet or 3 stories in height.
6. Infill buildings which are constructed within 150 feet of a registered National Historic Landmark shall be subordinate in height to the National Historic Landmark property.

B. Scale

1. The size of a new building, its mass in relation to open spaces, and its windows, doors, openings, and appurtenances should be visually compatible with the surrounding buildings.
2. In the event that multiple lots or parcels are assembled within the historic district, buildings shall be designed to be compatible with the adjacent structures. Existing traditional and historic buildings are 20 to 50 feet wide and 100 to 150 feet deep. New structures should employ design techniques to break the facades along the right-of-way into multiple vertical elevations as previously described.
3. All new buildings should have a base, middle, and cap. Traditionally, buildings were composed of these three basic elements. Adhering to this form will help reinforce the visual continuity of the area.
4. The first floor height shall be a minimum of 16 feet from finished floor to finished floor. Upper floor heights should appear to be similar to historic structures in the district.

C. Setback and Rhythm of Spacing

1. The setback from the street and side property lines established by adjacent or contiguous buildings shall be maintained. When a definite rhythm along a street is established by uniform lot, building width, or bay patterns within a building façade, infill buildings should maintain the rhythm.
2. New buildings should be constructed in line with adjacent historic structures. Corner buildings should avoid setbacks or open corner plazas that disrupt the continuity of the street wall.
3. New buildings shall front 100% of the primary street and, where applicable, a minimum of 85% of the secondary street.
4. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
5. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

D. Roof Shape

1. The roofs of new buildings shall be visually compatible with the roof shape and orientation of surrounding buildings.
2. The roof forms of buildings within the district are typically flat or have a gentle slope behind a parapet wall.

E. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors and the rhythm of solids to voids in new buildings shall be visually compatible with the surrounding buildings.
2. The design of the street level of new buildings is crucial in establishing the commercial vitality. At least 60% of the street level façade of a new building shall be transparent (i.e., doors and windows) to provide visual interest and access for the pedestrian. This guideline is most important on Broadway where most of the buildings have commercial ground floor storefronts.
3. Define a clear primary entry. Doorways on primary facades shall appear similar to those used historically. The primary entrance should be defined with a canopy or other architectural feature.
4. Upper floor windows should be at least twice as tall as they are wide.
5. Door and window openings should be recessed on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
6. On corner buildings, glazing shall turn the corner facing the secondary street a minimum of one structural bay or 16 feet, whichever is the greater.

F. Guidelines: Relationship of Materials, Texture, Details, and Material Color

The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.

Masonry materials were primarily used in the historic district, and should continue to be predominant.

Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*. Exterior Insulation Finish Systems and vinyl are not appropriate exterior materials.

3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

G. Guidelines: Orientation

1. The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible.
2. Primary building entrances shall be oriented to the primary street.
3. Entrances to buildings should be recessed.

H. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

V. Demolition

1. Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
2. Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
3. Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
4. Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.120.190, as amended, of the historic zoning ordinance.

Background: This project includes 305 Broadway and 105 3rd Avenue South. 305 Broadway is a three-story brick commercial building built circa 1880. It is a contributing building in the Broadway Historic Preservation Zoning Overlay. The storefront has been altered and is not original to the building.



Figure 1. 301 and 305-307 Broadway

Analysis and Findings: This application is to construct a rooftop addition across 305 Broadway and 105 3rd Avenue South and to make alterations to the non-historic storefront of 305 Broadway and the parapet wall of 105 3rd Avenue South.

Partial Demolition: The side walls of 305 Broadway and 105 Third Avenue South are proposed to have new door and transom openings added. The side walls were originally interior walls, as the bank building at 301 Broadway was built later than the neighboring buildings (see Figure 3). For this reason, these secondary walls are not character-defining features of the two historic buildings. The partial demolition of these walls meets Section V for Demolition.



Figure 2. Proposed new door and transom openings in side walls of 305 Broadway and 105 3rd Avenue South

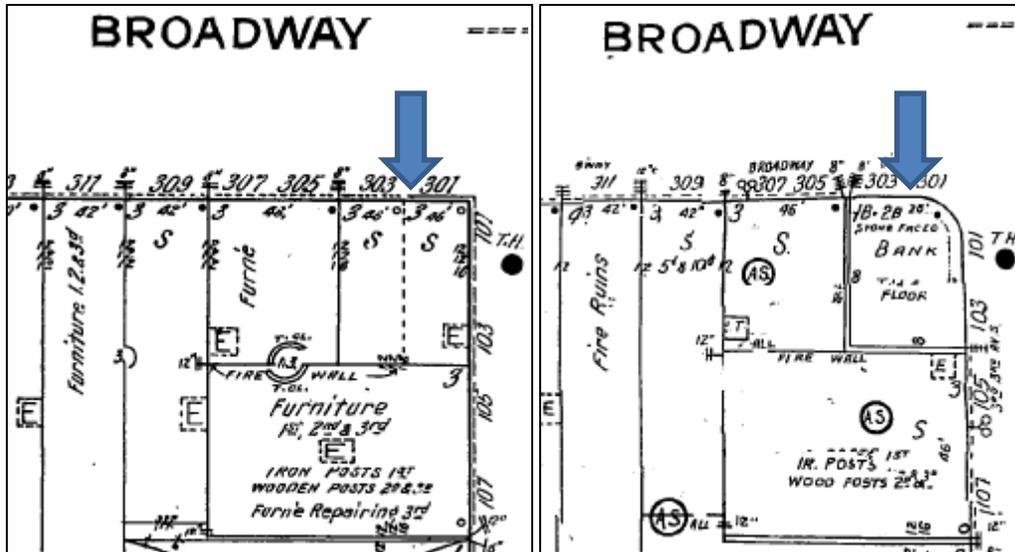


Figure 3. Sanborn map from 1914 and 1951, showing before and after construction of the bank building at 301 Broadway

Storefront, Windows, Doors, Entryway: The existing ground floor configuration is a recessed, horseshoe-shaped storefront. The proposed changes to the existing building are a reconfiguration of the existing entryway, which includes:

- New wood full-light doors on the left side
- New stairwell inside the existing recessed area
- Operable storefront windows on the left and right side
- The horseshoe-shaped recess will be altered to more of a rectangular recess. The dimensions of the area are not proposed to change.

The existing metal doors are planned to be retained. The canopy and signage are not proposed to change.





Figure 4. Proposed changes to the storefront include new doors, windows, and a stairwell inside the vestibule. Signage shown is representative only and is not proposed to be changed.

The building's windows, doors, and storefront are not original. The proposed alterations will not affect original materials or conditions. A recessed storefront is not appropriate as it does not meet the historic context, but the alterations are using existing conditions and will bring it more into compliance by making the recess parallel to the street and changing round posts to square columns.



Figure 5. 305-307 Broadway circa 1980 with storefront replaced at an unknown date

Materials:

Storefront:

	Proposed	Color/Texture/ Make/Manufac turer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Front replacement windows	Wood	Folding windows	Yes	Yes
Interior-side replacement doors	Wood full light			Yes
Trim	Wood			Yes
Columns	Wood			Yes

Staff recommends having final review of the windows, doors, and proposed trim and column materials prior to purchase and installation. With this condition, staff finds that the changes to the storefront meet Sections II.A, II.B. and II.C and D of the design guidelines for storefronts, windows, display windows, and doors.

Rooftop Addition: The new construction encompasses an addition to two separate addresses, 305 Broadway and 105 Third Avenue South, with rooftop access at 301 Broadway.

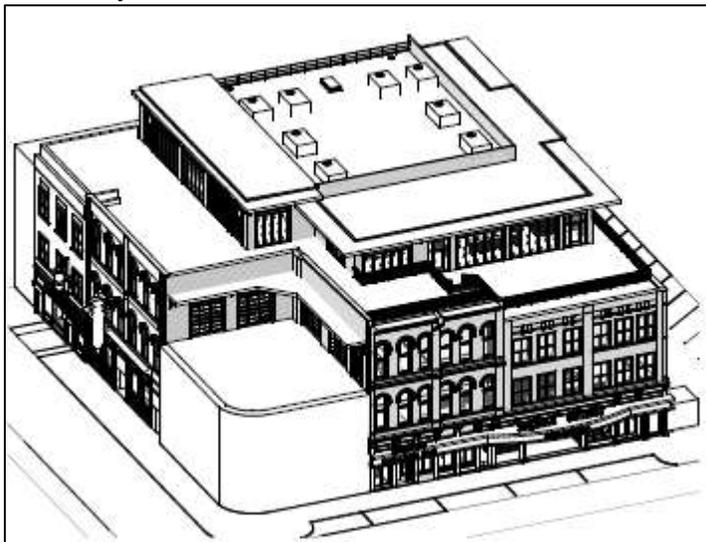


Figure 6. Rendering of proposed rooftop addition

Setbacks: The design guidelines require an addition to set back no less than thirty feet (30') from a primary façade. The primary massing of the proposed addition is set back from the Broadway façade by thirty-six feet (36') and the edge of the canopy reaches to thirty feet (30'). On the Third Avenue side, the wall of the addition is at thirty feet (30') from the building edge. The addition's canopy extends into the step-back area by two feet (2'). On another project recently approved in this district, the Commission allowed a canopy to protrude into the step-back area by two feet (2') so staff found the same encroachment to be appropriate in this case. The addition meets the setback requirements of Section III.H.

Height: The height of the main portion of the addition is one story and fifteen feet (15') above the existing roof, which is appropriate per the design guidelines. The three historic buildings are at different heights, so the addition steps up four feet (4'), as seen from Broadway, but remains fifteen feet (15') above the roof of 105 3rd Avenue South. A mechanical screen adds another four feet, six inches (4' 6") in height. As the mechanical screen is set back from the edge of the addition by approximately thirty-five feet (35'), staff finds this additional height appropriate. The addition's height will meet Section III.H.

Where there is an existing parapet, the parapet can serve as a railing. Otherwise the railing is required to be eight feet (8') away from the building edge, which is indicated on the main levels of the rooftop areas. The roof level on 301 Broadway is proposed to be lowered, in which case the parapet will be forty-two inches (42") tall, not requiring a railing.

The applicant plans on raising the rooftop of 105 Third Avenue South so that the rooftop deck on this building can be at the same level as the portion over 305 Broadway. This will be accomplished by raising the front wall and adding a parapet. Although 105 Third Avenue South is a contributing building it has been greatly altered over time. In this case, adding a small portion of wall to the top retains the original proportions of the building and does not alter the look of the building any more than earlier changes already have. Staff recommends final review of masonry and paint color if paint is found to be necessary. The building has been painted historically, so repainting meets the design guidelines. New paint should be a historic red brick color.



Figure 7. The roof height is proposed to be elevated on this portion of 105 3rd Ave S as shown

The step-back area on all portions of the project should not be used to support any extra elements, such as lighting, signage, or speakers.

Materials:

Addition:

	Proposed	Color/Texture/Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Cladding for Addition	Fiber cement siding	Hardi (smooth)	Yes	Yes
Trim	Not indicated			Yes
Corner boards	Not indicated			Yes
Roll up doors	Aluminum sectional glass		Yes	Yes
Canopy	Steel			No
Pilasters	Brick			Yes
Mechanical Screen	Not indicated			Yes
Railings	Not indicated			Yes

Staff recommends a condition of approval that the fiber-cement siding and panels and the soffit and other wood finish materials are a smooth-sided, mill-finished painted material. Rustic timbers and textured wood are not appropriate as it is not found historically in the district. Roll-up doors are not generally appropriate on existing historic buildings. As

this is new construction and the addition is set back as required, staff finds that the doors will be appropriate in this case.

Staff recommends final review of all windows, doors and roll-up doors proposed, as well as any other materials that were not specified: brick, trim, corner boards, mechanical screen and railings. With staff's approval of these materials, the project will meet Section III.H of the design guidelines for additions.

Signage & Lighting: The application does not include the design, size or materials for proposed signage. Signage and lighting are not a part of this application and should be applied for separately.

Recommendation Summary:

Staff recommends approval of this application with the conditions:

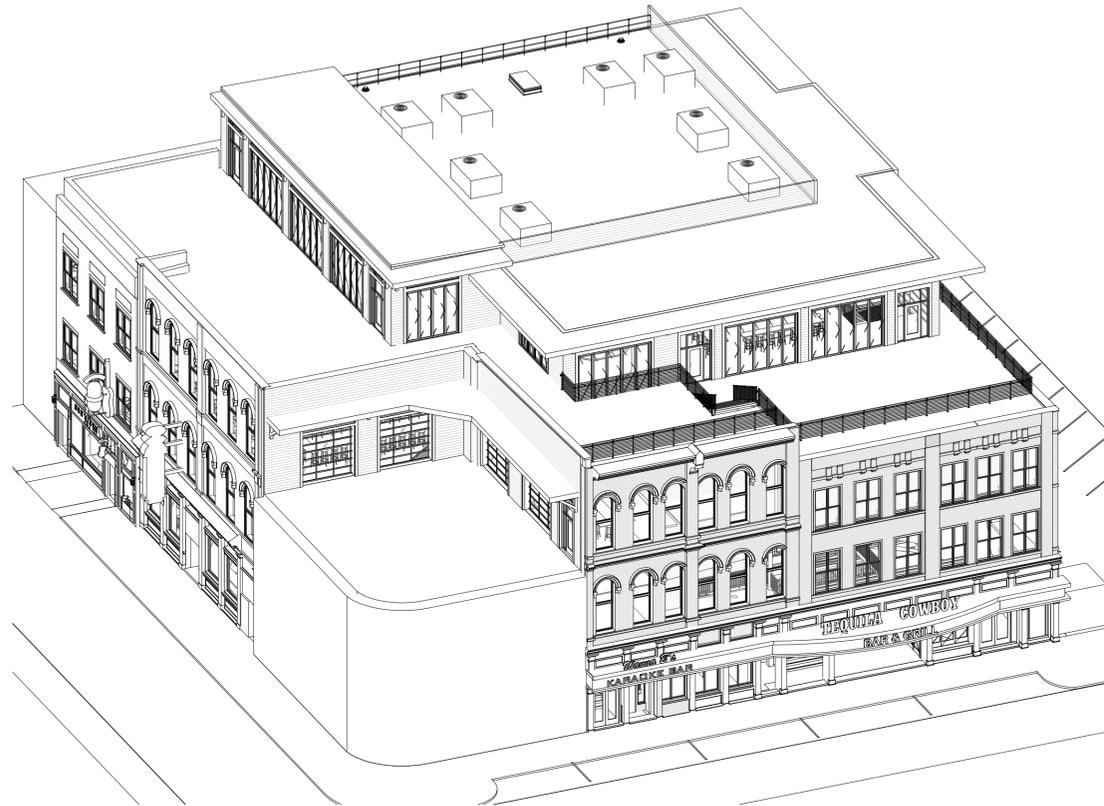
1. Staff provide final approval of materials including brick, windows, doors, roll-up doors, transoms, trim, columns, corner boards, mechanical screen and railings;
2. Staff approve paint color for masonry surfaces;
3. Wood and fiber-cement siding and panels are smooth-faced;
4. Signage and lighting not be included as a part of this decision;
5. New drawings reflecting all conditions be submitted prior to issuance of a permit.

With these conditions, Staff finds that the addition and proposed alterations will meet sections II.A, II.B, II.C, II.M, and III.H of the Broadway Historic Preservation Zoning Overlay design guidelines.

Tequila Cowboy Roof Addition

Released For: MHZC Submittal

Release Date: 12/13/2017
 O|X Project Number: TCR17



Drawing List

Sheet Number	Sheet Name	Revision Description	Revision Date
General			
G-100	Title Sheet	MHZC Submittal	12/13/2017
Civil			
C-100	Site Survey	MHZC Submittal	12/13/2017
Demolition			
AD-100	Level 0 Demolition Plan	MHZC Submittal	12/13/2017
AD-101	Level 1 Demolition Plan	MHZC Submittal	12/13/2017
AD-102	Level 2 Demolition Plan	MHZC Submittal	12/13/2017
AD-103	Level 2.5 Mezzanine Demolition Plan	MHZC Submittal	12/13/2017
AD-104	Roof Demolition Plan	MHZC Submittal	12/13/2017
Architectural			
A-001	Site Plan	MHZC Submittal	12/13/2017
A-100	Level 0 Overall Floor Plan	MHZC Submittal	12/13/2017
A-101	Level 1 Overall Floor Plan	MHZC Submittal	12/13/2017
A-102	Level 2 Overall Floor Plan	MHZC Submittal	12/13/2017
A-103	Level 2.5 Mezzanine Floor Plan	MHZC Submittal	12/13/2017
A-104	Level 3 - New Roof Deck	MHZC Submittal	12/13/2017
A-105	Overall Roof Plan	MHZC Submittal	12/13/2017
A-300	North Elevation	MHZC Submittal	12/13/2017
A-301	East Elevation	MHZC Submittal	12/13/2017
A-302	South Elevation	MHZC Submittal	12/13/2017
A-303	West Elevation	MHZC Submittal	12/13/2017
A-304	Level 3 - Elevations	MHZC Submittal	12/13/2017
Concept Visualization			
SK-100	Existing Imagery	MHZC Submittal	12/13/2017
SK-101	Rendered Perspectives	MHZC Submittal	12/13/2017
SK-102	Rendered Perspectives	MHZC Submittal	12/13/2017
SK-103	Contextual Renderings	MHZC Submittal	12/13/2017
SK-104	Contextual Renderings	MHZC Submittal	12/13/2017
SK-105	Contextual Renderings	MHZC Submittal	12/13/2017
SK-106	Historic Imagery	MHZC Submittal	12/13/2017



Job Title:
Tequila Cowboy Roof Addition

305 Broadway
 Nashville, TN 37201

Sheet Title:
Title Sheet

Released For: MHZC Submittal

12/13/2017
 TCR17
G-100

NOT FOR CONSTRUCTION

Project Information

Address: 305 Broadway + 105 Third Ave South Nashville, TN 37201
 Project Square Footage: 8,000 +/- Addition 15,203 s.f.
 Renovation
 Building Square Footage: 51,958 s.f.
 Historic District: OV-HPR
 Fire District: Yes
 Adult Entertainment District: Yes
 Property Use: Commercial / Restaurant

Zoning Compliance Parcel Details

Parcel Number: 09306402600
 Parcel Address: 305 Broadway Nashville, TN 37201
 Owner: TAC 305 Lower Broadway, LLC
 Acreage: 0.2
 Frontage Dimensions: 86 ft
 Side Dimensions: 107 ft
 Land Use Description: Restaurant / Cafeteria
 Capital Mall Re-Development
 District
 Zone Code: DTC - Downtown

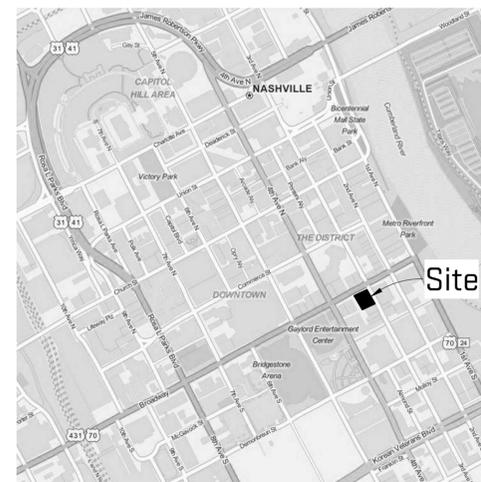
Project Team

Owner: TAC 305 Lower Broadway, LLC
 2100 Powers Ferry Rd. Ste 350, Atlanta, GA 30339
Tenant: TC Restaurant Group
 Adam Hesler
 676 Bellefontaine Ave. Marion, OH 43302
Architect: O|X Studio, Inc.: Aaron Vermeulen
 302 S. State St., Suite B, Ann Arbor, MI 48104
 (734) 929-9000
Structural: Cartwright Eng.: David Cartwright
 2501 Sherman Court Nashville, TN 37214
 615-934-2256
MEP Engineer: Quest Engineering, LLC
 Nicholas A. Perry, P.E.
 500 Wilson Pike Circle Suite 216 Brentwood, TN 37027

Metropolitan Historic Zoning Commission

III. New Construction H: Guidelines: Additions to Existing Bldgs
 1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
 2. Rooftop additions should not exceed one story [or 15'] in height and should be set back a minimum of 30 feet from the main facade of the building and 20 feet from the secondary street if it is a corner building.
Rooftop railings and decking should sit back from each street facing wall by a minimum of 8'. Railings should not be used to support additional elements such as speakers, lighting, plants or signage. In locations where railings are visible from the street, the materials should minimize the impact of the railing. Materials such as butt-joint glass or horizontal steel cable, may be appropriate.
 3. Additions should not obscure or contribute to the loss of historic character defining features or materials.
Staff approval of:
 1. the new paint color, windows, doors, parapet tiles, trim, cornerboards, canopy and awnings, and mechanical screening;
 2-Fiber-cement panels are smooth-faced;
 3-Side wall stepped parapet with parapet tiles exposed
 4-Signage and lighting will be reviewed in a separate application

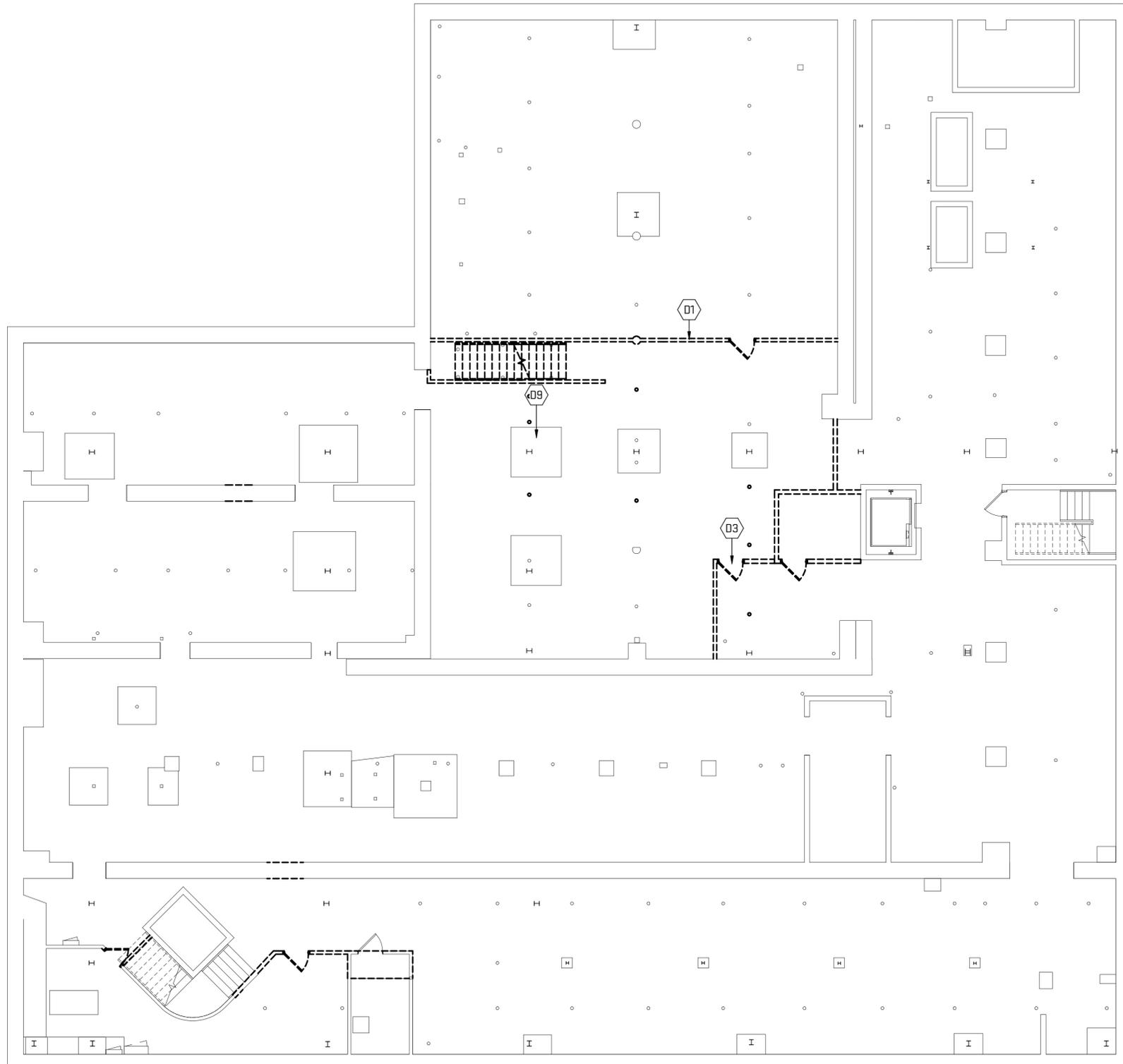
Vicinity Site Map



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Scales listed are for 22x34 drawing size

Plot Date/Time: 12/13/2017 11:26:17 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



1 Level 0 Demolition Plan
 AD-100
 1/8" = 1'-0"
 4' 8' 16'

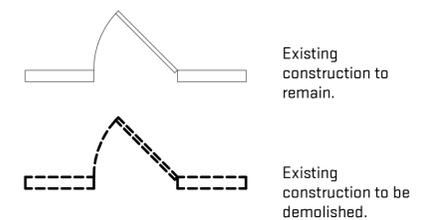
General Sheet Notes:

- A. **Codes and Regulations:** Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Comply with applicable requirements of NFPA 241 (Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2009)
- B. **Structural Demolition, General:** It is the contractor's responsibility to provide adequate shoring and bracing during construction to account for all forces, including but not limited to; forces from gravity, earth, wind, and unbalanced forces due to construction sequence.
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- G. **Coordination, Cutting and Patching:** See Coordination, Cutting and Patching notes for additional requirements.
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- I. **Utility shut-downs:** Coordinate any required shut-downs prior to beginning construction operations. Provide Owner a minimum of 2-week notice prior to performing actual shut-down work.

Sheet Keynotes

- D01 Demolish existing interior partition.
- D03 Demolish existing door, frame, casing and hardware.
- D09 Demolish existing stair, stringers and railings.

Demolition Floor Plan Legend



Scales listed are for 22x34 drawing size



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Job Title:
Tequila Cowboy Roof Addition

305 Broadway
 Nashville, TN 37201

Sheet Title:
Level 0 Demolition Plan

Released For: MHZC Submittal

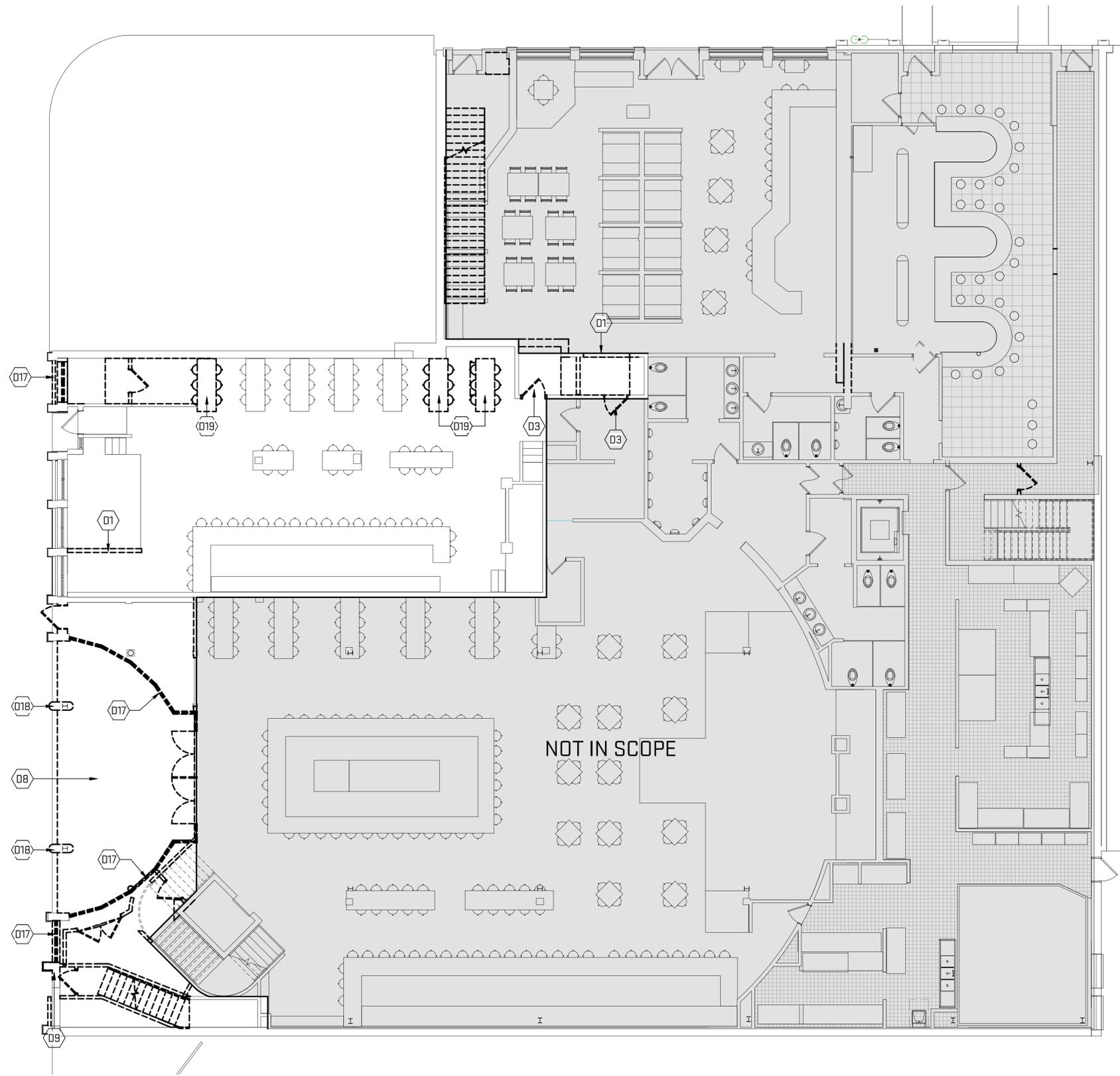
12/13/2017

TCR17

AD-100

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:20 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



1 Level 1 Demolition Plan
 AD-101
 4' 8' 16' 1/8" = 1'-0"

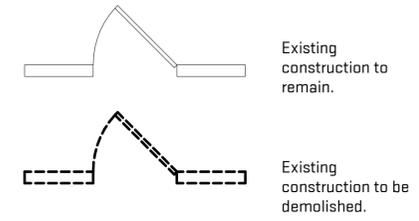
General Sheet Notes:

- A. **Codes and Regulations:** Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Comply with applicable requirements of NFPA 241 (Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2009)
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- I. **Utility shut-downs:** Coordinate any required shut-downs prior to beginning construction operations. Provide Owner a minimum of 2-week notice prior to performing actual shut-down work.

Sheet Keynotes

- D01 Demolish existing interior partition.
- D03 Demolish existing door, frame, casing and hardware.
- D08 Demolish existing flooring.
- D09 Demolish existing stair, stringers and railings.
- D017 Remove existing storefront.
- D018 Remove existing alum column enclosure.
- D019 Remove existing furniture

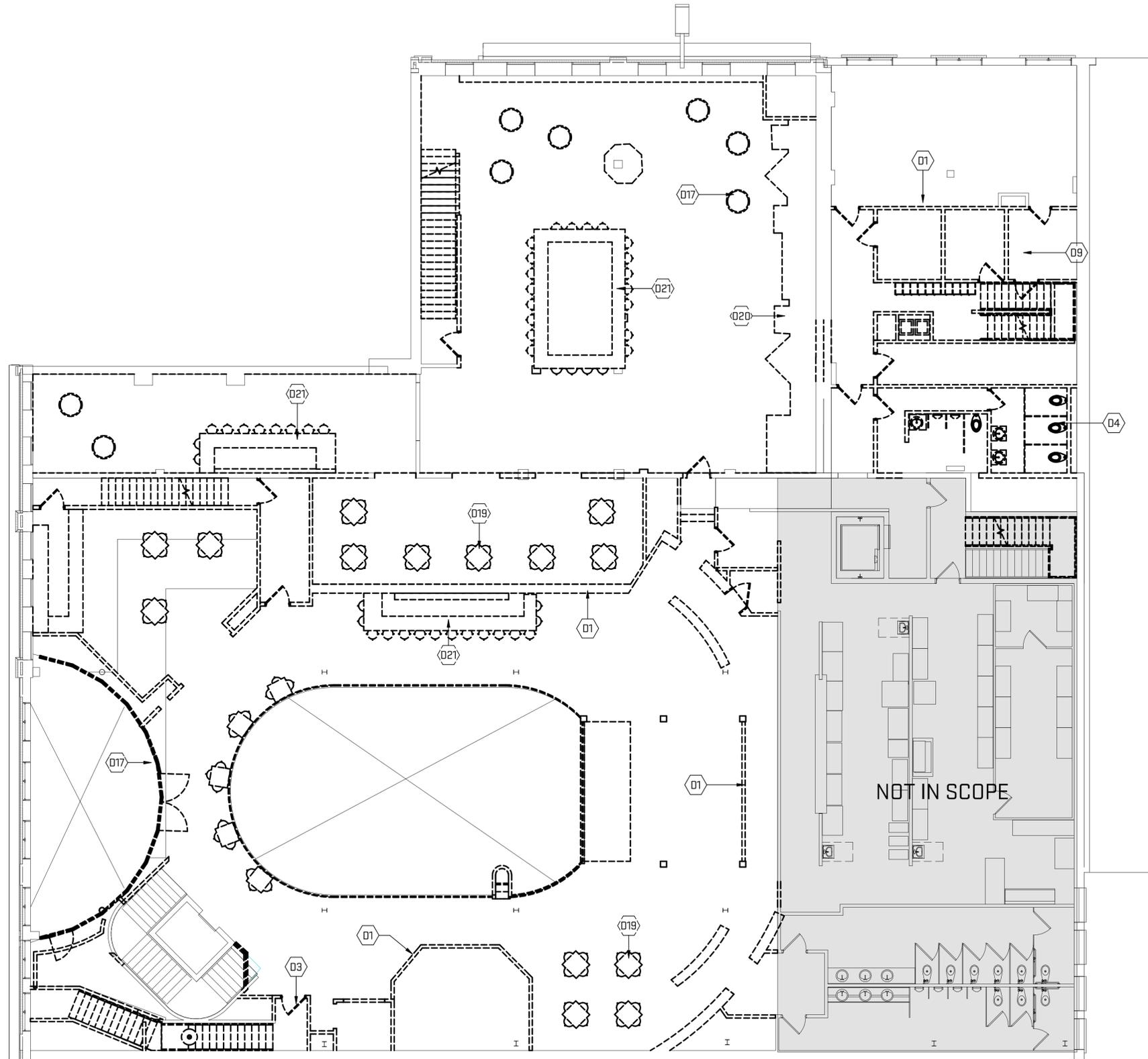
Demolition Floor Plan Legend



Scales listed are for 22x34 drawing size

Plot Date/Time: 12/13/2017 11:26:23 AM File Path: C:\Revit Local Files\TCR17_jons.rvt

1 Demo - Level 2
 AD-102
 4' 8' 16'
 1/8" = 1'-0"



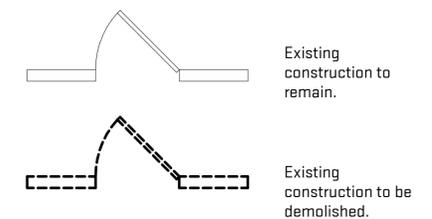
General Sheet Notes:

- A. **Codes and Regulations:** Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Comply with applicable requirements of NFPA 241 (Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2009)
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- I. **Utility shut-downs:** Coordinate any required shut-downs prior to beginning construction operations. Provide Owner a minimum of 2-week notice prior to performing actual shut-down work.

Sheet Keynotes

- D01 Demolish existing interior partition.
- D03 Demolish existing door, frame, casing and hardware.
- D04 Demolish existing plumbing fixture and terminate at source.
- D09 Demolish existing stair, stringers and railings.
- D017 Remove existing storefront.
- D019 Remove existing furniture
- D020 Remove existing stage and equipment.
- D021 Remove existing bar and equipment and seating.

Demolition Floor Plan Legend



Scales listed are for 22x34 drawing size



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Job Title:
Tequila Cowboy Roof Addition

305 Broadway
 Nashville, TN 37201

Sheet Title:
Level 2 Demolition Plan

Released For: MHZC Submittal

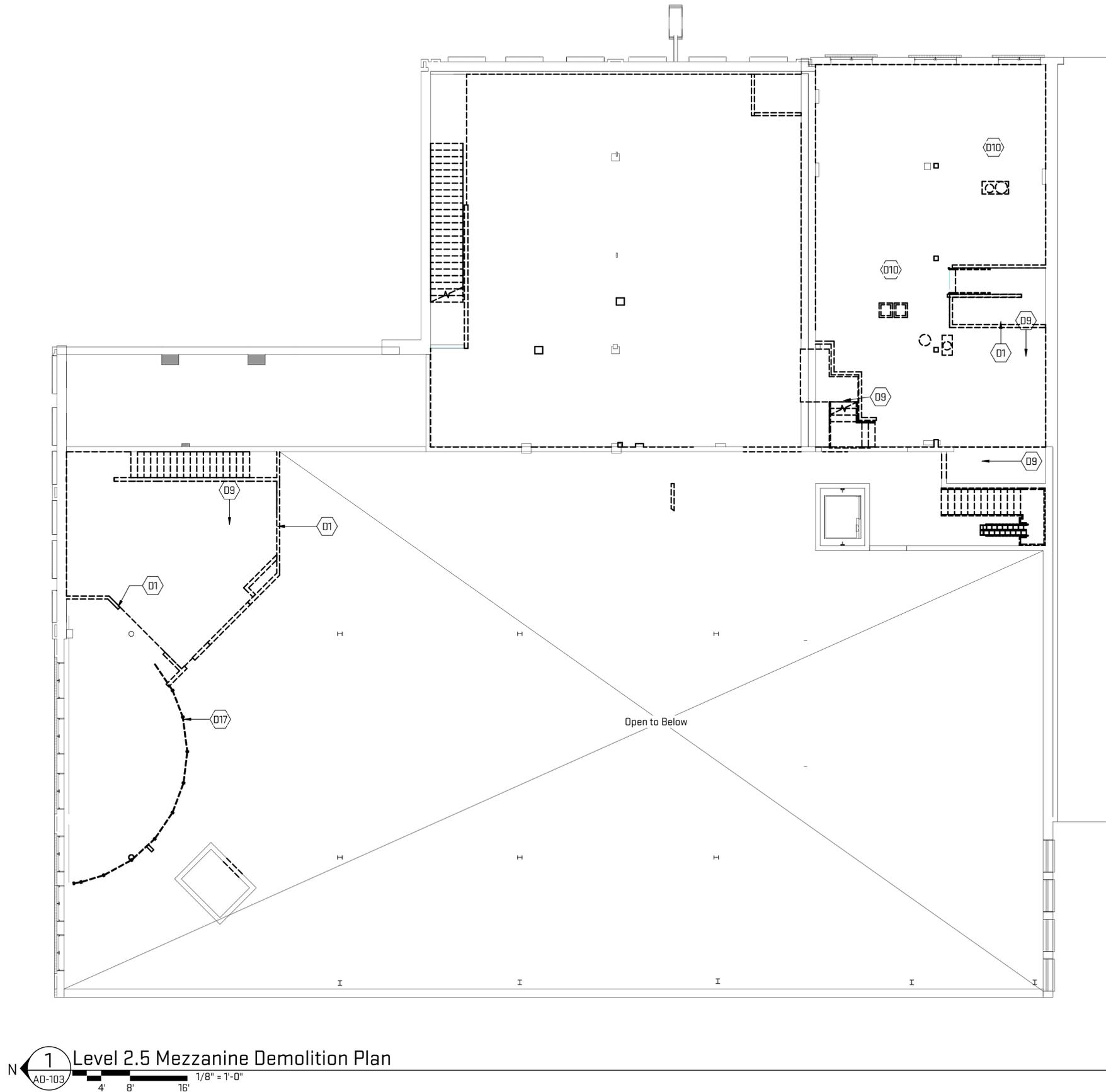
12/13/2017

TCR17

AD-102

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:24 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



1 Level 2.5 Mezzanine Demolition Plan
 AD-103
 4' 8' 16'
 1/8" = 1'-0"

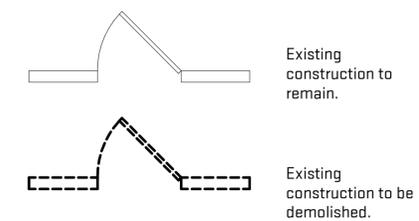
General Sheet Notes:

- A. **Codes and Regulations:** Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Comply with applicable requirements of NFPA 241 (Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2009)
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Sheet Keynotes

- D01 Demolish existing interior partition.
- D09 Demolish existing stair, stringers and railings.
- D17 Remove existing storefront.

Demolition Floor Plan Legend



Scales listed are for 22x34 drawing size



Job Title:
Tequila Cowboy Roof Addition
 305 Broadway
 Nashville, TN 37201

Sheet Title:
Level 2.5 Mezzanine Demolition Plan
 Released For: MHZC Submittal

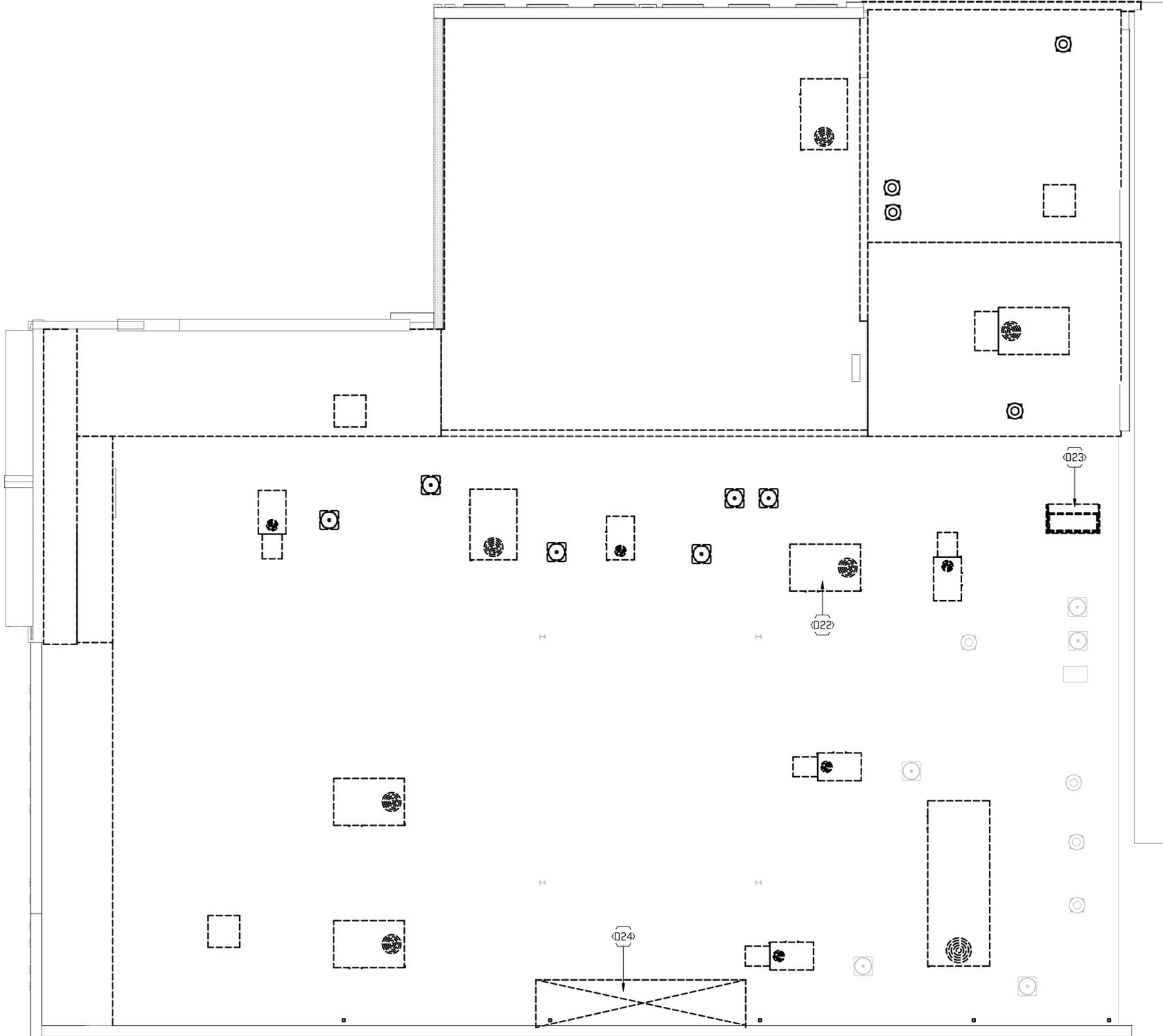
12/13/2017
 TCR17
AD-103

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:24 AM File Path: C:\Revit Local Files\TCR17_jons.rvt

1 Demolition Roof Plan
AD-104

4' 8' 16' 1/8" = 1'-0"



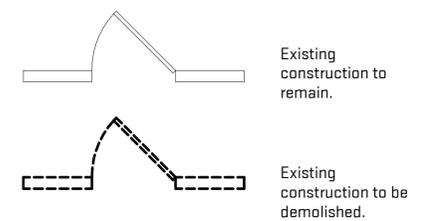
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Sheet Keynotes

- D22 Remove all mechanical equipment.
- D23 Remove existing roof hatch and equipment.
- D24 Remove portion of existing roof for new egress stairs.

Demolition Floor Plan Legend



Scales listed are for 22x34 drawing size



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Job Title:
Tequila Cowboy Roof Addition

305 Broadway
Nashville, TN 37201

Sheet Title:
Roof Demolition Plan

Released For: MHZC Submittal

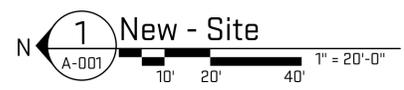
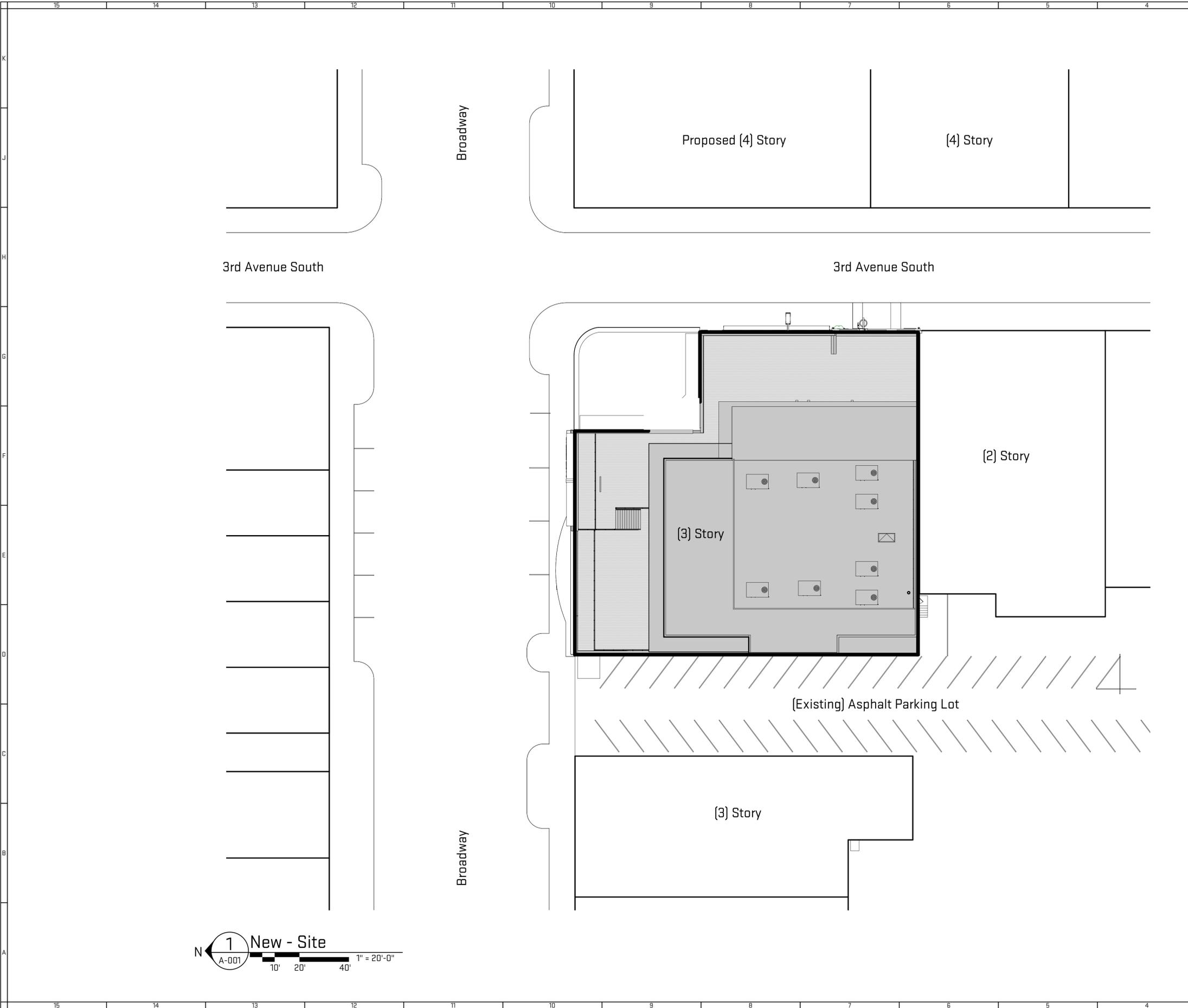
12/13/2017

TCR17

AD-104

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:25:55 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



General Sheet Notes:
Refer to civil drawings for complete site information, including utility connections and scope of new paving.

Sheet Keynotes



Job Title:
Tequila Cowboy Roof Addition
305 Broadway
Nashville, TN 37201

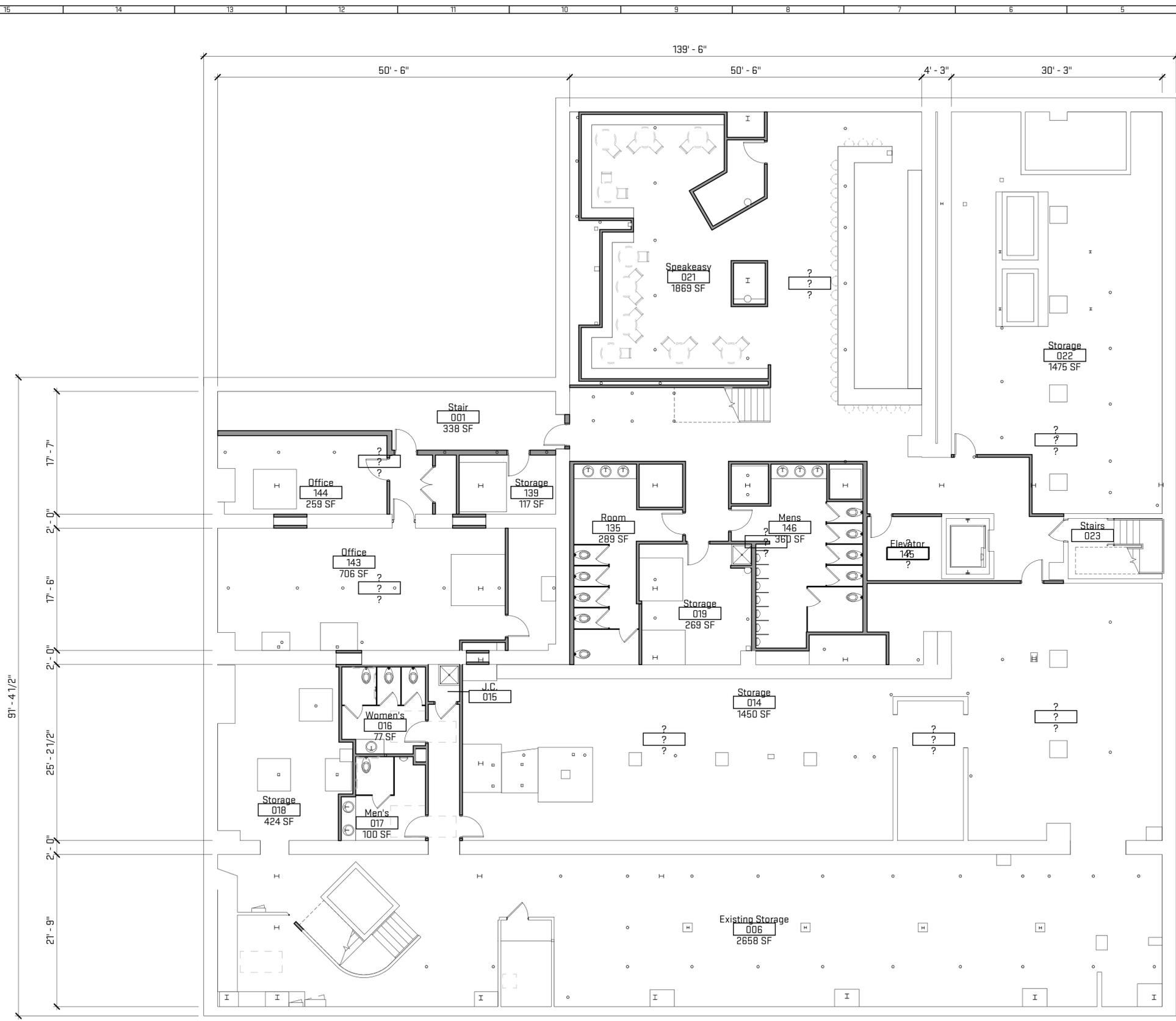
Sheet Title:
Site Plan
Released For: MHZC Submittal

12/13/2017
TCR17
A-001

Scales listed are for 22x34 drawing size

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:25:56 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



General Sheet Notes:

- A. All interior combustible decorative finishes including pallet wood interior wall cladding to be flame resistant or shall be treated and maintained flame resistant standards. Pallet wood to be treated with firetect safe-t-guard icbo#3656. shall comply w/ IFC 703. All 2x wood blocking to be fire retardant treated wood. All plywood / wood backing to be fire retardant treated wood.
- B. All Furniture-by owner (5% (not less than 1) of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

Sheet Keynotes

Architectural Floor Plan Legend

- No work this area. Not in Scope
- Scope of work boundary.
- New construction. (UL, U301)
- Existing Construction to Remain
- Furniture system per tenant

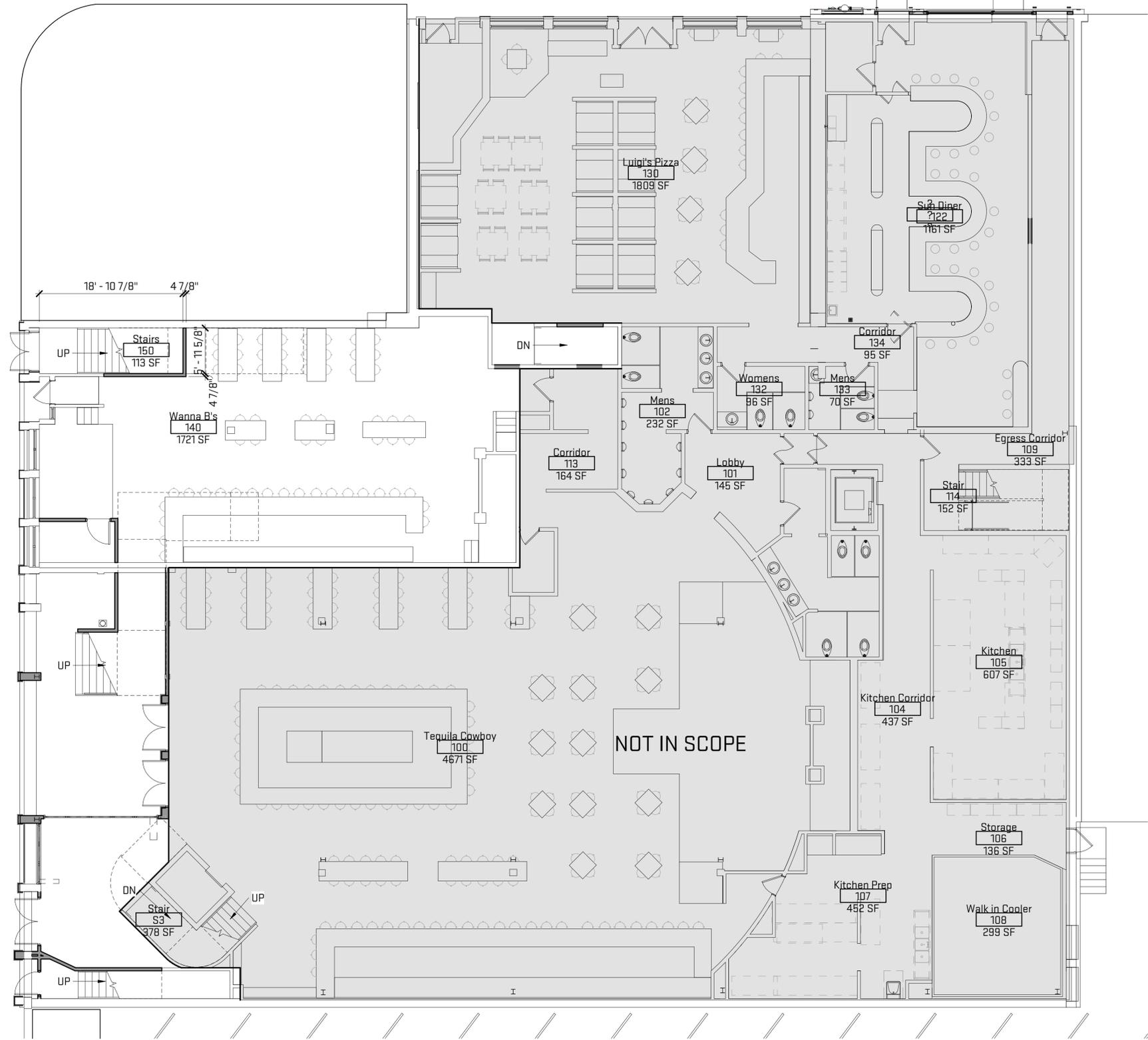
1 New- Level 0 Overall Floor Plan
A-100
1/8" = 1'-0"
4' 8' 16'

Scales listed are for 22x34 drawing size

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:59 AM File Path: C:\Revit Local Files\TCR17_jons.rvt

1 New Level 1 Overall Floor Plan
 A-101 1/8" = 1'-0"



General Sheet Notes:

- A. All interior combustible decorative finishes including pallet wood interior wall cladding to be flame resistant or shall be treated and maintained flame resistant standards. Pallet wood to be treated with firetect safe-t-guard icbo#3656. shall comply w/ IFC 703. All 2x wood blocking to be fire retardant treated wood. All plywood / wood backing to be fire retardant treated wood.
- B. All Furniture-by owner (5% [not less than 1] of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

Sheet Keynotes

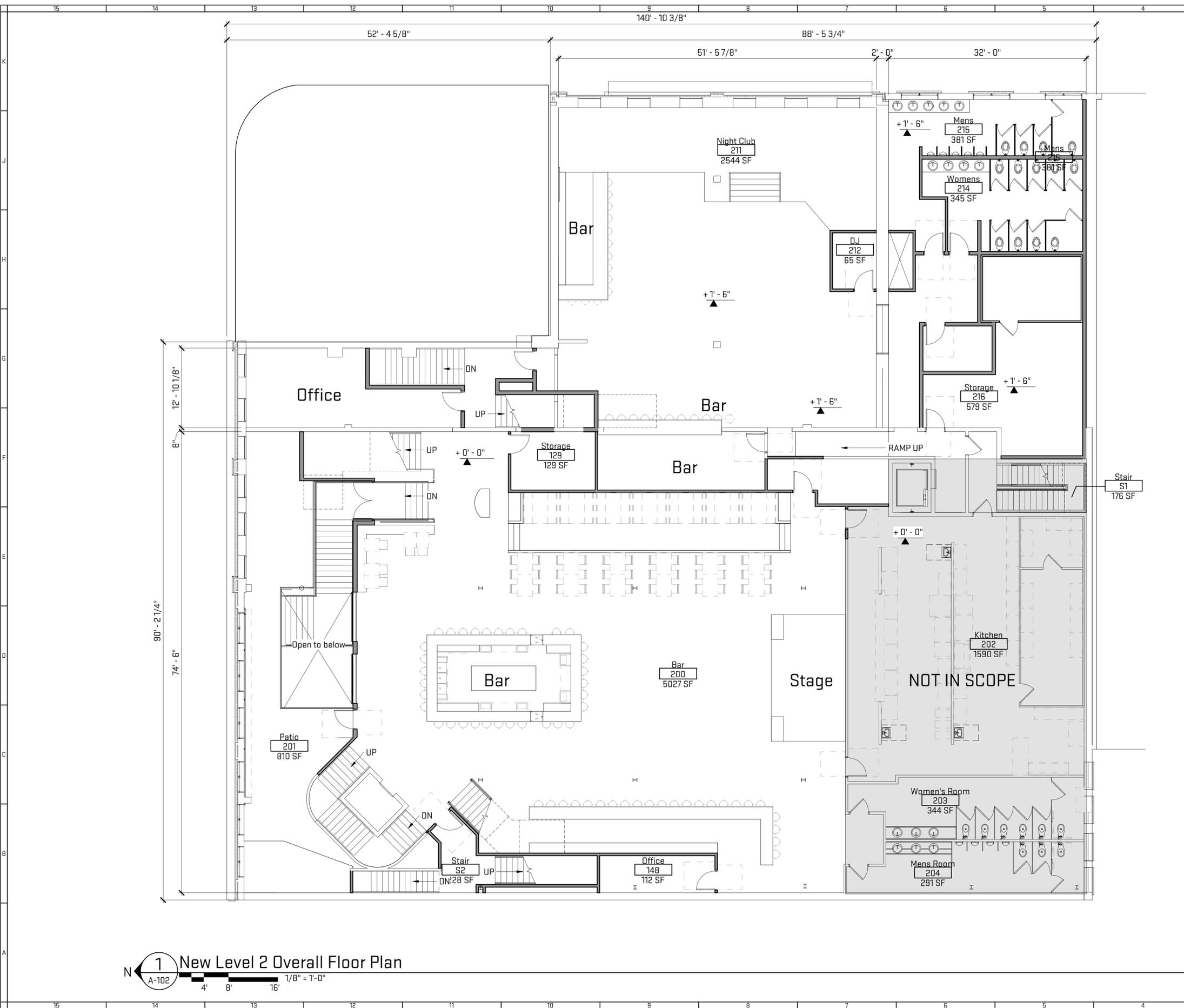
Architectural Floor Plan Legend

- No work this area. Not in Scope
- Scope of work boundary.
- New construction. (UL. U301)
- Existing Construction to Remain
- Furniture system per tenant

Scales listed are for 22x34 drawing size

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:03 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



General Sheet Notes:

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B. All Furniture-by owner (5% (not less than 1) of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

Sheet Keynotes

Architectural Floor Plan Legend

-  No work this area. Not in Scope
-  Scope of work boundary.
-  New construction. (UL. U301)
-  Existing Construction to Remain
-  Furniture system per tenant

1 New Level 2 Overall Floor Plan
A-102
1/8" = 1'-0"
4' 8' 16'

Scales listed are for 22x34 drawing size

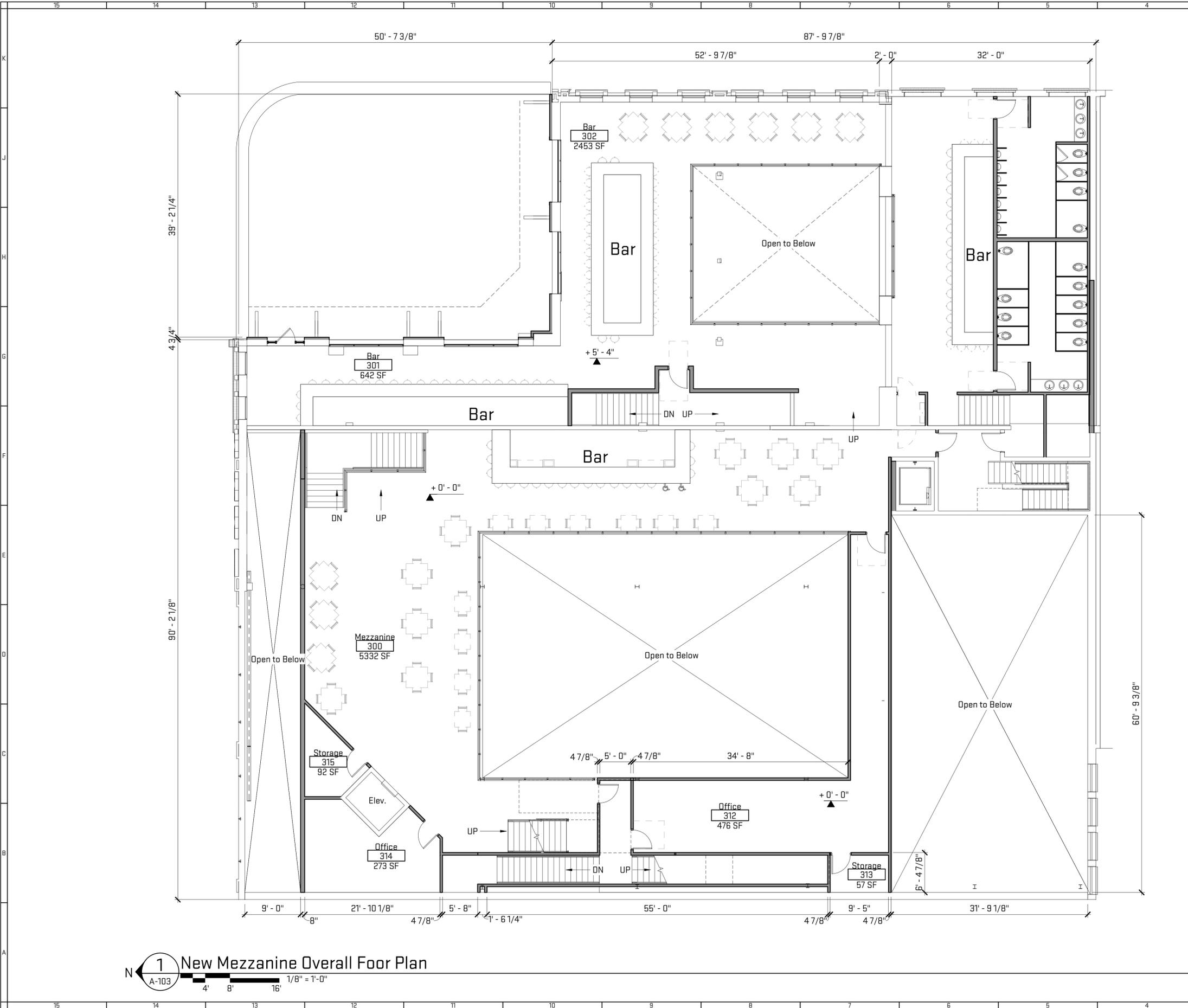


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Job Title: Tequila Cowboy Roof Addition	305 Broadway Nashville, TN 37201
Sheet Title: Level 2 Overall Floor Plan	Released For: MHZC Submittal
12/13/2017	Project # Dwg. Date
TCR17	Project # Dwg. Date
A-102	Drawing #

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:04 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



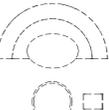
General Sheet Notes:

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B. All Furniture-by owner (5% (not less than 1) of all fixed seating / tables must be accessible, top of tables shall be 28" to 34" from floor

Sheet Keynotes

Architectural Floor Plan Legend

-  No work this area. Not in Scope
-  Scope of work boundary.
-  New construction. (UL. U301)
-  Existing Construction to Remain
-  Furniture system per tenant

Scales listed are for 22x34 drawing size

1 New Mezzanine Overall Floor Plan
A-103
1/8" = 1'-0"

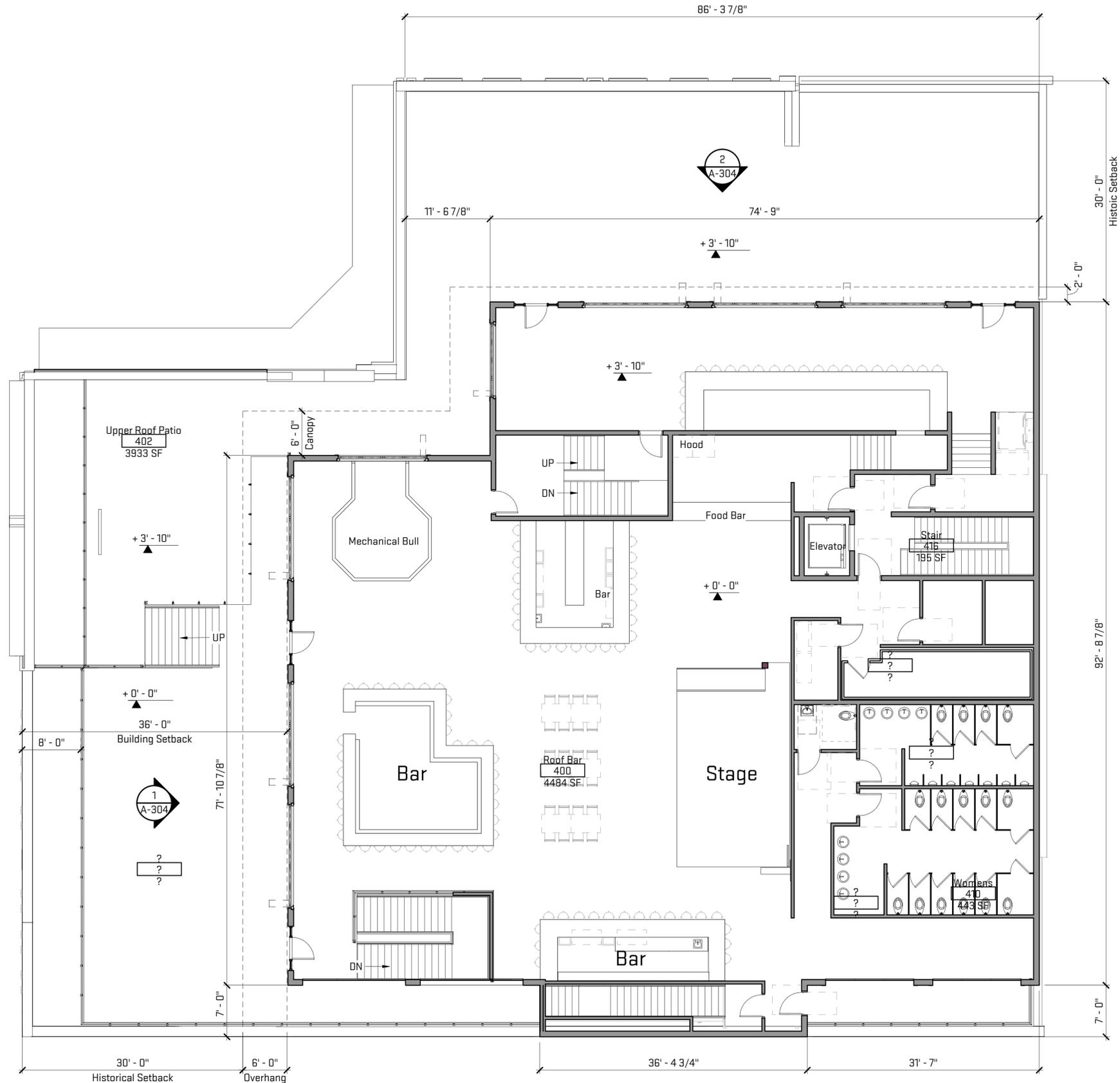


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Job Title: Tequila Cowboy Roof Addition	305 Broadway Nashville, TN 37201
Sheet Title: Level 2.5 Mezzanine Floor Plan	Released For: MHZC Submittal
12/13/2017	Project # Eng. Date
TCR17	Drawing #
A-103	NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:05 AM File Path: C:\Revit Local Files\TCR17_jons.rvt

1 New Roof Deck Overall Floor Plan

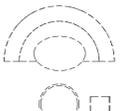


General Sheet Notes:

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Sheet Keynotes

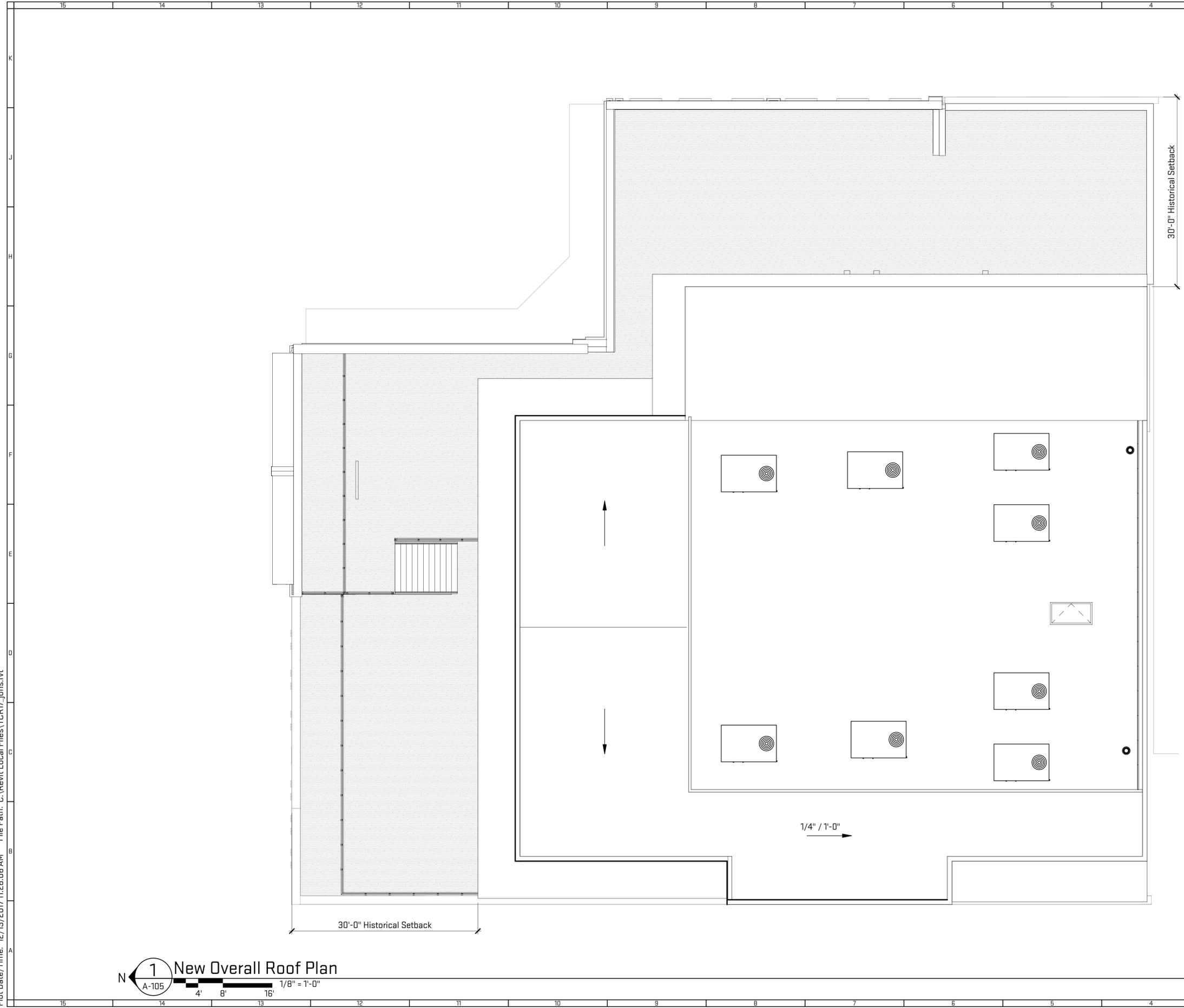
Architectural Floor Plan Legend

-  No work this area. Not in Scope
-  Scope of work boundary.
-  New construction. [UL. U301]
-  Existing Construction to Remain
-  Furniture system per tenant

Scales listed are for 22x34 drawing size

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:06 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



1 New Overall Roof Plan
 A-105
 4' 8' 16'
 1/8" = 1'-0"

General Sheet Notes:
None

Sheet Keynotes

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Job Title:
Tequila Cowboy Roof Addition
 305 Broadway
 Nashville, TN 37201

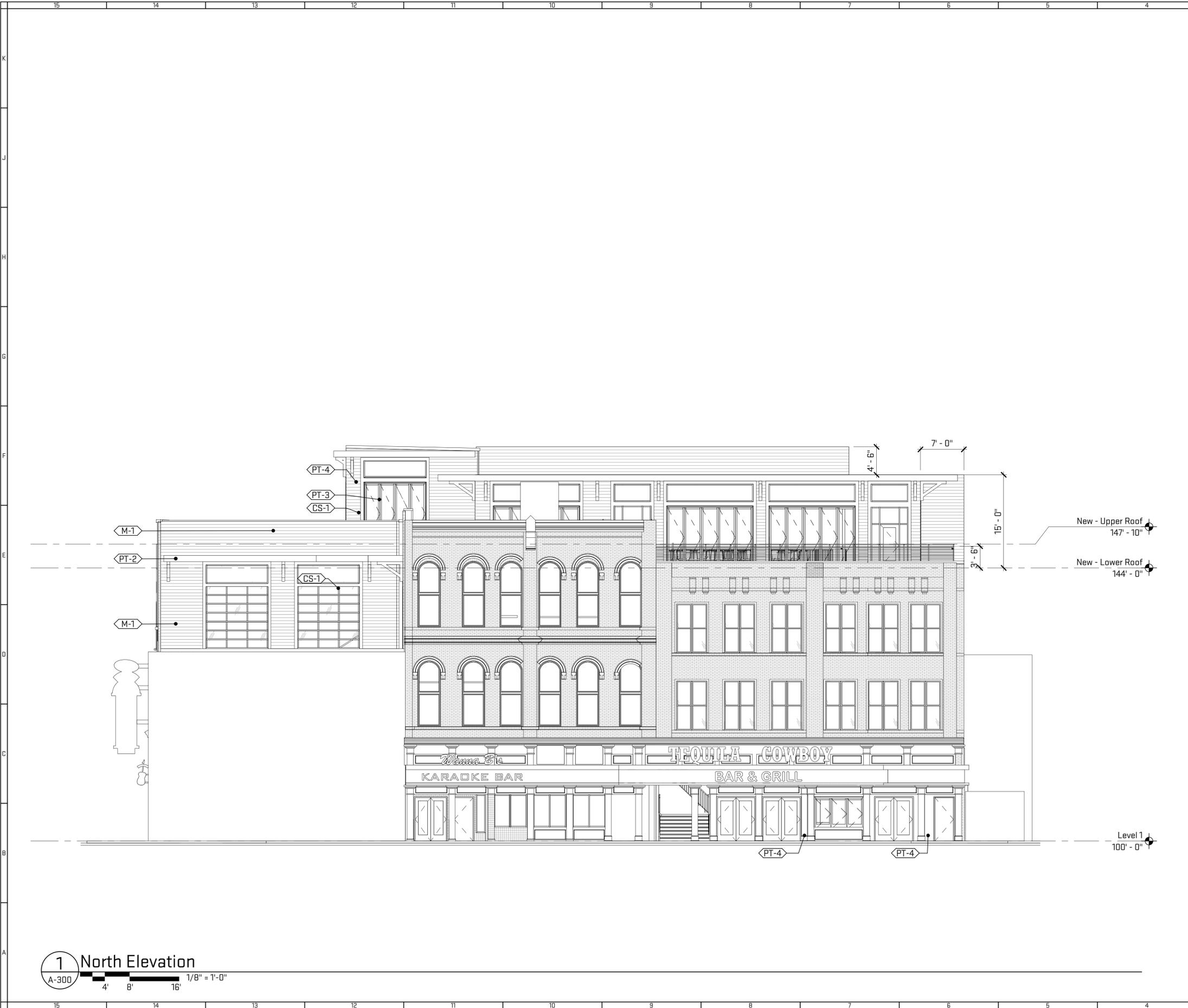
Sheet Title:
Overall Roof Plan
 Released For: MHZC Submittal

12/13/2017
 TCR17
 A-105

Scales listed are for 22x34 drawing size

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:09 AM File Path: C:\Revit Local Files\TCR17_jons.vvt



General Sheet Notes:
None

Sheet Keynotes

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	James Hardie	Match Existing	Exterior Siding - Smooth
M-1	Face Brick	Existing Masonry	Painted to Match Extg.	
PT-1	Paint	Benjamin Moore	TBD	Red
PT-2	Paint	Benjamin Moore	TBD	Green
PT-3	Paint	Benjamin Moore	TBD	Brown / Trim Work
PT-4	Paint	Benjamin Moore	TBD	Black
SC-1	TBD	TBD	TBD	Screen Wall
WD-1	Wood Planks	TBD	Stained Cedar	Roof Deck Canopy
WD-2	Wood	TBD	TBD	Entry Stairs

Scales listed are for 22x34 drawing size



Job Title:
Tequila Cowboy Roof Addition
305 Broadway
Nashville, TN 37201

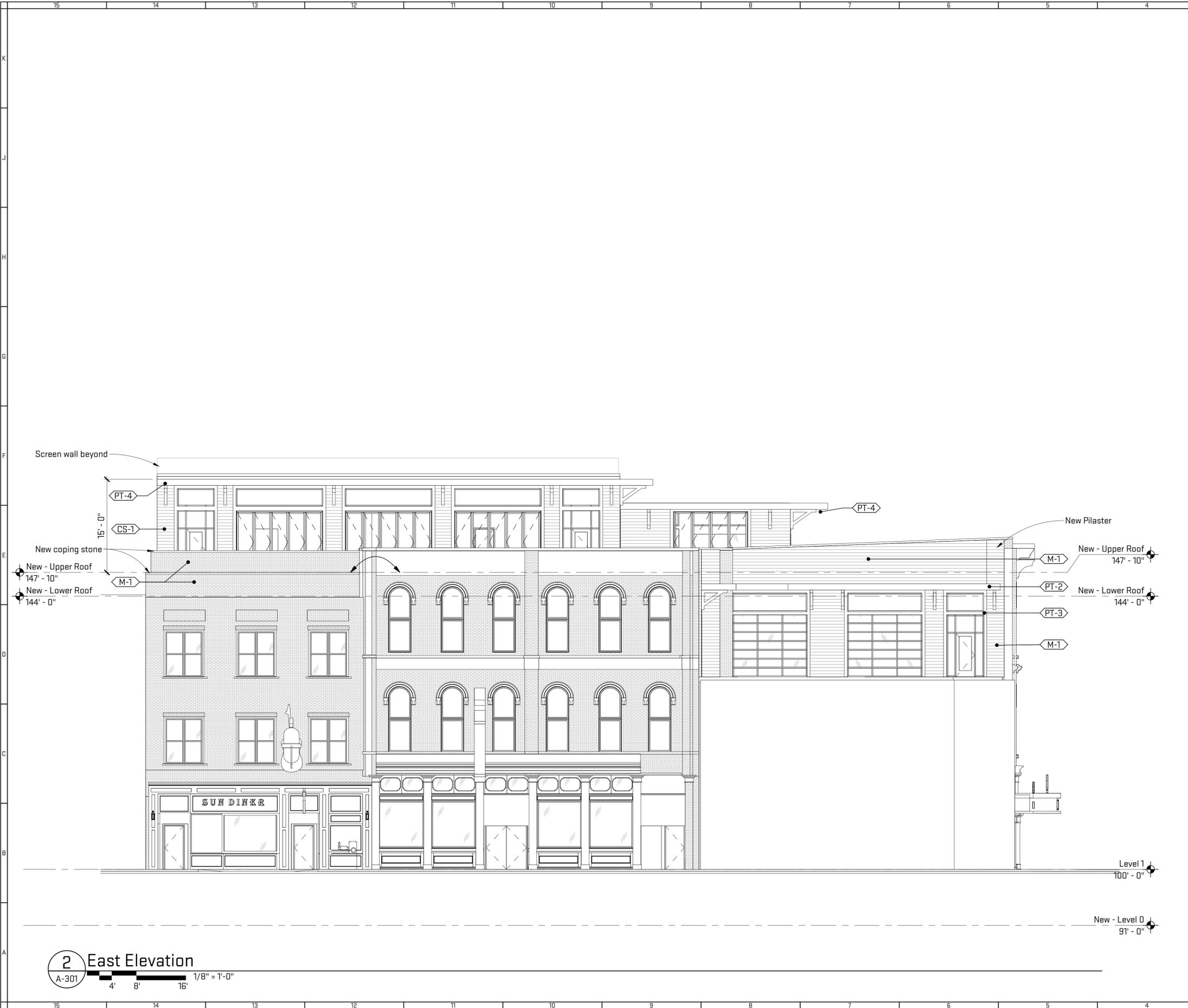
Sheet Title:
North Elevation
Released For: MHZC Submittal

12/13/2017
TCR17

A-300

NOT FOR CONSTRUCTION

Plot Date/Time: 12/13/2017 11:26:11 AM File Path: C:\Revit Local Files\TCR17_jons.rvt



General Sheet Notes:

None

Reference Keynotes

Sheet Keynotes

Finish Legend - Exterior

ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	James Hardie	Match Existing	Exterior Siding - Smooth
M-1	Face Brick	Existing Masonry	Painted to Match Extg.	
PT-1	Paint	Benjamin Moore	TBD	Red
PT-2	Paint	Benjamin Moore	TBD	Green
PT-3	Paint	Benjamin Moore	TBD	Brown / Trim Work
PT-4	Paint	Benjamin Moore	TBD	Black
SC-1	TBD	TBD	TBD	Screen Wall
WD-1	Wood Planks	TBD	Stained Cedar	Roof Deck Canopy
WD-2	Wood	TBD	TBD	Entry Stairs

Scales listed are for 22x34 drawing size

2 East Elevation
A-301
4' 8' 16'
1/8" = 1'-0"



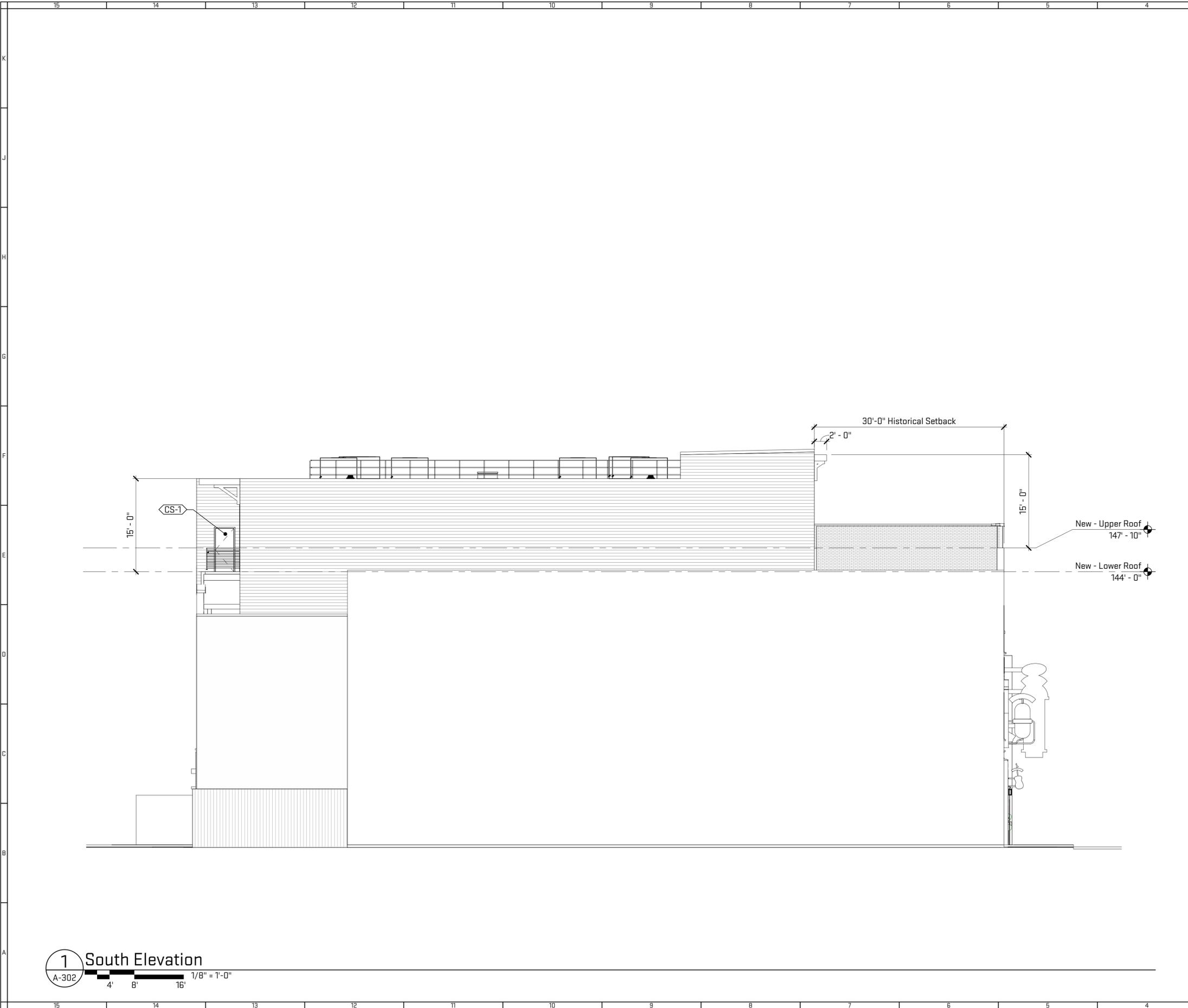
Job Title:
Tequila Cowboy Roof Addition
305 Broadway
Nashville, TN 37201

Sheet Title:
East Elevation
Released For: MHZC Submittal

12/13/2017
TCR17
A-301
Project # | Eng. Date
Drawing #

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General Sheet Notes:
None

Sheet Keynotes



Job Title:
Tequila Cowboy Roof Addition
305 Broadway
Nashville, TN 37201

Sheet Title:
South Elevation
Released For: MHZC Submittal

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	James Hardie	Match Existing	Exterior Siding - Smooth
M-1	Face Brick	Existing Masonry	Painted to Match Extg.	
PT-1	Paint	Benjamin Moore	TBD	Red
PT-2	Paint	Benjamin Moore	TBD	Green
PT-3	Paint	Benjamin Moore	TBD	Brown / Trim Work
PT-4	Paint	Benjamin Moore	TBD	Black
SC-1	TBD	TBD	TBD	Screen Wall
WD-1	Wood Planks	TBD	Stained Cedar	Roof Deck Canopy
WD-2	Wood	TBD	TBD	Entry Stairs

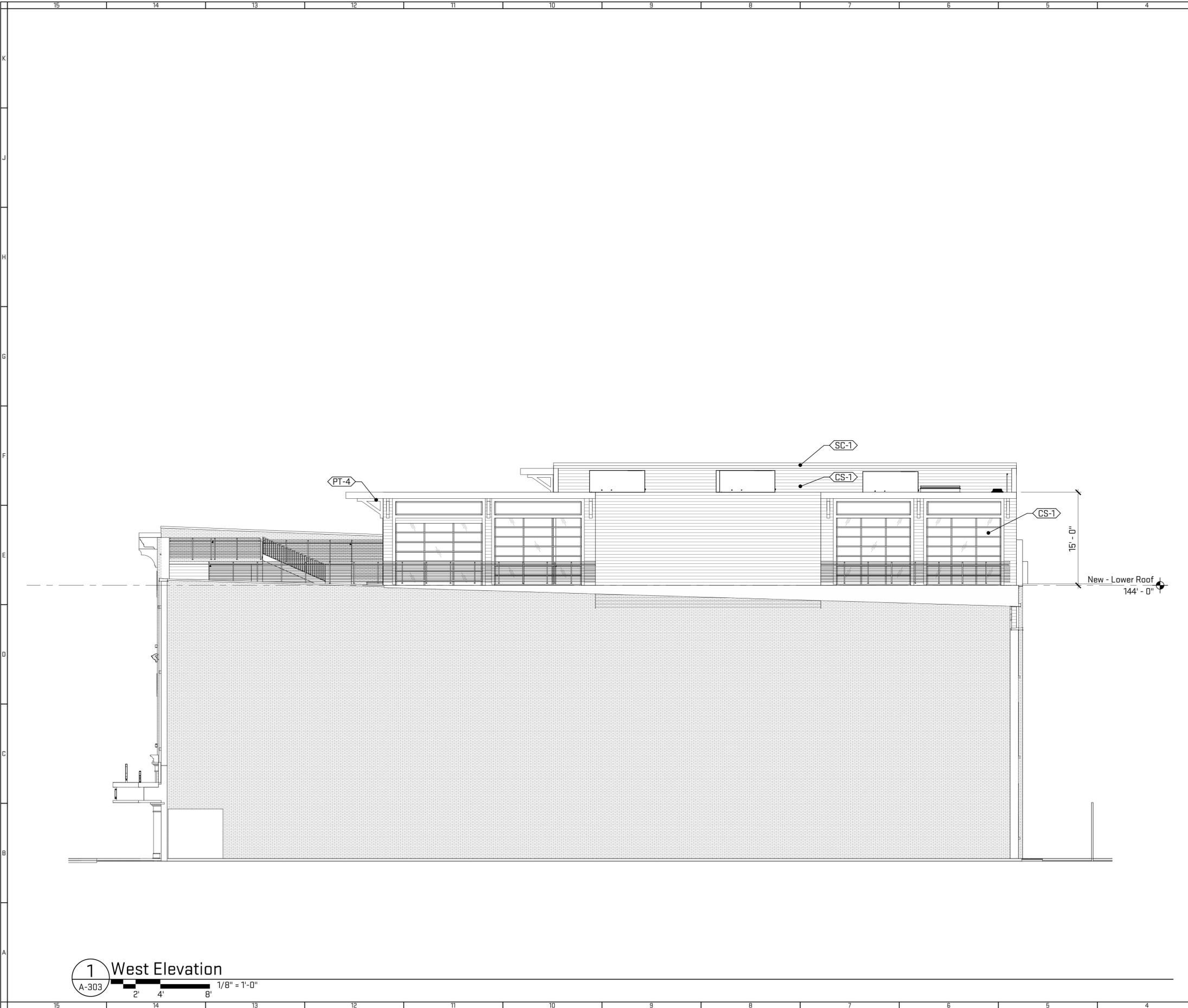
12/13/2017
TCR17
A-302

1 South Elevation
A-302
4' 8' 16'
1/8" = 1'-0"

Scales listed are for 22x34 drawing size

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1 West Elevation
A-303 1/8" = 1'-0"

General Sheet Notes:
None

Reference Keynotes

Sheet Keynotes

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	James Hardie	Match Existing	Exterior Siding - Smooth
M-1	Face Brick	Existing Masonry	Painted to Match Extg.	
PT-1	Paint	Benjamin Moore	TBD	Red
PT-2	Paint	Benjamin Moore	TBD	Green
PT-3	Paint	Benjamin Moore	TBD	Brown / Trim Work
PT-4	Paint	Benjamin Moore	TBD	Black
SC-1	TBD	TBD	TBD	Screen Wall
WD-1	Wood Planks	TBD	Stained Cedar	Roof Deck Canopy
WD-2	Wood	TBD	TBD	Roof Deck

Scales listed are for printing size



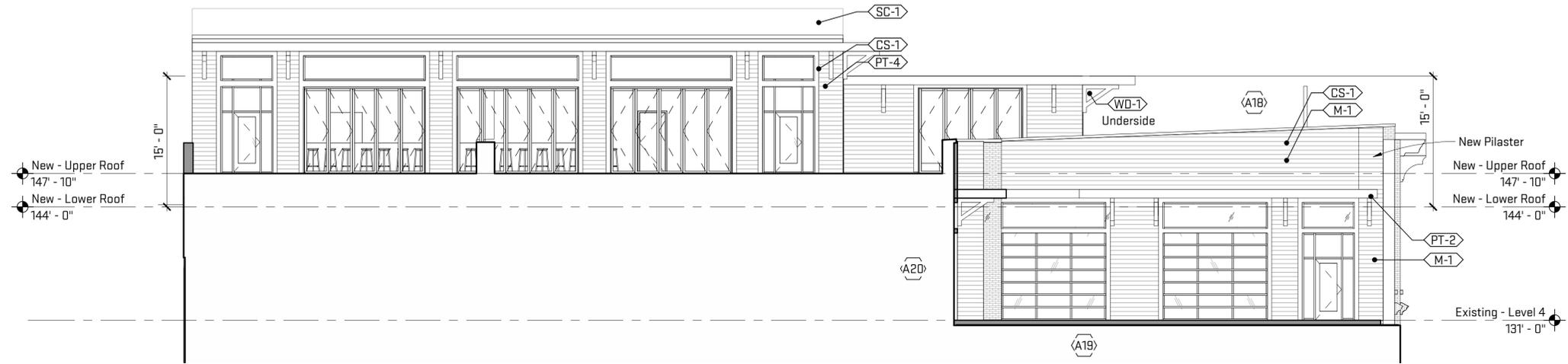
Job Title:
Tequila Cowboy Roof Addition
305 Broadway
Nashville, TN 37201

Sheet Title:
West Elevation
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TCR17
A-303

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2 East Elevation - Level 3
A-304 1/8" = 1'-0"



1 North Elevation - Level 3
A-304 1/8" = 1'-0"

General Sheet Notes:
None

Sheet Keynotes

A19 New openings for garage door and transom glass.

Finish Legend - Exterior				
ID	Finish	Finish Manufacturer	Finish Color	Finish Notes
CS-1	Fiber Cement Panel Siding	James Hardie	Match Existing	Exterior Siding - Smooth
M-1	Face Brick	Existing Masonry	Painted to Match Extg.	
PT-1	Paint	Benjamin Moore	TBD	Red
PT-2	Paint	Benjamin Moore	TBD	Green
PT-3	Paint	Benjamin Moore	TBD	Brown / Trim Work
PT-4	Paint	Benjamin Moore	TBD	Black
SC-1	TBD	TBD	TBD	Screen Wall
WD-1	Wood Planks	TBD	Stained Cedar	Roof Deck Canopy
WD-2	Wood	TBD	TBD	Roof Deck Canopy

Job Title:
Tequila Cowboy Roof Addition
305 Broadway
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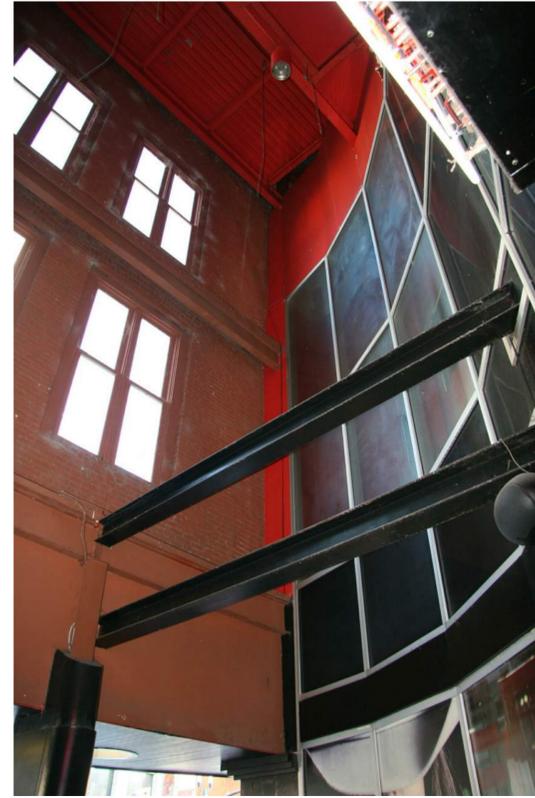
Sheet Title:
Level 3 - Elevations
Released For: MHZC Submittal

12/13/2017
TCR17
A-304



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Exist - North Vestibule



Exist - East Facade



Exist - Main Entry North



Exist - North Facade



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Tequila Cowboy Roof Addition

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Sheet Title:
Existing Imagery

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12/13/2017

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SK-100

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Proposed - 3rd Ave View



Proposed - Broadway Rendered View

- 1 Provide new wood full lite doors and surrounding millwork.
- 2 Existing door to be removed.
- 3 Remove existing metal column wraps. Provide new painted wood column millwork.
- 4 Retain existing stainless entry doors and insert in new storefront.
- 5 Existing parking tenant booth (not in scope).
- 6 Provide new wood double doors to lower level; full lite.
- 7 New sectional overhead doors with transom glass above.
- 8 New brick to match existing; paint to match.
- 9 Steel canopy on new roof deck construction.
- 10 Wood tongue & groove soffit. Clear finish.
- 11 New egress doorway, painted charcoal to recede away from view.
- 12 New guard railing
- 13 Existing coping to remain.
- 14 New stairs leading to level above.
- 15 Demolish existing curved aluminum storefront. New entry build out to match outer facade. New dark anodized aluminum operable window wall. Millwork base to match existing detailing.
- 16 New storefront transom glass to match existing exterior storefront windows.
- 17 Wood plank ceiling to match existing canopy.
- 18 New back-up parapet wall smooth stucco to match existing color.



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Job Title:
Tequila Cowboy Roof Addition

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Sheet Title:
Rendered Perspectives

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SK-101

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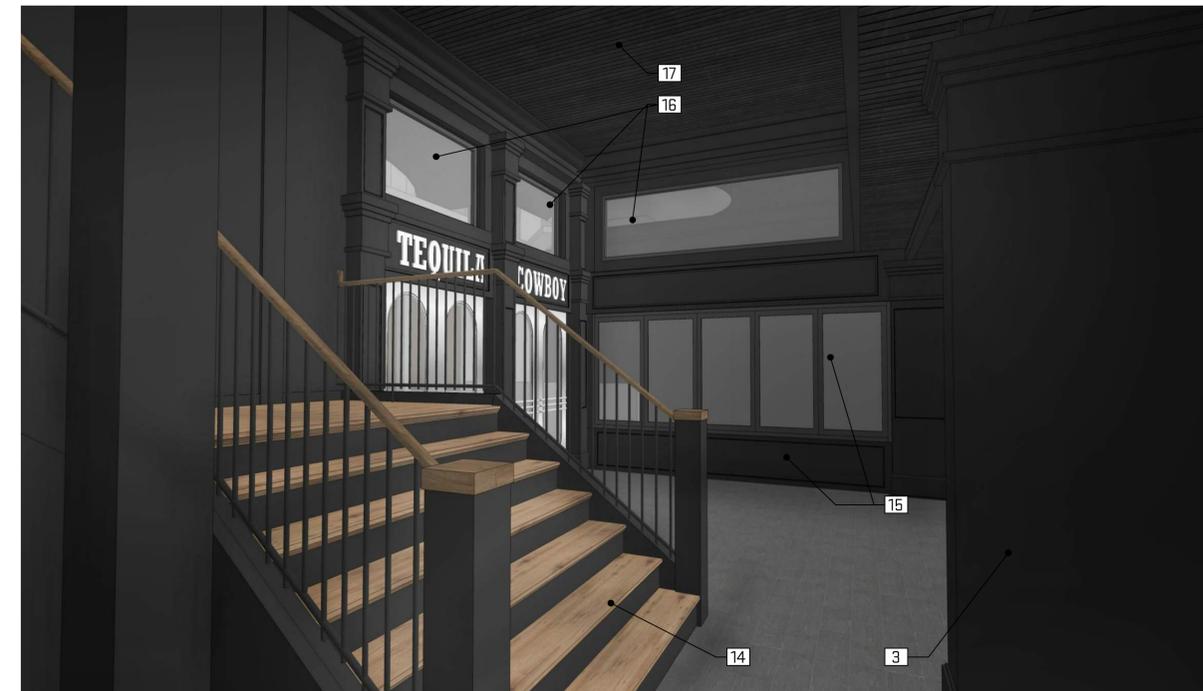
Scales listed are for 22x34 drawing size

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Proposed - Facade Street View

- 1 Provide new wood full lite doors and surrounding millwork.
- 2 Existing door to be removed.
- 3 Remove existing metal column wraps. Provide new painted wood column millwork.
- 4 Retain existing stainless entry doors and insert in new storefront.
- 5 Existing parking tenant booth (not in scope).
- 6 Provide new wood double doors to lower level; full lite.
- 7 New sectional overhead doors with transom glass above.
- 8 New brick to match existing; paint to match.
- 9 Steel canopy on new roof deck construction.
- 10 Wood tongue & groove soffit. Clear finish.
- 11 New egress doorway, painted charcoal to recede away from view.
- 12 New guard railing
- 13 Existing coping to remain.
- 14 New stairs leading to level above.
- 15 Demolish existing curved aluminum storefront. New entry build out to match outer facade. New dark anodized aluminum operable window wall. Millwork base to match existing detailing.
- 16 New storefront transom glass to match existing exterior storefront windows.
- 17 Wood plank ceiling to match existing canopy.
- 18 New back-up parapet wall smooth stucco to match existing color.



Proposed - North Entry



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Sheet Title:
Rendered Perspectives

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SK-102

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Broadway West - Existing



Broadway West - Proposed

Scales listed are for 22x34 drawing size



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Tequila Cowboy Roof Addition

305 Broadway
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Sheet Title:
Contextual Renderings
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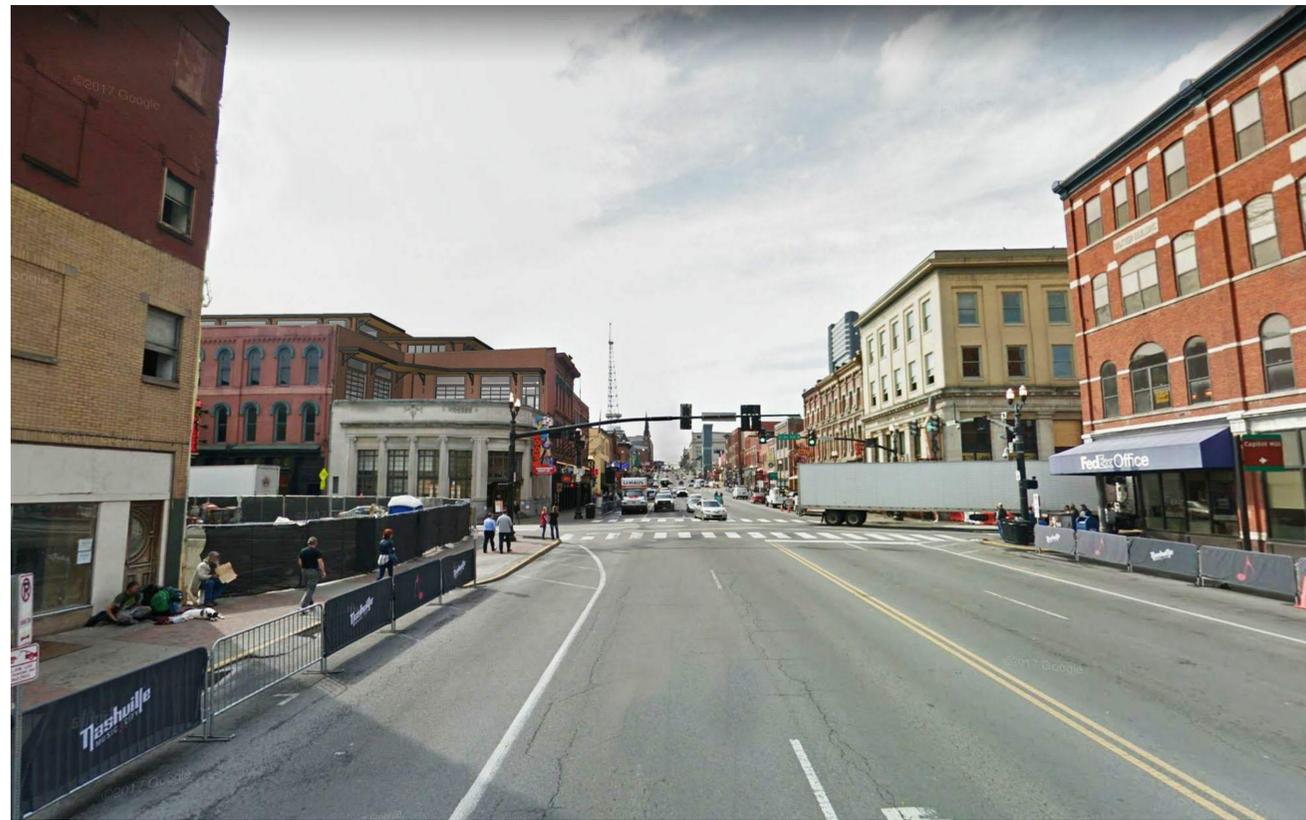
SK-103

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Broadway East - Existing



Broadway East - Proposed



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Sheet Title:

Contextual Renderings

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TCR17

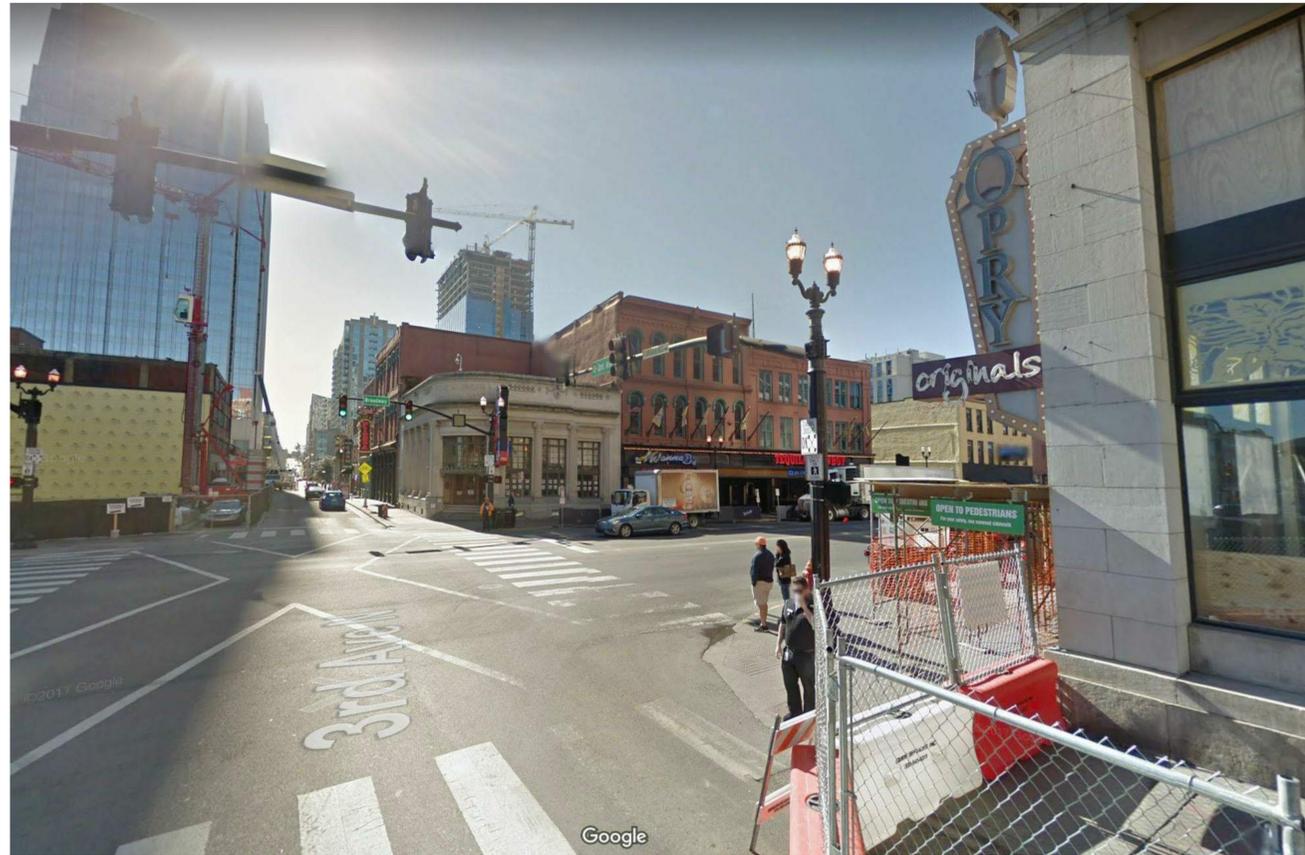
SK-104

Project # | Date
Drawing #

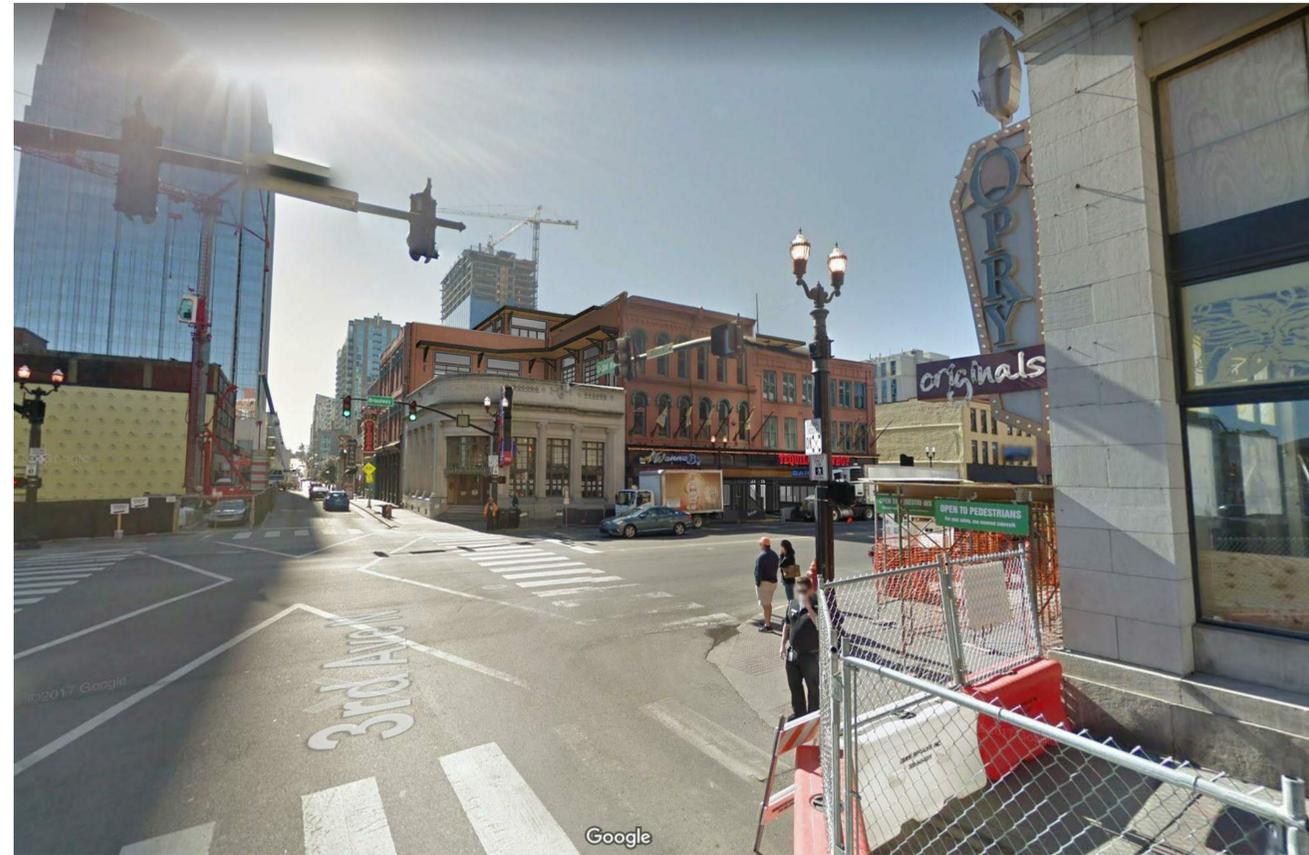
Scales listed are for 22x34 drawing size

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3rd Ave North - Existing



3rd Ave North - Proposed

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Historic - Broadway Facade (2006)



Historic - View Down Broadway



Historic - 3rd Avenue Facade 1



Historic - 3rd Avenue Facade



Historic - Broadway Facade



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Sheet Title:
Historic Imagery
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SK-106

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