

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1116 Boscobel Street January 18, 2017

Application: New construction – addition and outbuilding
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08313053300
Applicant: Bonnie Matheson, Owner
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant requests approval to enlarge a non-contributing house with left and right side additions, and to enlarge the front porch. The project also includes a new detached carport at the rear of the lot.

Recommendation Summary: Staff recommends approval of the proposed additions and outbuilding at 1116 Boscobel Street, with the conditions that:

- The metal roof colors shall be approved prior to construction;
- The front porch railing shall be approved;
- Window selections shall be approved by MHZC Staff.

With those conditions met, Staff finds that the project will meet the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Applicable Design Guidelines:

II.B. New Construction

8. Outbuildings

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.
- On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.
- The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.

Outbuildings: Character, Materials and Details

- Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or outbuildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

Outbuildings: Roof

- Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.
- The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.

Outbuildings: Siding and Trim

- Brick, weatherboard, and board-and-batten are typical siding materials.
- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
- Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
- Stud wall lumber and embossed wood grain are prohibited.
- Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

- b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

- To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.
- A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.
- There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.
- At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

- On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.
- On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

- c. The location and design of outbuildings should not be visually disruptive to the character of the surrounding buildings.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

10. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions that tie-into the existing roof must be at least 6" below the existing ridge line.

In order to assure than an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and

medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.

- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*
 - An extreme grade change*
 - Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be taller and extend wider.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Side Additions

When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.

b. The creation of an addition through enclosure of a front porch is not appropriate.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

e. Additions should follow the guidelines for new construction.

IV. B. Demolition

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The house at 1116 Boscobel Street was constructed in early 2003. The house is one story tall with a gable-ell form. When construction started the property was not in the Lockland Springs-East End Neighborhood Conservation Zoning Overlay and MHZC approval was not required, although the boundary of the overlay expanded to include the property later that year.



Analysis and Findings: The applicant is proposing to enlarge the house with left and right side additions, and to increase the depth of the front porch. The height and depth of the house overall will not change.

Demolition: The left wall of the house and portions of the right wall will be demolished in order to accommodate the proposed additions. Because the house was recently constructed these elements do not have historic significance. Staff finds the proposal to meet section III.B.2 for appropriate demolition and to not meet section III.B.1 for inappropriate demolition.

Location & Removability: The existing porch is on the inside corner of the house's gable-ell form, recessed three feet, eight inches (3'-8") from the front edge of the house. The porch will be extended forward to align with the front edge of the building. The resulting depth of the front porch will be eight feet (8'), which is compatible with porches historically. The left side addition will tie in directly with the front wall and roof, keeping the form of the building and expanding it ten feet (10') wider. Two projecting bays will be added on the right side, stepped back from the front of the building and sitting below the roof. These additions, especially those on the front and left side, substantially and irreversibly alter the form of the building in a way that would not be appropriate for an historic building. Because the building is non-contributing, Staff finds that the project does meet sections II.B.2.a and II.B.3.d of the design guidelines.

Design: The height and form of the left side addition match the existing building, and the right side additions will be smaller and compatible in appearance. The materials and window proportions will also match the existing building. The additions will be indistinguishable from original parts of the building. Because the existing building is non-contributing, Staff finds that the project meets sections II.B.2.a and II.B.2.e of the design guidelines.

Height & Scale: The left side addition will tie into the front and the eave of the house, and will widen the main component of the building by ten feet (10'). The shape of the building and the roof height and pitch will be matched. Two new bays on the right side will project an additional six feet, three inches (6'-3"). The first of these new bays will be stepped five feet (5') back from the front of the building, and the second bay will be thirty five feet (35') back from the front of the building.

The width of the main component of the building will be thirty-three feet, nine inches (33'-9") wide, with the projecting bays on the right side increasing the total width to forty feet (40'). These right side bays will be subordinate to the primary massing, and account for a small portion of the building's full width. Nearby houses range from twenty-six feet (26') wide to as much as forty-feet (40') wide.

The existing ridge height of the building will be maintained. The depth of the building will also be unchanged. Staff finds that the scale of the enlarged house will be compatible with surrounding historic houses, and that the project meets sections II.B.10.a and II.B.10.b of the design guidelines for additions.

Setback & Rhythm of Spacing: With the additions, the building will have a five foot (5') setback on both sides. Because the bay additions on the right are shorter than the house and sit back from the front, the full forty foot (40') width will not be perceived from the front, and the space on the right side of the house will appear to remain fairly open. The front and rear setbacks of the building will not be affected. The project meets the required setbacks, and will be compatible with the established rhythm of spacing on the street. Staff finds that the project meets section II.B.1.c of the design guidelines.

Materials: The materials of the additions will match the existing building:

	Proposed	Color/Texture/ Make/ Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation-left	Concrete Block	Split Face	Yes	
Foundation-right	Piers with lattice		Yes	
Cladding	Cement-fiber lap siding	Smooth, match existing siding	Yes	
Trim	Cement Fiberboard	Match existing	Yes	
Primary roofing	Architectural shingles	Match existing	Yes	
Secondary & porch roofs	Metal, standing seam	Color unknown	Yes	X
Front Porch floor/steps	Wood	Painted	Yes	
Front Porch Posts	Wood	Match existing	Yes	
Front Porch Railing	Information needed	Information needed		X
Windows	Match existing	Information needed	Unknown	X
Principle Entrance	No change			
Walkway	Concrete	Match existing	Unknown	

With the condition that the roof color, front porch railing, and window selections are approved, Staff finds that the project meets section II.B.1.d if the design guidelines.

Roof form: The primary roof ridge will be extended ten feet (10') to the left, matching the existing 6:12 pitch. The right-side bay additions will be hipped with a pitch of 3:12. The front porch roof will be extended four feet (4') toward the front, also resulting in a 3:12 pitch. These roof forms are compatible with the roofs of surrounding historic houses. Staff finds that the project meets section II.B.1.e of the design guidelines.

Orientation: The front stairs currently lead from the porch down to the left side, but will be replaced with stairs leading straight forward. This will be more like surrounding historic houses, and meets section II.B.1.f of the design guidelines.

Proportion and Rhythm of Openings: The expanded section of the front wall will have windows matching those on the existing front façade. These windows are twice as tall as they are wide, and are compatible with the proportions of openings on historic buildings. The windows on the left wall and the front of the right addition will match the existing side windows which are double-hung but square. Typically windows on historic buildings are vertically oriented, but Staff finds the proposed windows appropriate because they match windows on the existing building, and because they are on the side and therefore less prominent. There are no large expanses of wall space without a window or door opening. Staff finds the project's proportion and rhythm of openings to meet section II.B.1.g of the design guidelines, but requests to approve the window selections prior to purchase.

Appurtenances & Utilities: In addition to the front stairs being reoriented to address the street directly, the front sidewalk will be straightened too. The location of the HVAC and other utilities will remain unchanged, on the right side behind the midpoint of the house. The project meets section II.B.1.i of the design guidelines.

Outbuildings: The proposal also includes a new detached carport at the rear of the lot. There is an existing shed on the lot that is to remain. The shed does not have a permanent foundation. The building will have a footprint area of five hundred, seventy-six square feet (576 sq. ft.), and will be located three feet (3') from the right side and rear property lines. This size and location meet the design guidelines for outbuildings. The carport will be open on all four sides with wooden posts, and will be ten feet (10') tall with a flat roof. Staff asks to approve the roof color prior to construction. The structure meets all the standards and design guidelines, and with the condition that Staff approved the roof color the project will meet section II.B.1.h of the design guidelines.

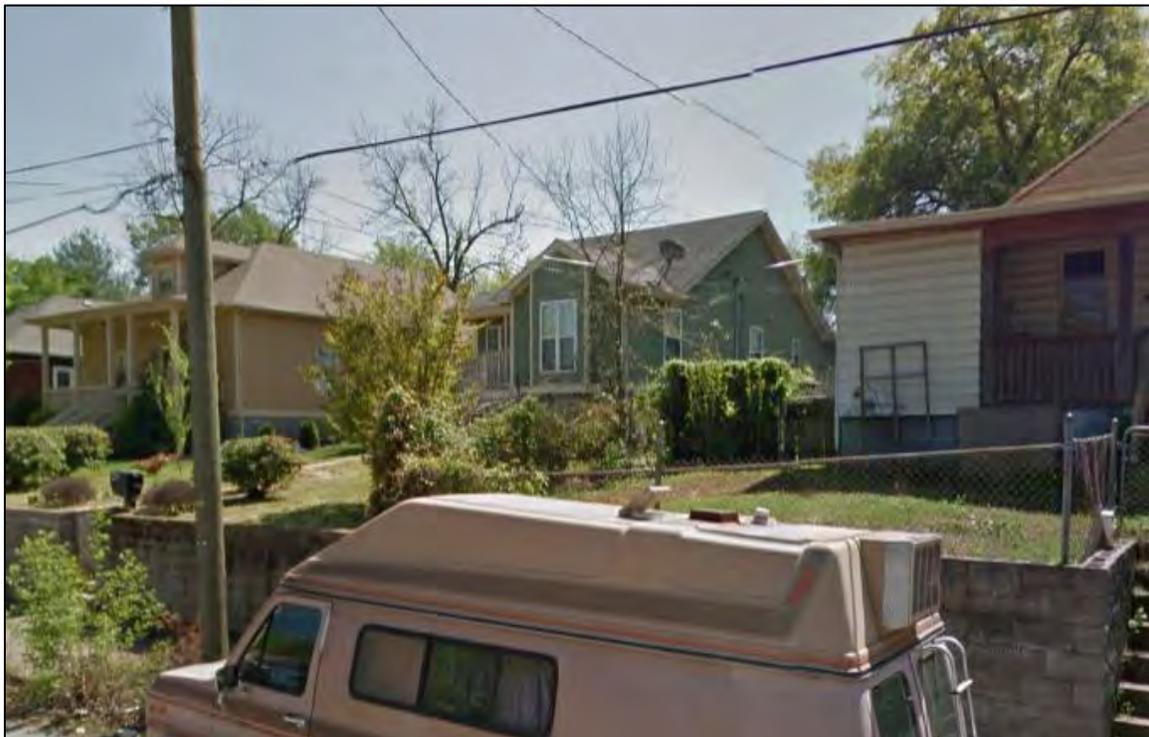
Recommendation: Staff recommends approval of the proposed additions and outbuilding at 1116 Boscobel Street, with the conditions that

- The metal roof colors shall be approved prior to construction;
- The front porch railing shall be approved;
- Window selections shall be approved by MHZC Staff.

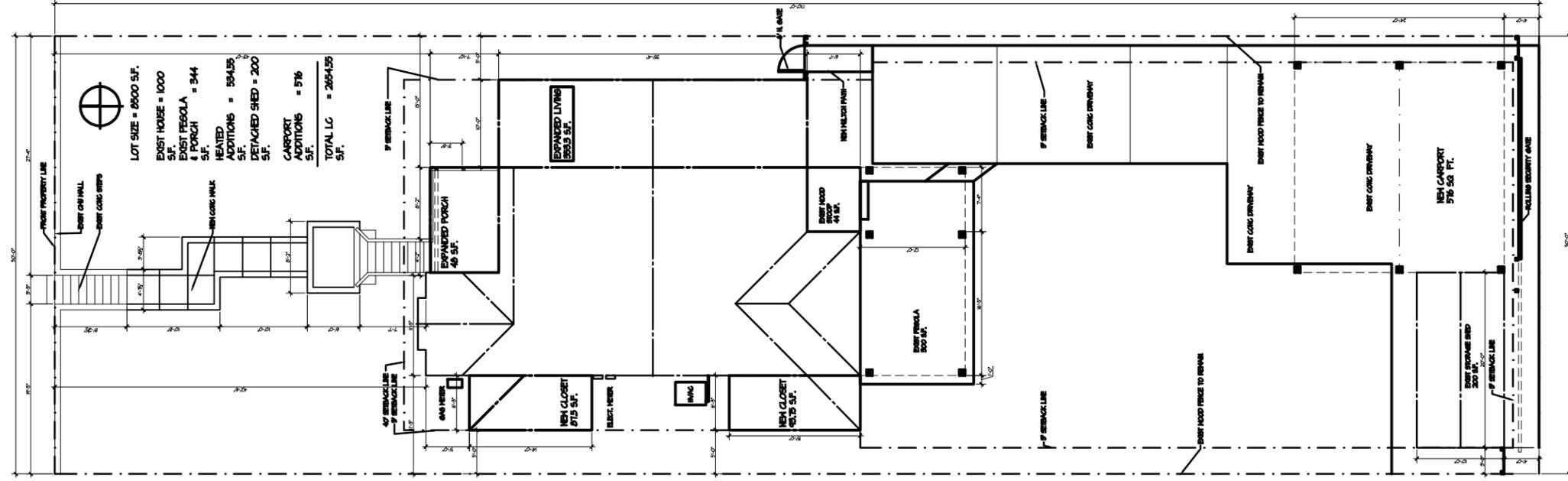
With those conditions met, Staff finds that the project will meet the design guidelines for the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.



1116 Boscobel Street, left-front circa 2012.



1116 Boscobel Street, right-front circa 2012.



SITE PLAN

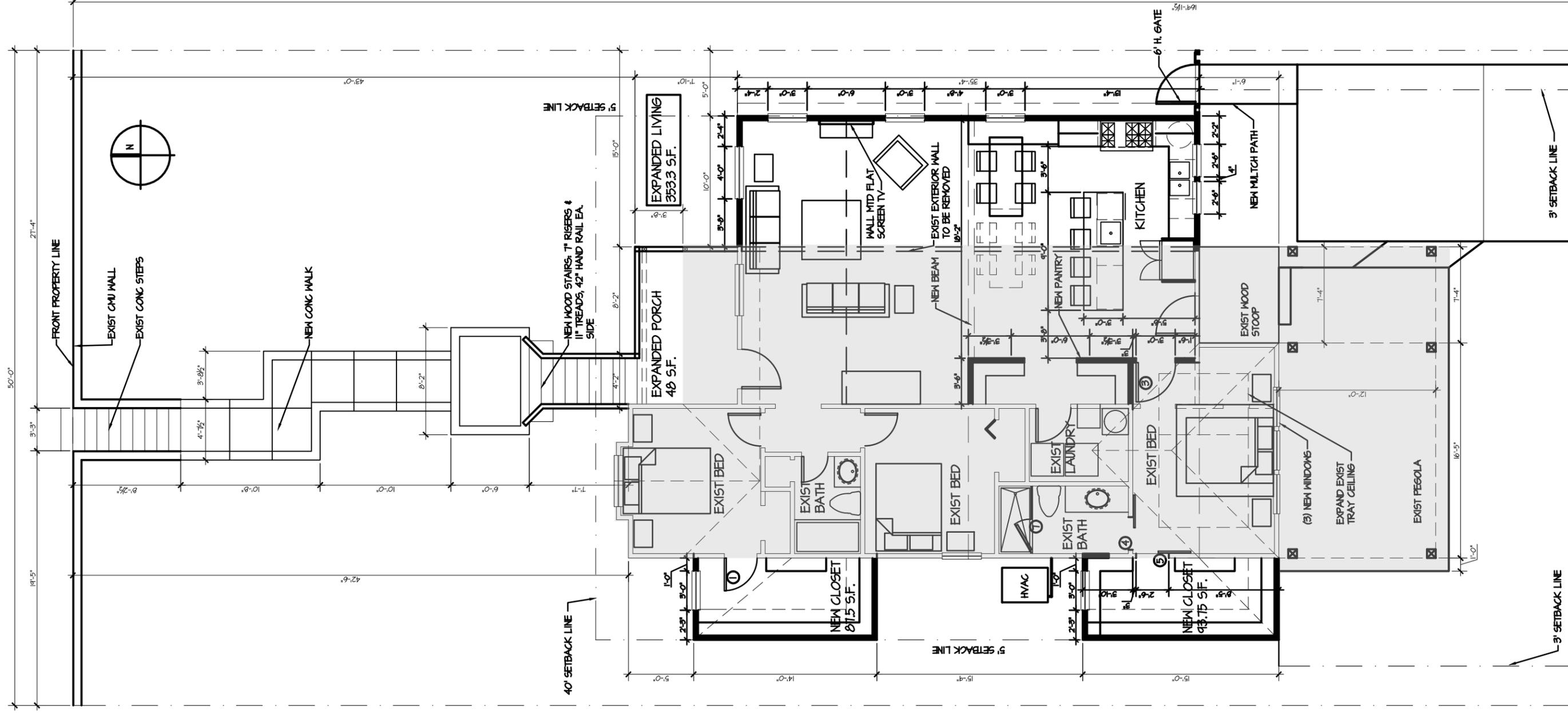
SCALE: 1/16" = 1'-0"

CenterCourt Development
 800 Woodland St
 Nashville, TN 37206
 831.236.1773

C-1
SITE PLAN
 SCALE: 1/16" = 1'-0"
 DATE: 12/21/16

A REMODEL OF A RESIDENCE
 AL SNEEDEN 1116 BOSCOBEL ST
 NASHVILLE, TN 37206

PARCEL ID: 08313053300
 LOT # 169 EDGEFIELD ADDN

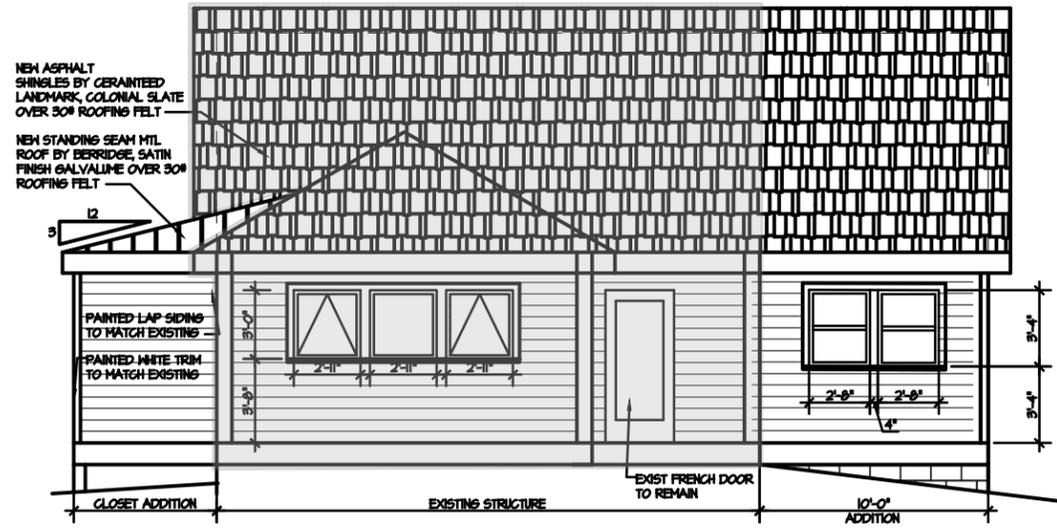


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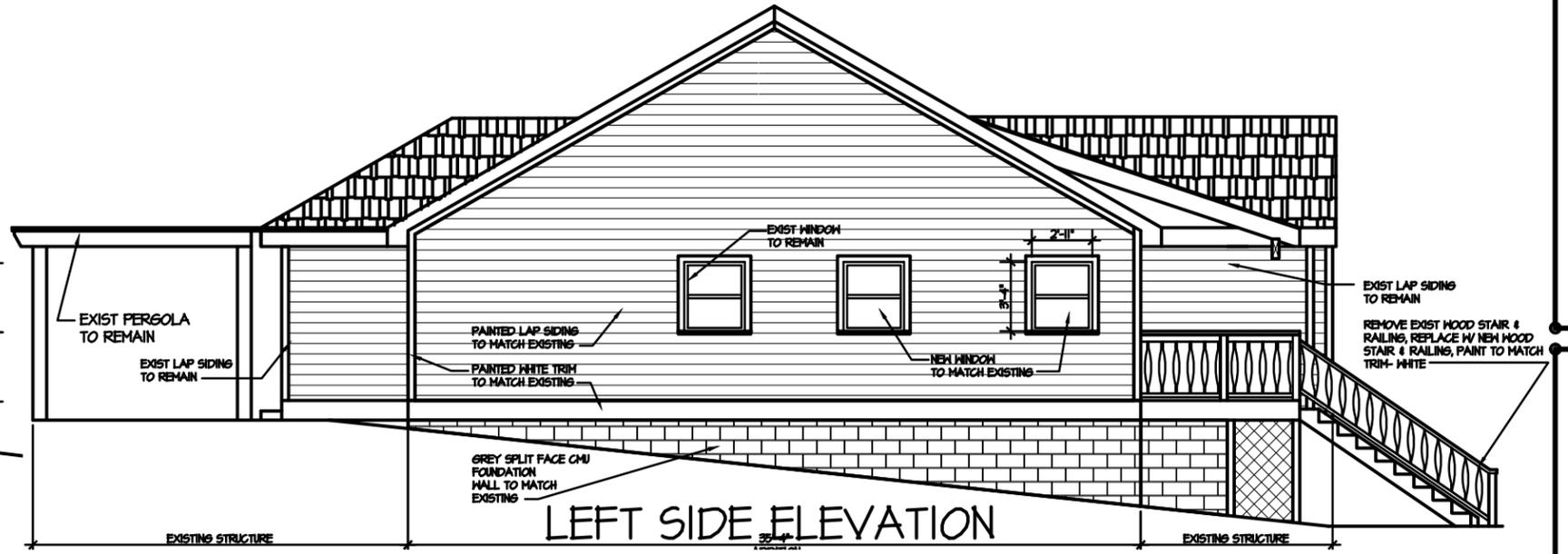
A-1
FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 12/21/16

A REMODEL OF A RESIDENCE
 AL SNEEDEN 1116 BOSCOBEL ST
 NASHVILLE, TN 37206

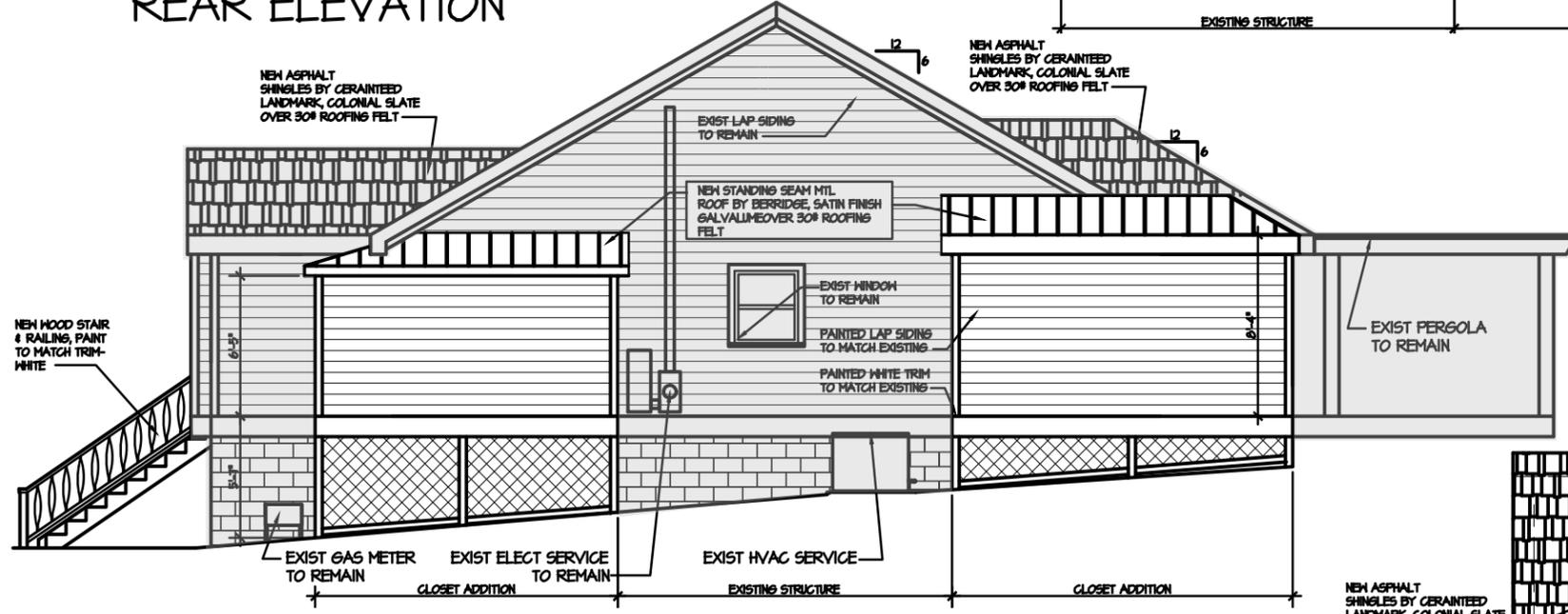
PARCEL ID: 08313053300
 LOT # 169 EDGEFIELD ADDN



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION

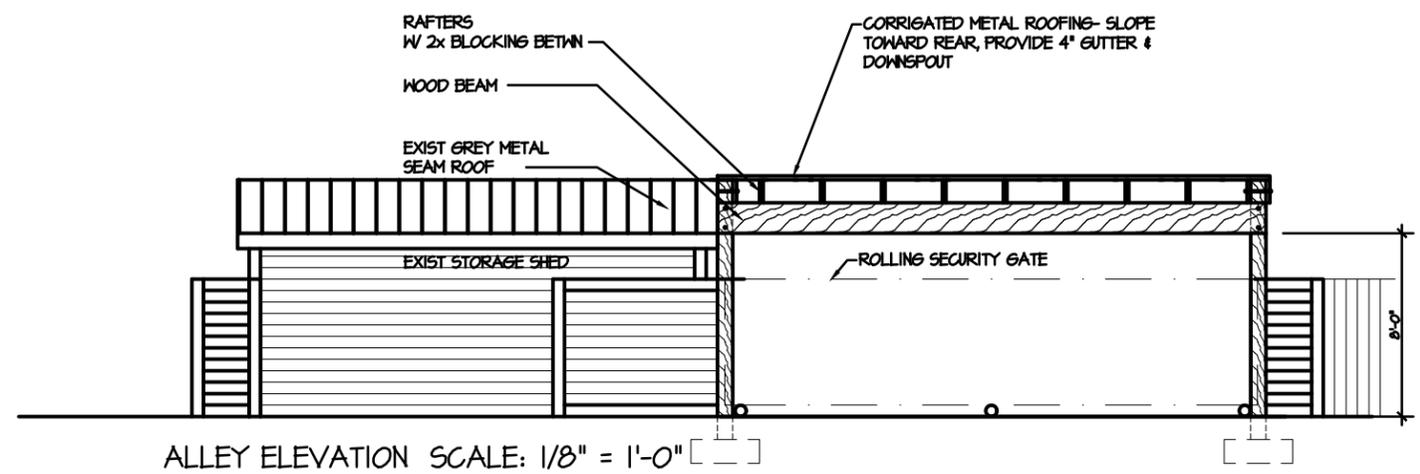
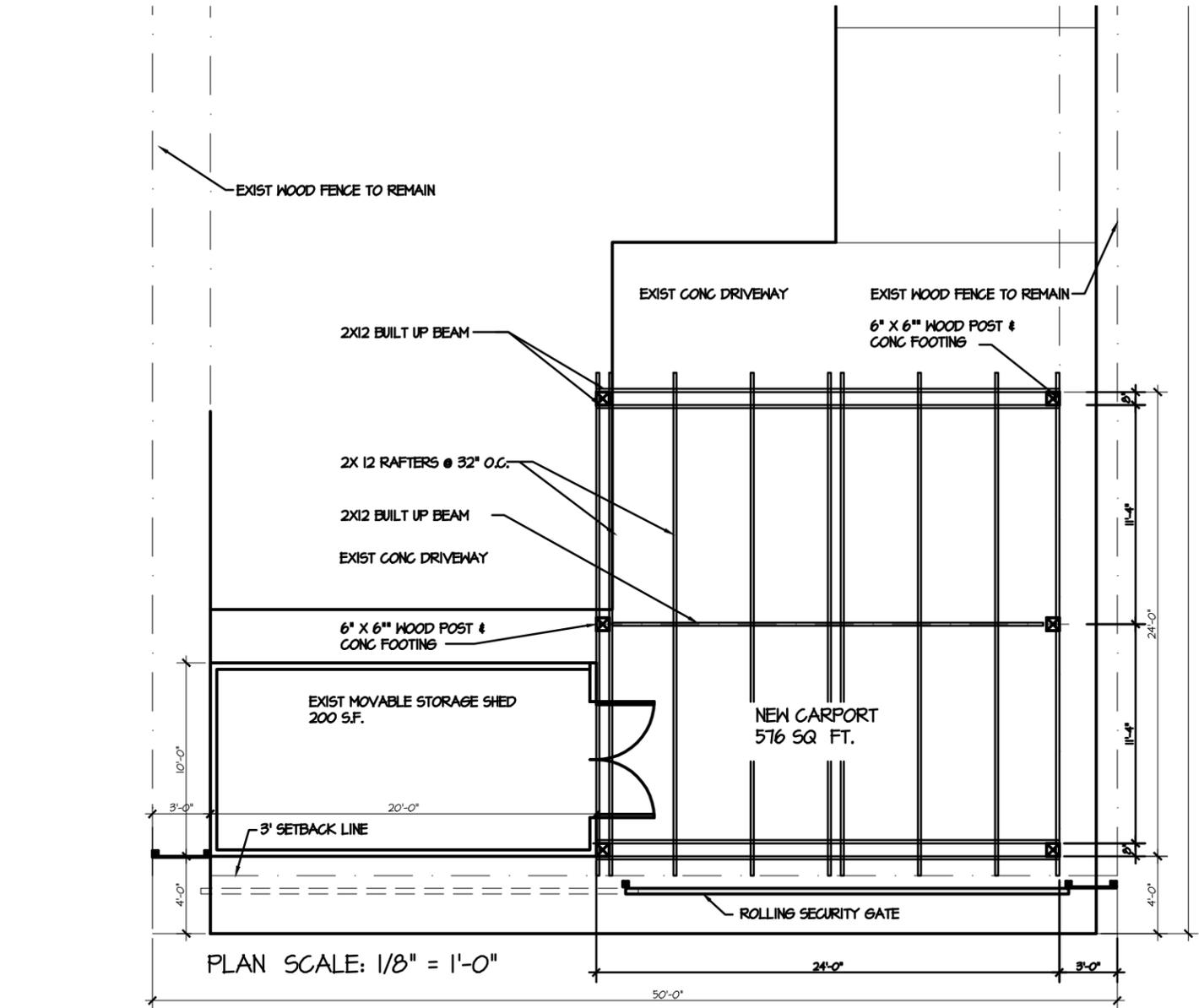
PARCEL ID: 08313053300
LOT # 169 EDGEFIELD ADDN

A REMODEL OF A RESIDENCE
AL SNEEDEN 1116 BOSCOBEL ST
NASHVILLE, TN 37206

EXTERIOR ELEVATIONS

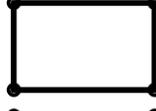
A-3
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PARCEL ID: 08313053300
 LOT # 169 EDGEFIELD ADDN

A REMODEL OF A RESIDENCE
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A-2
 CARPORT
 PLAN
 DATE: 12/21/16

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 800 Woodland St # 210
 Nashville, TN 37206
 631.236.1773