

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
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STAFF RECOMMENDATION 917 Caruthers Avenue February 15, 2017

Application: New construction- detached accessory dwelling unit
District: Waverly-Belmont Neighborhood Conservation Zoning Overlay
Council District: 07
Map and Parcel Number: 11801026000
Applicant: John Root, rootARCH
Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

Description of Project: The request is to construct a six hundred and sixteen square foot (616 sq. ft.) detached accessory dwelling unit.

Recommendation Summary: Staff recommends approval of the proposed DADU with the following conditions:

1. A new Use and Occupancy permit be obtained to reclassify the primary structure as a single-family dwelling prior to issuance of the preservation permit;
2. Staff approve the final details, dimensions, and materials of the windows, pedestrian and garage doors, trim, porch post, and porch floor prior to purchase and installation;
3. The windows in the dormers shall have four to six inch (4"-6") mullions between them;
4. HVAC be located either at the sides or rear of the structure so that it will not be visible from the street; and
5. Recorded restrictive covenant for the DADU shall be submitted prior to issuance of the preservation permit.

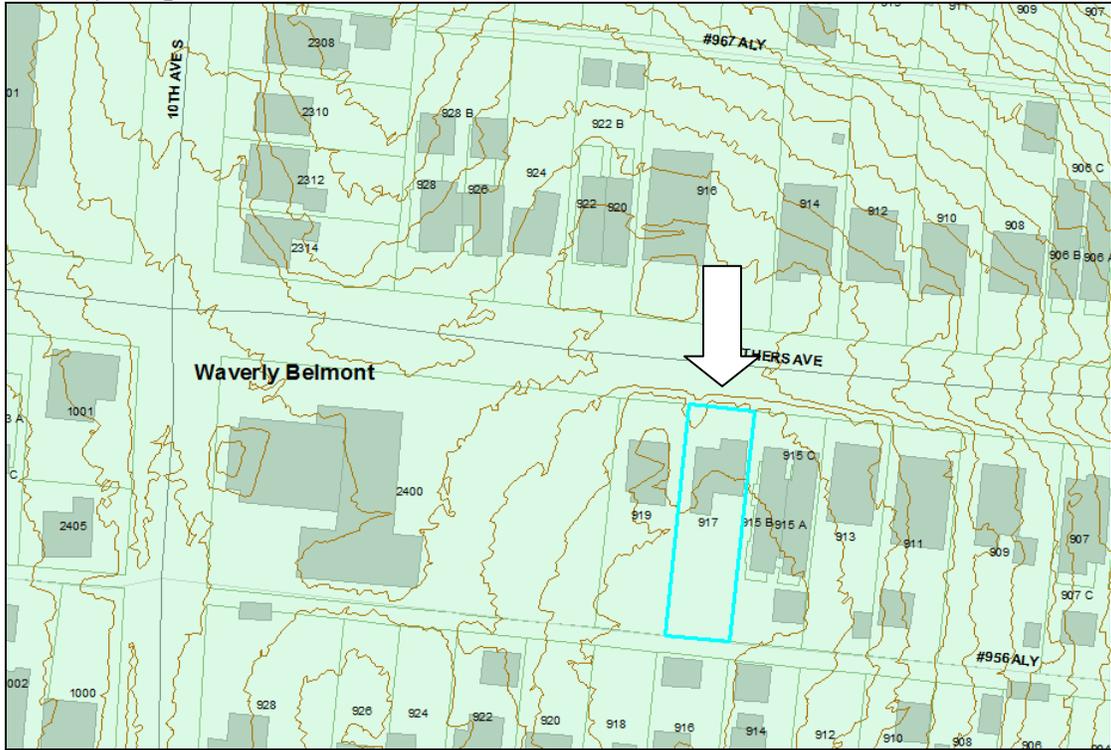
With these conditions, staff finds that the detached accessory dwelling unit meets Ordinance 17.16.030. G. and Section III.H. of the Waverly-Belmont Neighborhood Conservation zoning overlay design guidelines for this neighborhood.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

Attachments

- A: Photographs
- B: Site Plan
- D: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

17.16.030. G. Standards for Accessory Dwelling Units:

An accessory dwelling unit should follow the design guidelines for the historic overlay and the following standards:

1. Applicability.
 - a. While the following conditions listed below apply to a detached accessory dwelling they do not counter-act or over-ride the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.
 - b. No accessory structure shall exceed two hundred square feet when there is a detached accessory dwelling on the lot.
2. Lot Area. The lot area on which the detached accessory dwelling is to be placed shall comply with Table 17.12.020A.
3. Ownership.
 - a. No more than one detached accessory dwelling shall be permitted on a single lot in conjunction with the principal structure.
 - b. The detached accessory dwelling cannot be divided from the property ownership of the principal dwelling.
 - c. The detached accessory dwelling shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
4. Setbacks. The setbacks for a detached accessory dwelling shall meet the setbacks found in Section 17.12.040.E. for accessory buildings.

The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Generally appropriate side setbacks for outbuildings is 3' for buildings with a 750 square foot footprint or less and 5' for buildings with a footprint greater than 750 square feet. Appropriate rear setbacks may be as close as 5'.

5. Site Requirements. A detached accessory dwelling may only be located behind the principal structure.
6. Driveway Access.
 - a. On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling.
 - b. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
 - c. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.
7. Bulk and Massing.
 - a. The living space of a detached accessory dwelling shall not exceed seven hundred square feet.
 - b. On lots less than ten thousand square feet, the footprint of a detached accessory dwelling shall not exceed seven hundred fifty square feet
 - c. On lots ten thousand square feet or greater, the footprint of a detached accessory dwelling shall not exceed one thousand square feet.
 - d. The detached accessory dwelling shall maintain a proportional mass, size, and height to ensure it is not taller than the principal structure on the lot. The detached accessory dwelling height shall not exceed the height of the principal structure as measured to the eave line, with a maximum eave height of ten feet for single-story and seventeen feet for two-story detached accessory dwellings.
 - e. The roof ridge line of the detached accessory dwelling must be less than the primary structure and shall not exceed twenty-seven feet in height.

In conjunction with the neighborhoods where DADUs are possible and using research of historic outbuildings, the Commission has determined that a 25' maximum is appropriate for historic neighborhoods. Please see design guidelines for outbuildings.

8.Design Standards.

- a.The detached accessory dwelling shall be of similar style, design and material color as used for the principal structure and shall use similar architectural characteristics, including roof form and pitch, to the existing principal structure.
- b.The detached accessory dwelling may have dormers that relate to the style and proportion of windows on the detached accessory dwelling and shall be subordinate to the roofslope by covering no more than fifty percent of the roof.
- c.Detached accessory dwellings may have dormers that are setback a minimum of two feet from the exterior wall.

9.Historic Properties.

- a.Metro Historic Zoning Commission Action. Any existing or proposed detached accessory dwelling in a historic overlay district shall comply with the adopted regulations and guidelines of the applicable historic overlay.
- b.Detached accessory dwellings with a second story dwelling unit shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.

10.Restrictive Covenant. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the detached accessory dwelling is being established accessory to a principal structure and may only be used under the conditions listed above.

Design Guideline III.New Construction

H. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*
 - b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000 square feet.*
 - c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*
2. Historically, outbuildings were utilitarian in character. High-style accessory structures are generally not appropriate for Waverly-Belmont.

3. Roof

- a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Waverly-Belmont, historic accessory buildings were between 8' and 14' tall.

- b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
- c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
- d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*

4. Windows and Doors

- a. Publicly visible windows should be appropriate to the style of the house.
- b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
- c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
- d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
- e. Decorative raised panels on publicly visible garage doors are generally not appropriate.

5. Siding and Trim

- a. Weatherboard, and board-and-batten are typical siding materials.
- b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
- c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
- d. Stud wall lumber and embossed wood grain are prohibited.
- e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.

- a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
- b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
- c. Generally, attached garages are not appropriate.

Setbacks & Site Requirements.

- d. *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*
- e. *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- f. *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- g. *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

- h. *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

- i. On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.
- J. Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

7. Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- a. The lot area on which a DADU is placed shall comply with Table 17.12.020A.
 - b. The DADU may not exceed the maximums outlined previously for outbuildings.
 - c. No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.
 - d. A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met or the lot has been subdivided since August 15, 1984.
- Ownership.*
- e. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.
 - f. The DADU cannot be divided from the property ownership of the principal dwelling.
 - g. The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.
 - h. Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.
- Bulk and Massing.*
- i. The living space of a DADU shall not exceed seven hundred square feet.

Background: The house located at 917 Caruthers Avenue is a brick bungalow that was built c. 1914 (Figure 1) and contributes to the historic character of the Waverly-Belmont Neighborhood Conservation Zoning Overlay. MHZC approved a rear addition to the historic house in May 2016.



Figure 1: 917 Caruthers Avenue

Analysis and Findings: Application is to construct a detached accessory dwelling unit. Staff recommends receipt of the restrictive covenant for the DADU prior to issuance of the preservation permit.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Side-gable	X
Primary roof slope	12/12	X
Dormer slope	4/12	X
Porch form	under roof	X
Porch slope	n/a	n/a

Since the form and roof slopes are similar to historic outbuildings, the project meets Sections III.A.H.1 and 3 of the design guidelines and Section 17.16.030.G.8 of the ordinance.

Design Standards:

The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. The dormer fenestration is of a more modern layout and is atypical of the neighborhood context, but fits the characteristics of the recent rear addition to the house. Staff recommends that the windows in the dormers incorporate four to six inch (4”-6”) mullions between them as required by the design guidelines. The design includes a projecting bay on the upper level that projects from the principle wall by one foot and six inches (1’ 6”). Although atypical for the district, it does not extend beyond the roof overhang which minimizes its visual impact. In addition, the DADU is in a minimally-visible location at the rear of the historic house. With the condition that the windows in the dormers include four to six inch (4”-6”) mullions between them, staff finds that the structure meets Standard 8 of the Detached Accessory Dwelling Unit regulations and Section III.H.1 and 2 of the design guidelines.

Material:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Split-face CMU	Natural	X
Cladding	Cement board siding	Smooth, 5” reveal	X
Roofing	Asphalt shingles	Graphite	X
Trim	Not indicated	Needs final approval	
Windows	Not indicated	Needs final approval	
Pedestrian Doors	Half-light doors	Needs final approval	
Vehicular Doors	Not indicated	Needs final approval	
Porch post	Not indicated	Needs final approval	
Porch floor	Not indicated	Needs final approval	

With the staff’s final approval of the windows, pedestrian and garage doors, trim, porch post, and porch floor, staff finds that the known materials meet Section III.H.1, 4 and 5 of the design guidelines.

Setbacks: As proposed, the DADU meets all required setbacks per the Zoning Code. For outbuildings with a footprint less than seven hundred square feet (700 sq. ft.), the Zoning Code requires a minimum three foot (3') side setback and ten foot (10') rear setback when the garage door opens to the alley. The proposed DADU is six hundred and sixteen foot (616) footprint, including the recessed porch, and is located seven feet (7') from the right side property line, fifteen feet (15') from the left side property line, and ten feet (10') from the rear property line. The project meets Section III.H.6. of the design guidelines.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. If utilities are added to serve the DADU, staff asks that the HVAC be located either at the sides or rear of the structure. With this condition, staff finds that the project meets section II.A.I of the design guidelines.

General requirements for DADUs:

The answer to each of these questions must be "yes" for either an outbuilding or a DADU.

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	n/a	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2'?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	n/a	
Is the building located towards the rear of the lot?	Yes	

The project meets section III.H.6 and 7 of the design guidelines and sections 17.16.30.G.5, 8 and 9 of the ordinance.

General Requirements for DADU:

The answer to each of these questions must be "no."

	YES	NO
Does the lot NOT comply with Table 17.12.020A of the zoning code? (It isn't zoned two-family or doesn't have adequate square footage to be a legally conforming lot.)		No

Are there other accessory buildings on the lot that exceed 200 square feet?		No
Is the property zoned single-family?		No
Are there already two units on the property?	Yes	
Does the property owner NOT live on site or does NOT plan to move to this location once the DADU is complete?		No
Is the planned conditioned living space more than 700 square feet?		No

The primary structure is currently classified as a duplex, but the applicant has indicated that the owner intends to use the house as a single-family dwelling. A new Use and Occupancy permit must be issued to reclassify the structure as single-family as a maximum of two dwellings units can be permitted on the lot. With the condition that a new Use and Occupancy permit be obtained to reclassify the primary structure as a single-family dwelling prior to issuance of the preservation permit, staff finds that the project can meet section III.H.6 and 7 of the design guidelines and sections 17.16.30.G.1,2,3, and 7 of the ordinance.

Site Planning:

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20'	41'
Rear setback	10'	10'
L side setback	3'	15'
R side setback	3'	7'
How is the building accessed?	From the alley or existing curb cut	Alley

The project meets section III.H.6 and 7 of the design guidelines and 17.16.30.G. 4 of the ordinance.

Massing Planning:

To determine the maximum height of the outbuilding or DADU, as measured from grade, complete the table below and choose the lesser number.

	Existing conditions (height of historic portion of the home	Potential maximums (heights to be	Proposed (should be the same or less than the lesser number to the left)

	to be measured from finished floor)	measured from grade)	
Ridge Height	26'-2 1/2"	25'	23'
Eave Height	10'-10"	1 story 10'	10'

One-story building:

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1269 sq. ft.	616 sq. ft.

The project meets section III.H.6 and 7 of the design guidelines and 17.16.30.G. 7 of the ordinance.

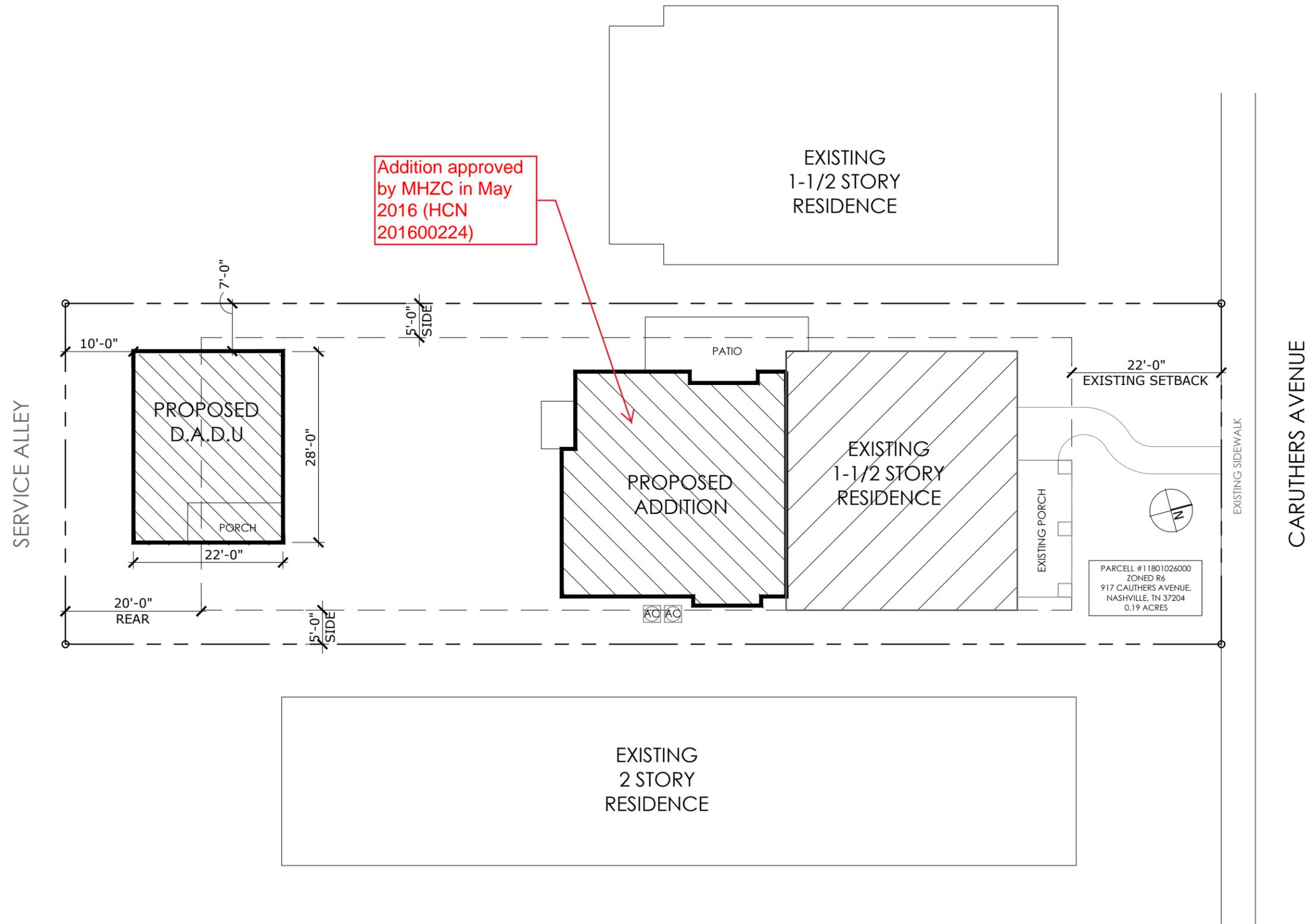
Recommendation Summary: Staff recommends approval of the proposed DADU with the following conditions:

1. A new Use and Occupancy permit be obtained to reclassify the primary structure as a single-family dwelling prior to issuance of the preservation permit;
2. Staff approve the final details, dimensions, and materials of the windows, pedestrian and garage doors, trim, porch post, and porch floor prior to purchase and installation;
3. The windows in the dormers shall have four to six inch (4"-6") mullions between them;
4. HVAC be located either at the sides or rear of the structure so that it will not be visible from the street; and
5. Recorded restrictive covenant for the DADU shall be submitted prior to issuance of the preservation permit.

With these conditions, staff finds that the detached accessory dwelling unit meets Ordinance 17.16.030. G. and Section III.H of the Waverly-Belmont Neighborhood Conservation zoning overlay design guidelines for this neighborhood.

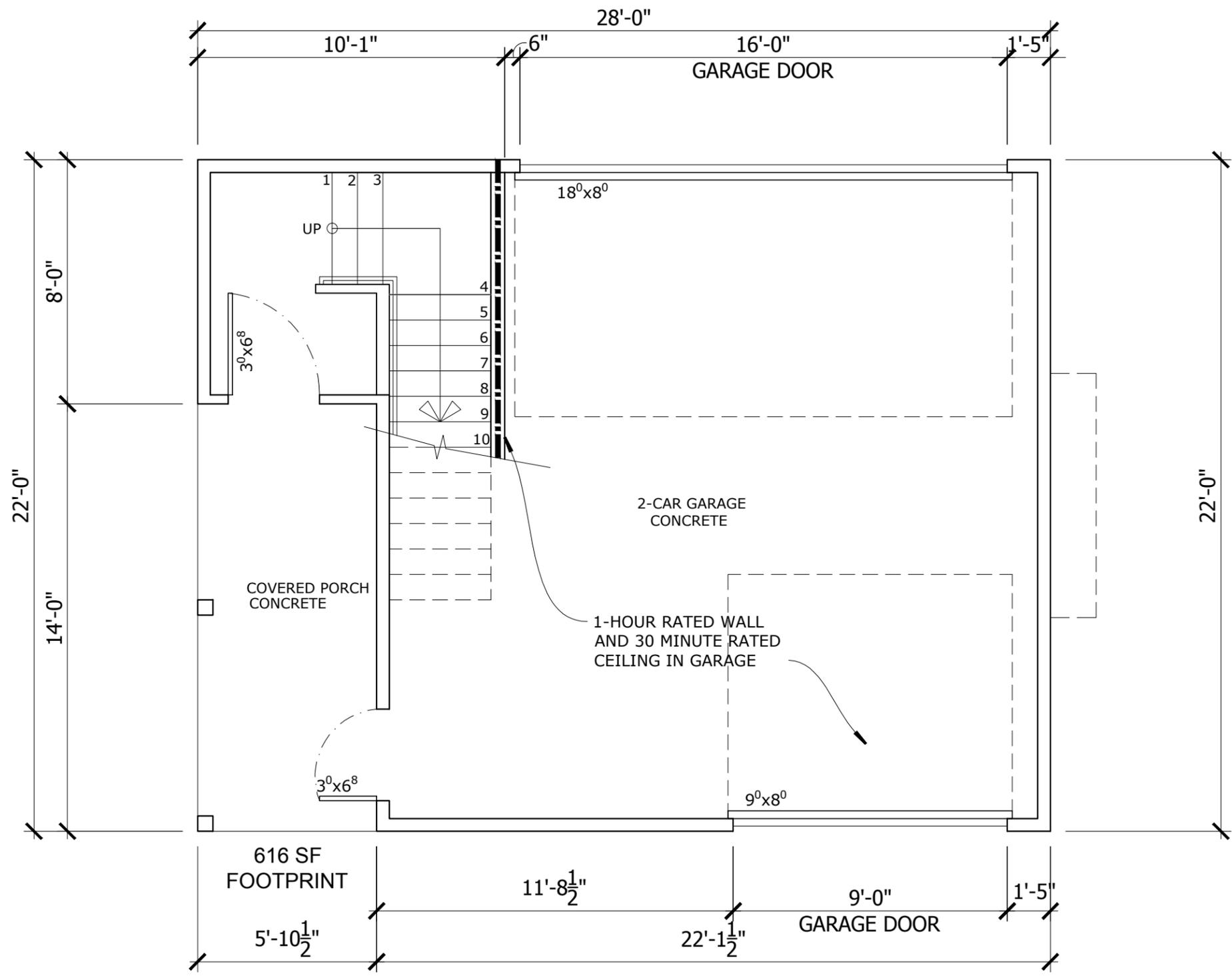
The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.

THESE DRAWINGS SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. ALL DESIGNS AND INTELLECTUAL PROPERTY SHALL REMAIN EXCLUSIVELY OWNED BY THE ARCHITECT.



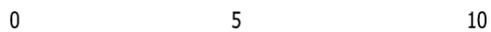
ARCHITECTURAL SITE PLAN

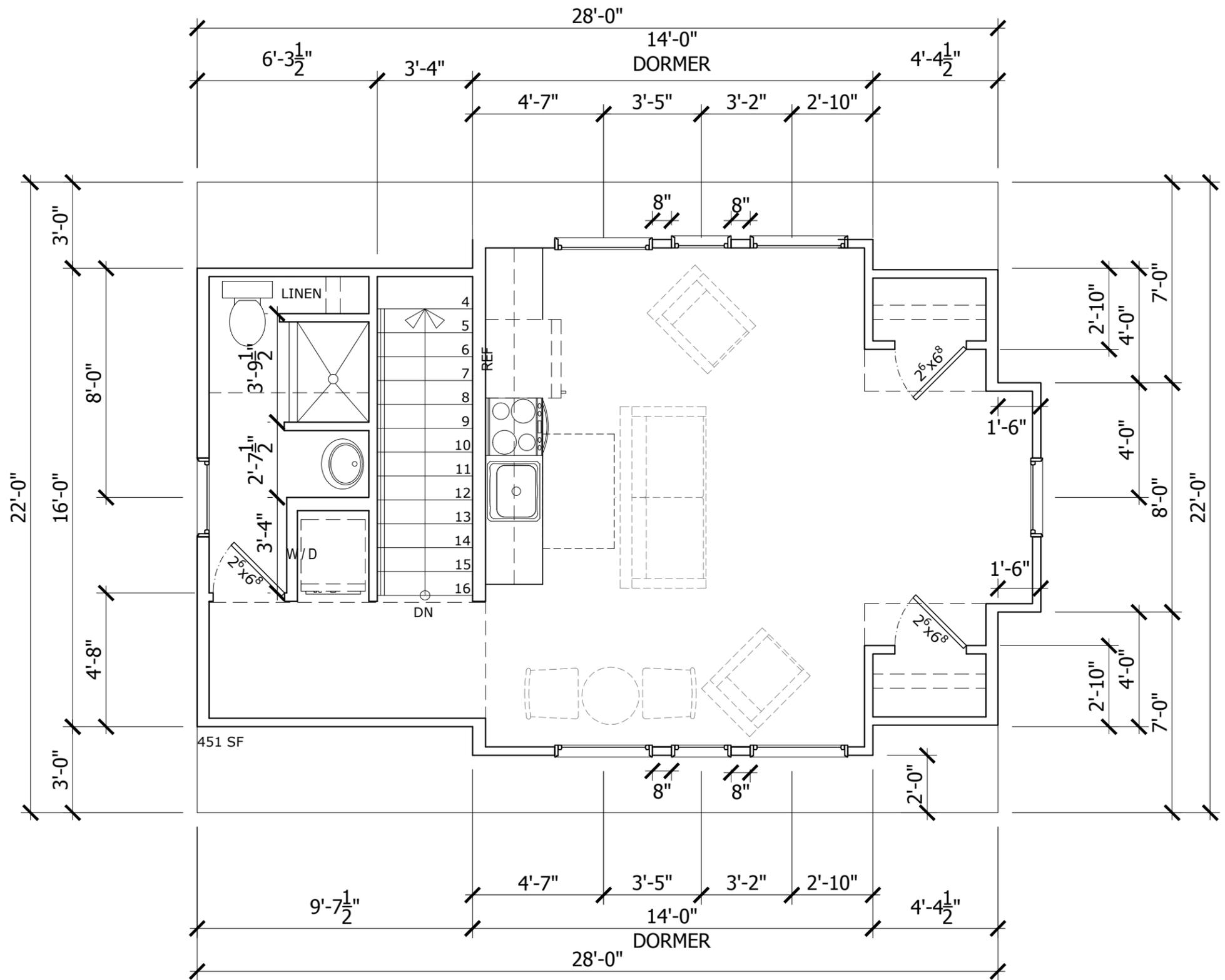




FIRST FLOOR PLANS

1/4" = 1'-0"

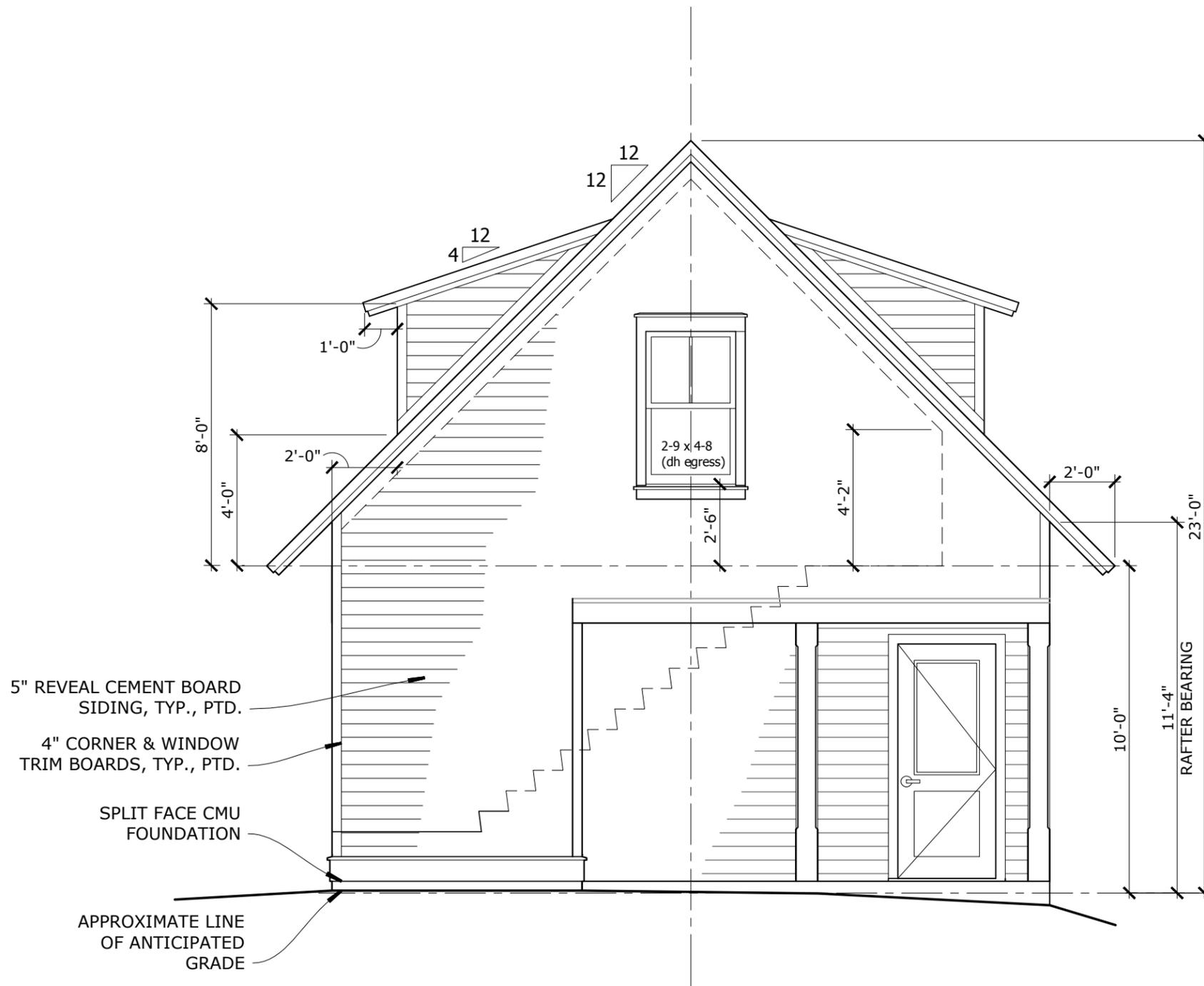




SECOND FLOOR PLANS



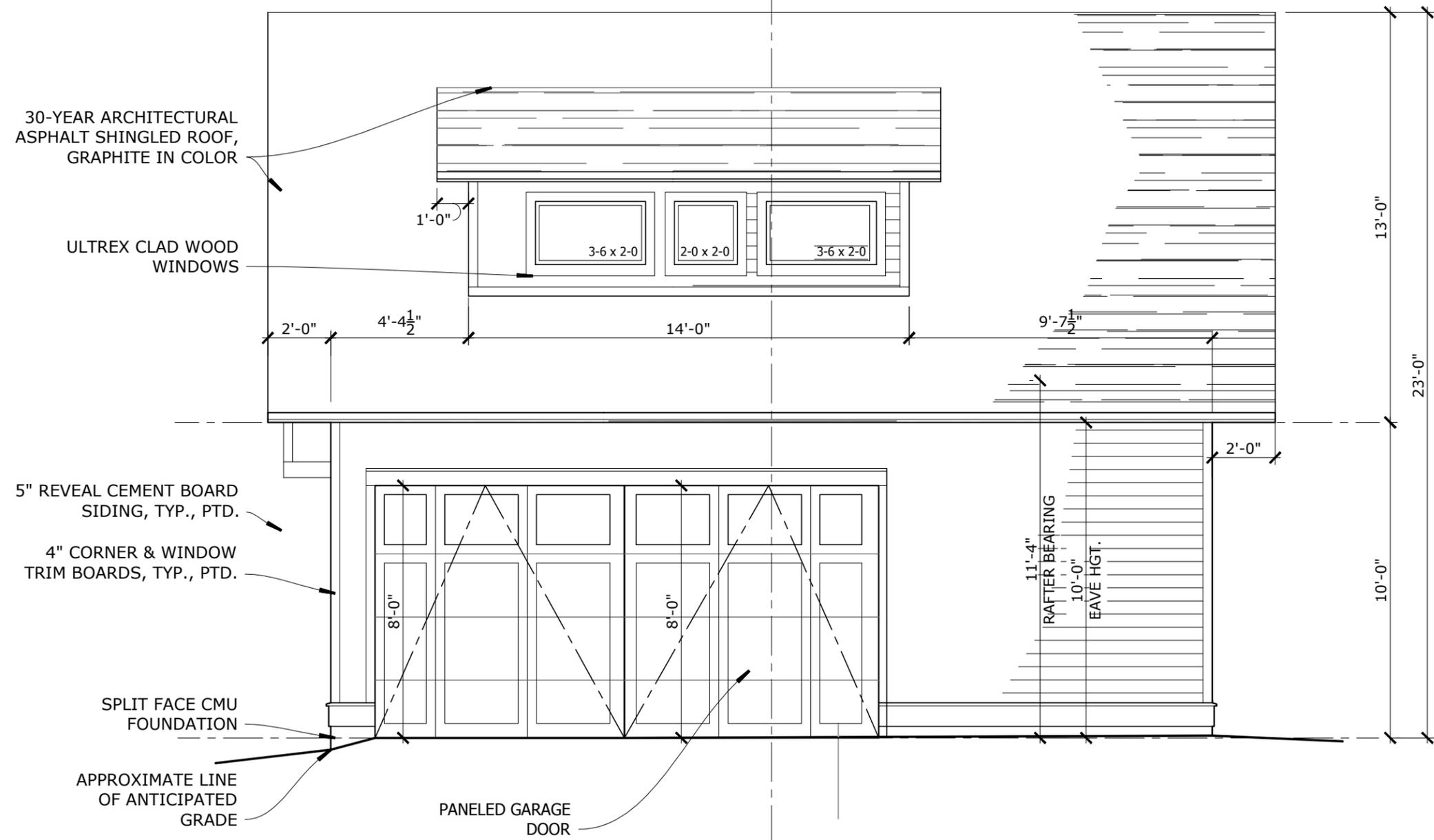
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SIDE ELEVATION (FACING EAST)

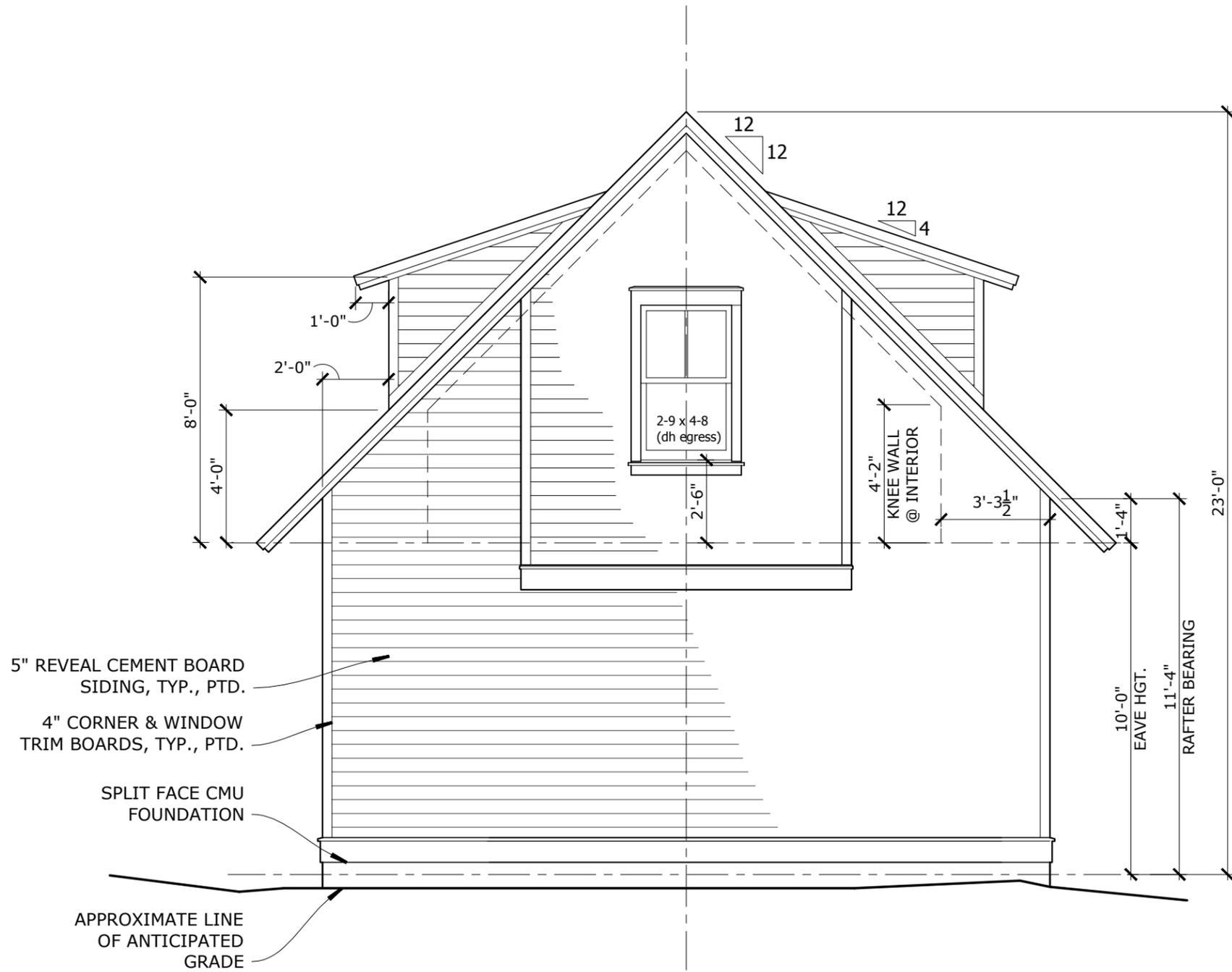


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SOUTH ELEVATION

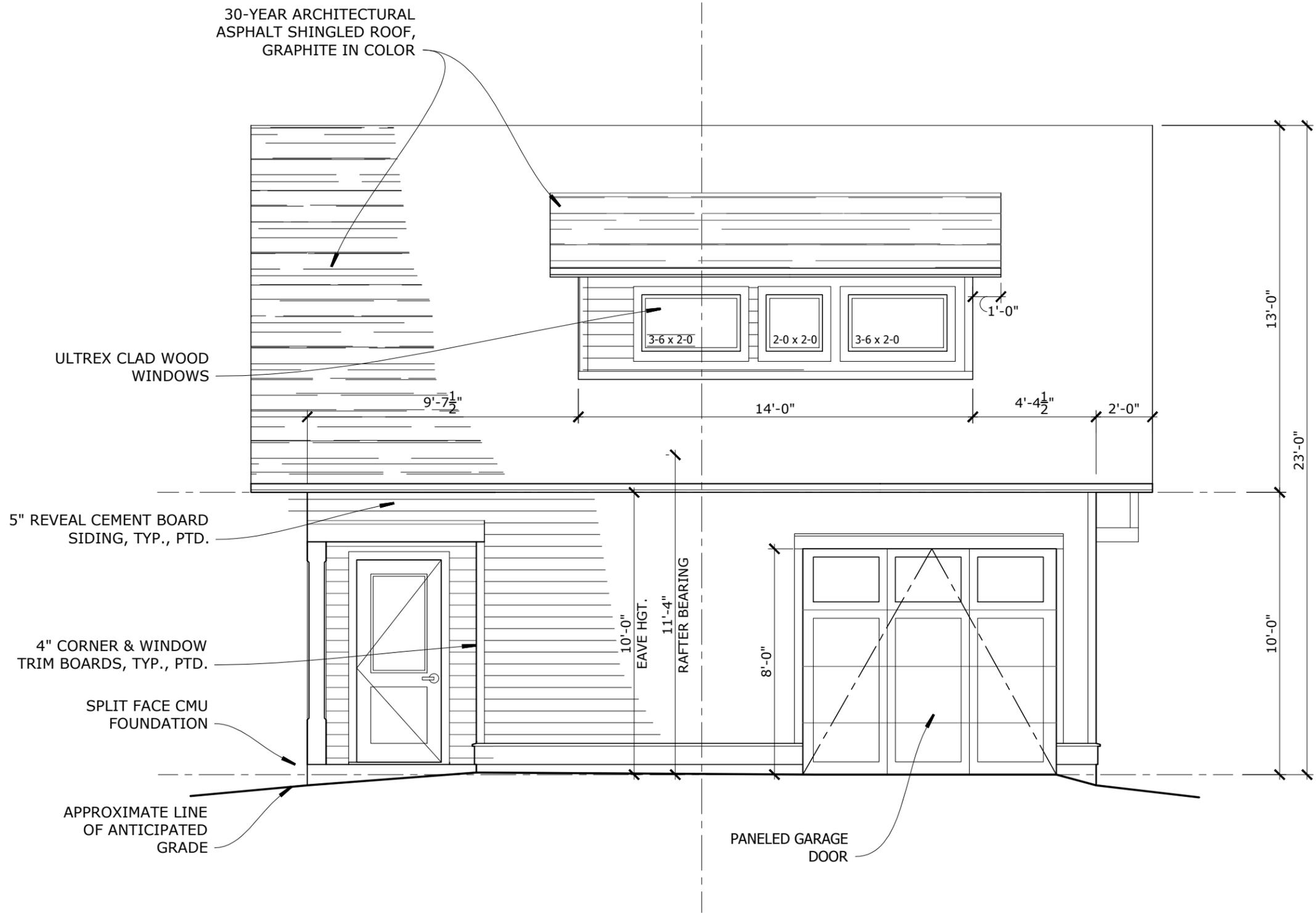




SIDE ELEVATION (FACING WEST)



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NORTH ELEVATION

