

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 0 Murphy Road (Acklen Park Drive) March 15, 2017

Application: New construction – infill (two duplex lots)
District: Richland-West End Addition Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10405006500
Applicant: Patrick Chisholm, Vandy Acklen Park LLC
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant seeks approval to construct two duplex structures on new lots upon completion of the subdivision and platting of a large parcel. The buildings will be similar in scale and design, they will be twenty-nine feet five inches (29'-5") tall, thirty-four feet (34') wide, and sixty-eight feet (68') deep, with different roofs and cladding to differentiate them.

Recommendation Summary: Staff recommends approval of the proposed duplex structures with the following conditions:

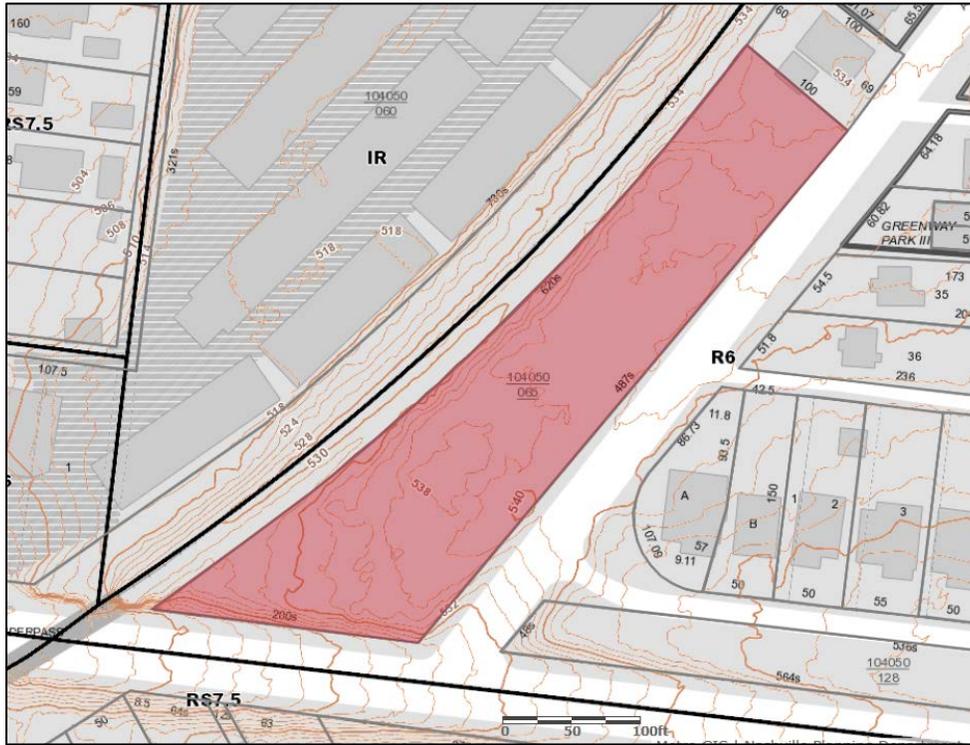
1. The elevations shall be revised to accurately reflect the grade of the lots and foundation heights;
2. Staff shall inspect the foundation heights during construction to verify that the floor levels are consistent with the surrounding context;
3. The front dormers shall be revised to a form more typical if the historic context;
4. The siding reveals and textures, roof colors, windows, doors, and other materials not known shall be administratively approved prior to permitting;
5. Walkways are added to lead from each porch to the sidewalk; and
6. The materials of all paving shall be approved by Staff and the HVAC shall be located on the rear façades or on side façade beyond the midpoints of the houses.

With those conditions met, Staff finds that the project would be compatible with surrounding historic houses, and that the project will meet the *Richland-West End Addition Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines*.

Attachments

- A: Photographs
- B: Site Plan
- C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

Background: The property at the northwest corner of the intersection of Murphy Road and Acklen Park Drive is approximately one and one-half acres in size. The property is bounded on the rear by an active CSX rail line with a built-up berm.

The lot has been approved for subdivision into eight parcels: six single-family lots and two duplex lots. The platting of the lot is in progress, and the infrastructure (water, sewer, sidewalks, etc.) is nearly completed. It is expected to be final before the MHZC meeting on March 15th, 2017.

The MHZC reviewed and approved the plans for the six single-family lots in December of 2016.

Analysis and Findings: The applicant is seeking approval of plans for constructing duplexes on the two remaining lots.

Height & Scale: The two new buildings have similar designs, and will be nearly identical to each other in scale. The buildings will be similar in form to one and one-half story bungalows in the district and will be twenty-nine feet five inches (29'-5") tall, with a floor-ridge height of twenty-eight feet (28') and a floor height of one foot, five inches (1'-5"). The eave height of the buildings will be ten feet (10') above the floor level. This matches the height of the six approved single-family buildings and is compatible with historic buildings nearby. They will both be thirty-four feet (34') wide, and have a depth of sixty-eight feet (68') including a nine foot (9') deep front porch. The massing of the buildings will be broken up by having the rear twenty-feet (20') stepped in one foot (1') on each side. This helps the buildings appear smaller in scale and to read somewhat like a house that has had a rear addition.

Since there is no immediate historic context for the site, staff compared the proposed duplexes to historic houses along Murphy Road and Greenway Avenue. These houses range in height from sixteen feet (16') to thirty-one feet (31') tall, and are typically one or one and one-half stories. Their widths range from approximately thirty-two feet (32') to forty-five feet (45') and their depths range from as little as thirty-one feet (31') to as much as eighty-eight feet (88').

522 Acklen Park Drive, which is across the street from this new development, was approved in 2012 to be twenty-nine feet, eleven inches (29'-11") tall from existing grade with a porch eave height of approximately ten feet, eleven inches (10'-11") above the grade. The primary structure is thirty-three feet, four inches (33'-4") wide and forty-six feet, ten inches (46'-10") deep. 515 Acklen Park Drive was approved in 2013 to be one-and-a-half stories with a maximum ridge height of thirty feet, one inch (30'-1").

The topography of the property appears to slope down to the left, which is not clearly depicted on the elevations. Staff asks that the elevations are revised to show the foundation height and to inspect the foundation heights during construction to verify that the floor levels are consistent with the context.

Staff finds the scale of the buildings to be compatible with buildings in the surrounding area, and to meet sections II.B.1.a and II.B.1.b of the design guidelines.

Setback & Rhythm of Spacing: The new duplex buildings will be set back fifteen feet (15') from the front property line. The existing house at 522 Acklen Park Drive to the north, was approved by the MHZC in 2012 with a nineteen foot (19') front setback; however, the 0 Murphy Road subdivision included a four foot (4') sidewalk dedication at the front of the property. The new buildings will therefore match the existing context. Each building will be shifted to one side of its lot to allow a shared driveway in between. The side setbacks will be five feet (5') on the outer sides, varying from thirteen feet (13') to seventeen feet (17') on the interior yard setbacks depending on lot width. These setbacks are consistent with the 2012 infill at 522 Acklen Park Drive and the six recently

approved infill lots, which are also shifted to one side with a driveway on the other. The proposed setbacks and rhythm of spacing will be compatible with the surrounding context and will meet section II.B.1.c of the design guidelines.

Materials:

	Proposed	Color/Texture /Make/Manuf acturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Split Face	Yes	
Front Porch floor/steps	Not indicated	Need information		X
Primary roofing	Architectural Shingles	Color unknown	Yes	X
Cladding	Clapboard siding, Shingle siding	Need information	Yes	X
Trim	Wood or cement fiberboard	Need information	Yes	X
Front Porch Roofs	Asphalt Shingles	Color unknown	Yes	X
Front Porch Posts	Not indicated	Need information		X
Front Porch Railings	n/a	n/a	n/a	
Windows	Not indicated	Needs final approval	Unknown	X
Front Doors	Panel doors with ¼ light	Needs final approval	Yes	X
Rear Doors	Full lights, Full light pairs	Needs final approval	Unknown	X
Driveway material	Not indicated	Needs final approval	Unknown	X
Walkways material	Not indicated	Needs final approval	Unknown	X
Fences/walls	n/a	n/a	n/a	

The primary exterior materials of the new buildings will be split-faced concrete block foundations, cement-fiber siding, and asphalt shingle roofs. These primary materials are compatible with those of historic buildings nearby. Additional information including the siding reveals and textures, trim materials, roof colors, windows, doors, and other materials not known shall be administratively approved prior to permitting to ensure that the project meets section II.B.1.d of the design guidelines.

Roof forms: The roofs on the duplex structures will be as described in the chart below.

	Primary roof	Dormer	Porch type	Porch roof
Lot 7	Side-oriented gable, 8:12 pitch	Nested front-gables, 8:12 pitch	Full-width, partially recessed with small gable projection	Under primary roof, 4:12 pitch on gable
Lot 8	Side-oriented gable (jerkinhead), 8:12 pitch	Nested front-gables, 8:12 pitch	Full-width, partially recessed with small gable projection	Under primary roof, 4:12 pitch on gable

The primary roof forms and pitches are commonly found on historic houses throughout the neighborhood, as are the forms and pitches of the porches. Nested gables, however, are not a feature found on historic buildings in the surrounding area. Staff recommends that the dormers be simplified to be more like those on historic houses. With that revision, Staff finds that the project would meet section II.B.1.e of the design guidelines.

Orientation: The proposed structures are oriented directly toward Acklen Park Drive, with the entrances within the porches addressing the street directly. Staff recommends that walkways be added leading from each porch to the sidewalk. Staff finds this would be consistent with the historic context and that the proposed infill will meet section II.B.1.f of the design guidelines.

Proportion and Rhythm of Openings: Historic houses nearby typically have windows that are twice as tall as they are wide, with the first story windows larger than the upperstory windows. The proportions of windows on the proposed infill will be generally compatible with those of historic houses. The side elevations will have smaller horizontally-oriented windows and areas without openings toward the rear, however Staff does find the window proportions there to be acceptable because they are located where they would not be prominently viewed. Staff finds the project’s proportion and rhythm of openings will meet section II.B.1.g of the design guidelines.

Appurtenances & Utilities: The material of the driveways is not known. Staff recommends that walkways be added between the front porches and the sidewalk, and that the walkway material match the driveways. The location of the HVAC and other utilities was not noted. Staff asks that the materials of all paving shall be approved by Staff and that the HVAC would be located on the rear façades, or on side façades beyond the midpoints of the buildings, to ensure that the project meets section II.B.1.i of the design guidelines.

Recommendation: Staff recommends approval of the proposed infill duplexes with the following conditions:

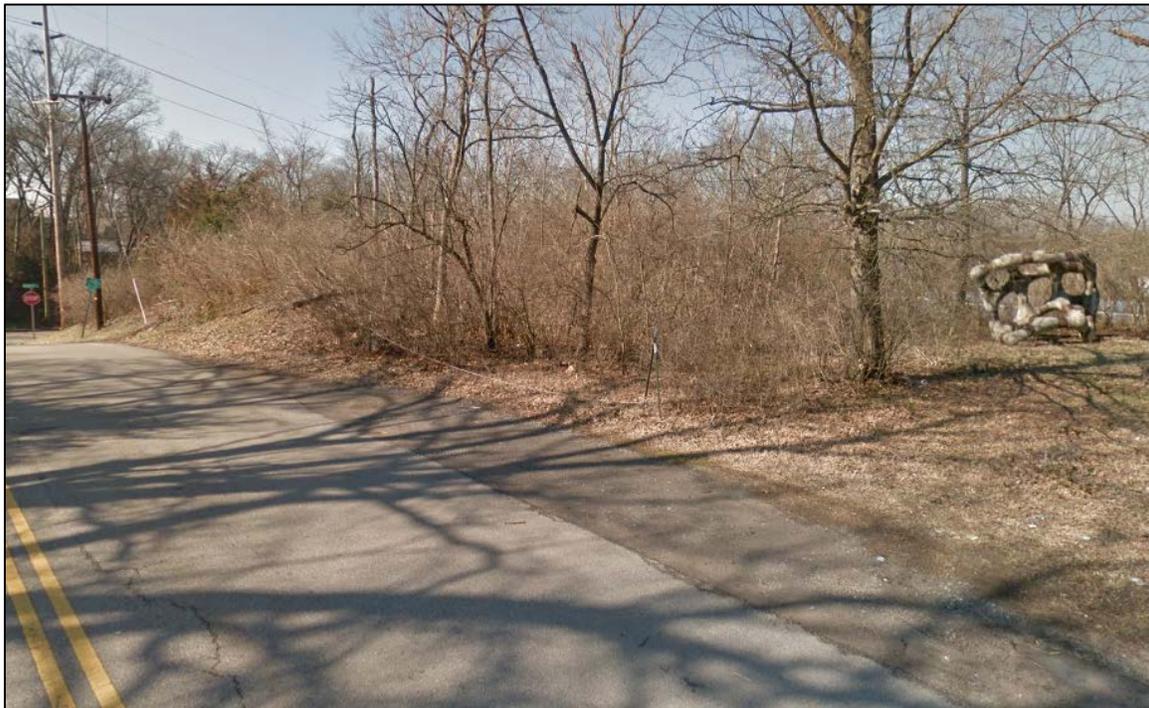
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4. The siding reveals and textures, roof colors, windows, doors, and other materials not known shall be administratively approved prior to permitting;
5. Walkways are added to lead from each porch to the sidewalk; and
6. The materials of all paving shall be approved by Staff and the HVAC shall be located on the rear façades or on side façade beyond the midpoints of the houses.

With those conditions met, Staff finds that the project would be compatible with surrounding historic houses, and that the project will meet the Richland-West End Addition Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines.

The Commission does not have the authority to approve the use. This recommendation is for the design of the building based on the proposed use.



Vacant property at 0 Murphy Road, viewed from south. Lots 7 and 8 are closest to the intersection of Acklen Park Drive and Murphy Road. Infill structures on Lots 1-6 were approved in a previous application.



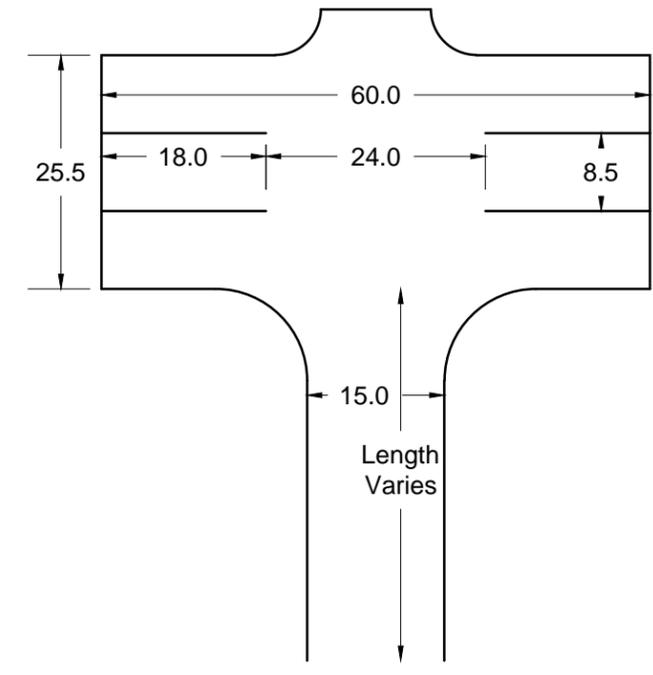
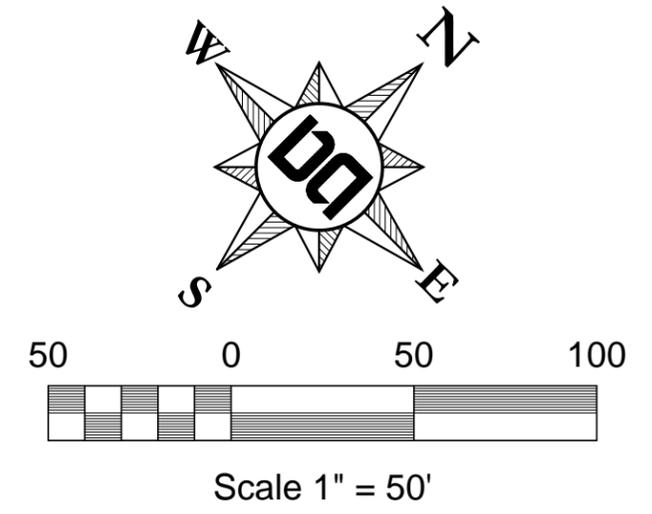
Vacant property at 0 Murphy Road, viewed from north.



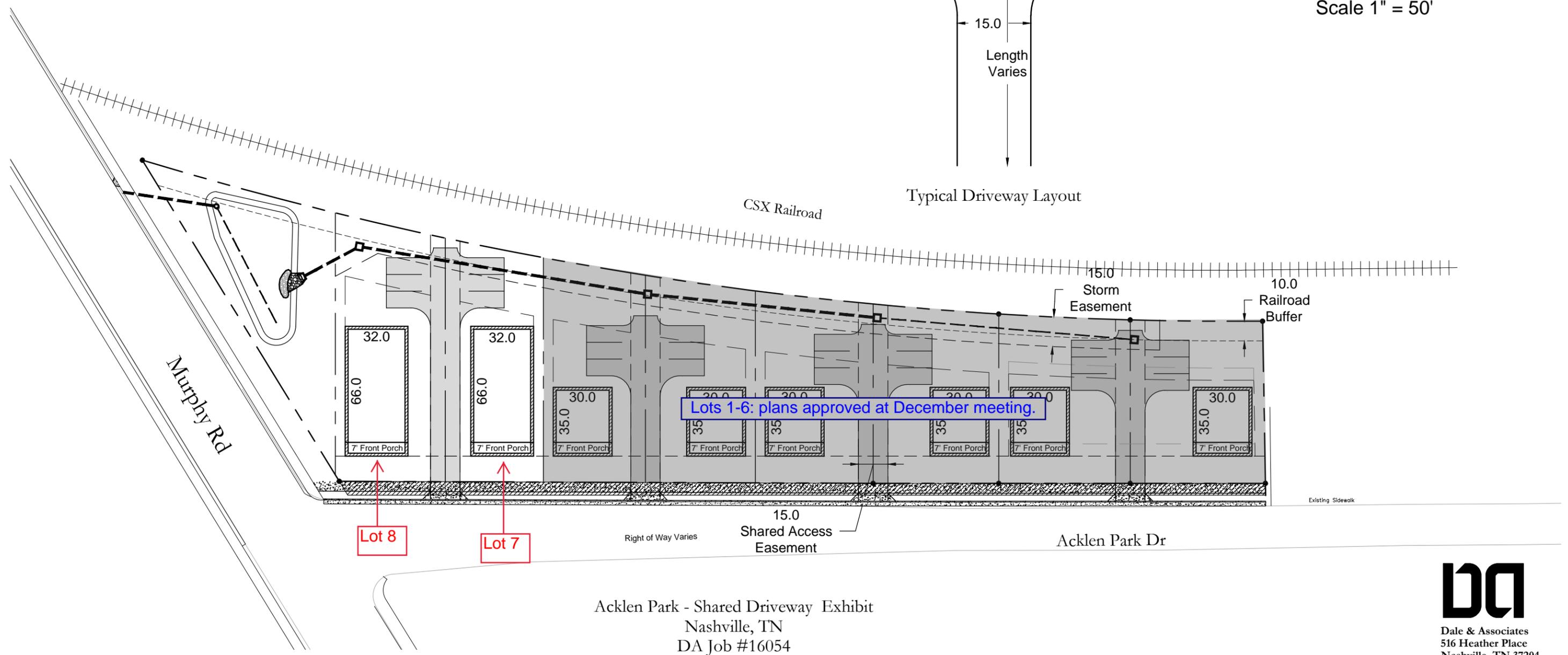
522 Acklen Park Drive, approved by the MHZC in 2012.



515 and 517 Acklen Park Drive, approved by the MHZC in 2013.



Typical Driveway Layout



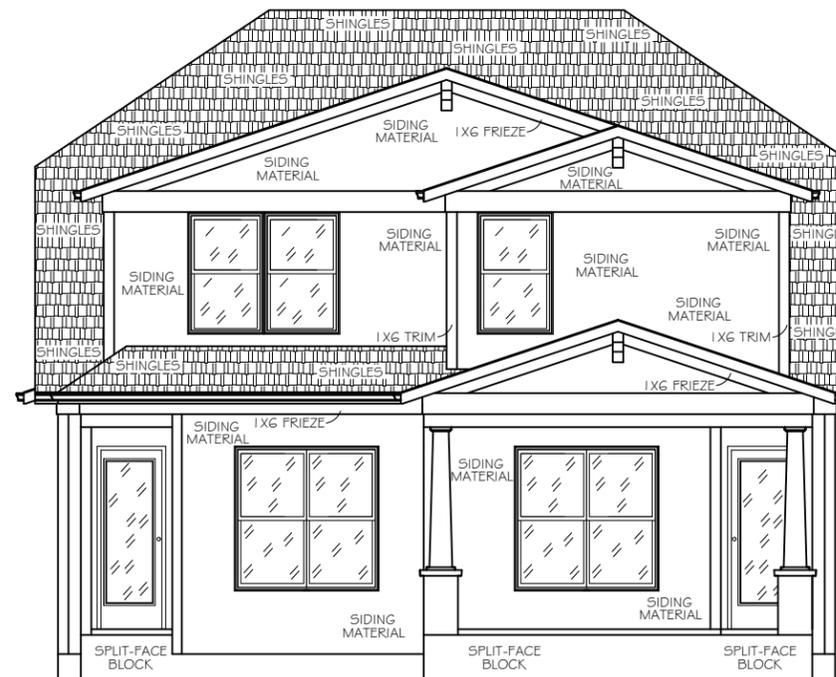
Acklen Park - Shared Driveway Exhibit
 Nashville, TN
 DA Job #16054

DA
 Dale & Associates
 516 Heather Place
 Nashville, TN 37204
 (615) 297-5166



FRONT ELEVATION

1/8" = 1'-0"
(Lot 7)



REAR ELEVATION

1/8" = 1'-0"

Lot 7 (Units 7&8),
Acklen Park

It is the intent of these documents to provide sufficient information to the experienced builder to construct the project shown; it is therefore his / her responsibility to verify accuracy and compliance with all regulatory agencies prior to construction; and their requirements must take precedence over those shown.

DRAWN BY:
J.W.

PLAN NUMBER:
Lot 7, AP

DATE: 1/13/17

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Home Designs LLC.

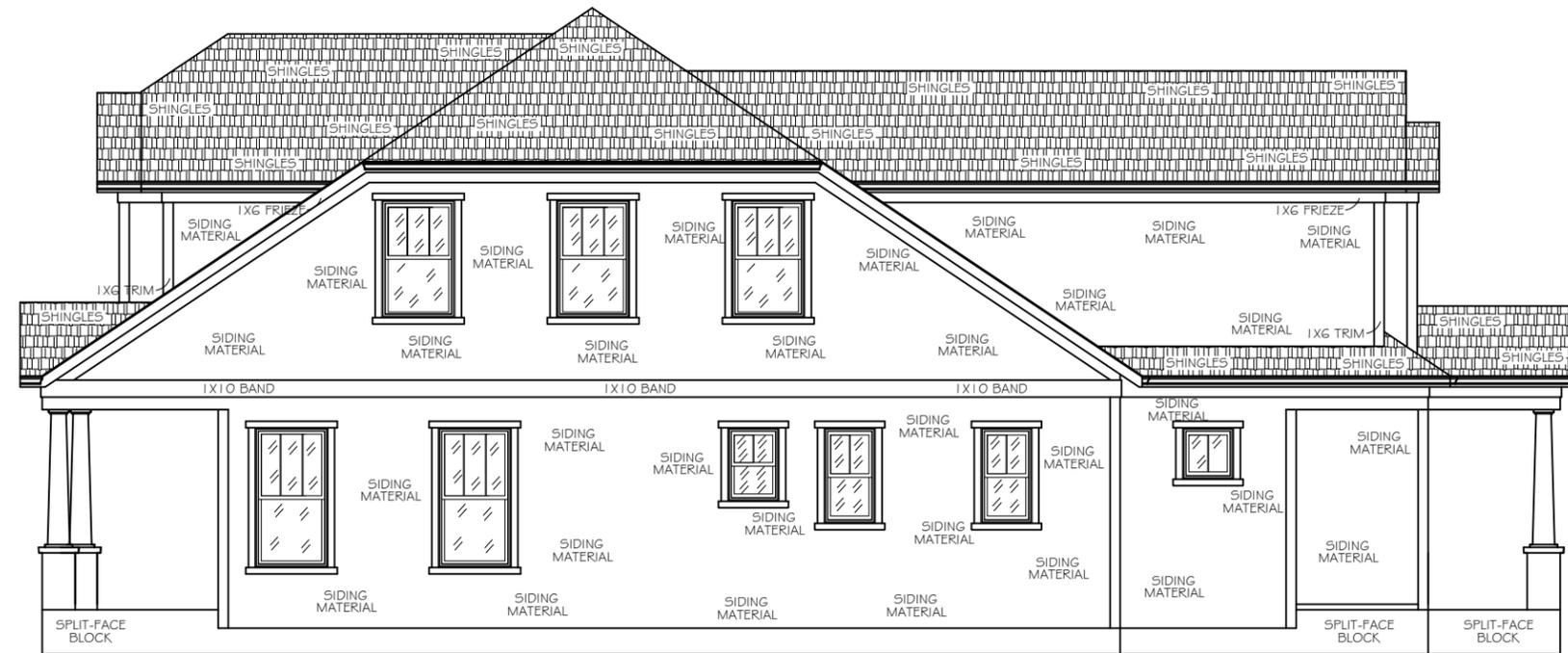
P.O. Box 159144 Nashville, TN 37215

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LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

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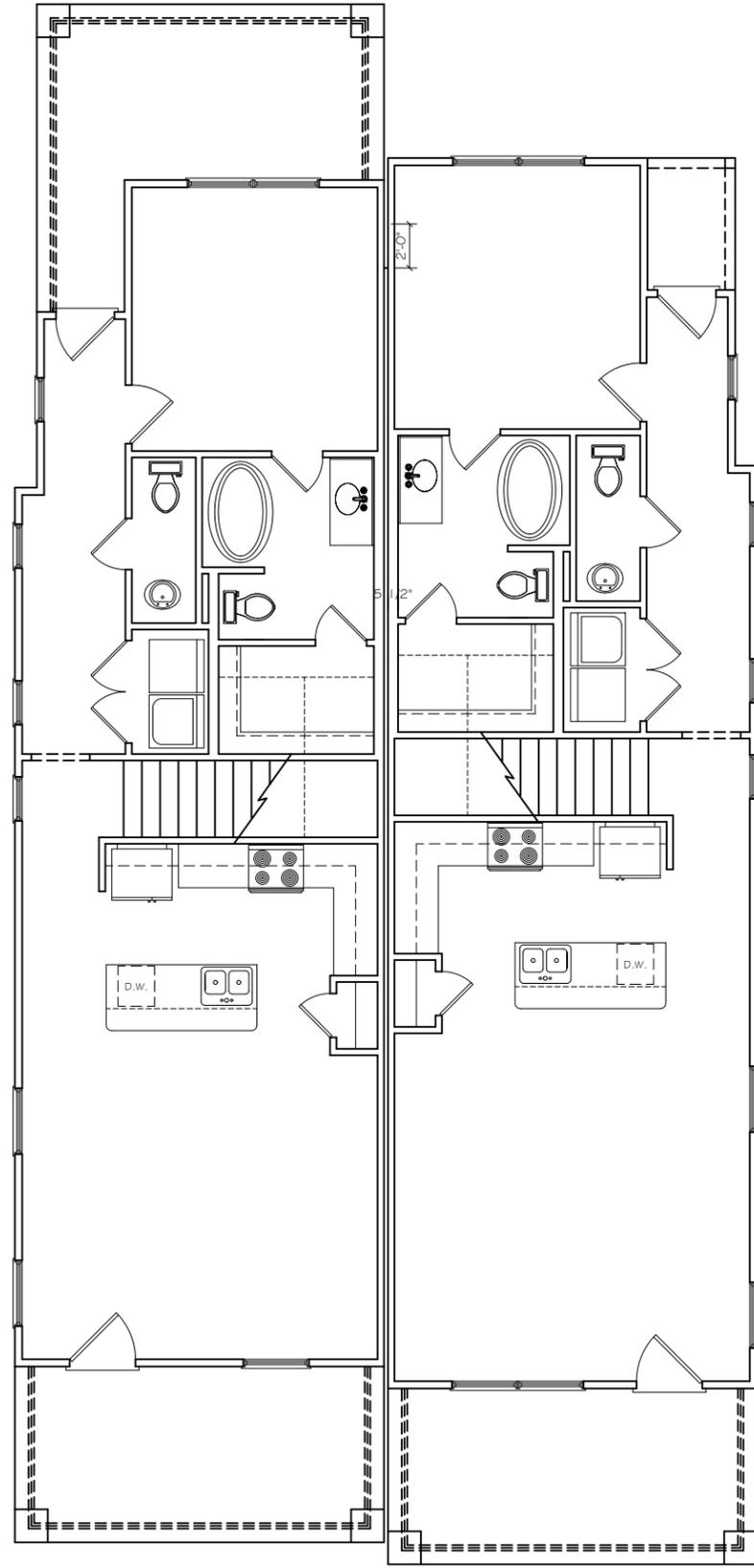
Lot 7 (Units 7&8),
Acklen Park

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DRAWN BY:
J.W.

PLAN NUMBER:
Lot 7, AP

DATE: 1/13/17



FIRST FLOOR BUILDING LAYOUT

Units 8 & 7
 1/8" = 1'-0"

Lot 7 (Units 7&8),
 Acklen Park

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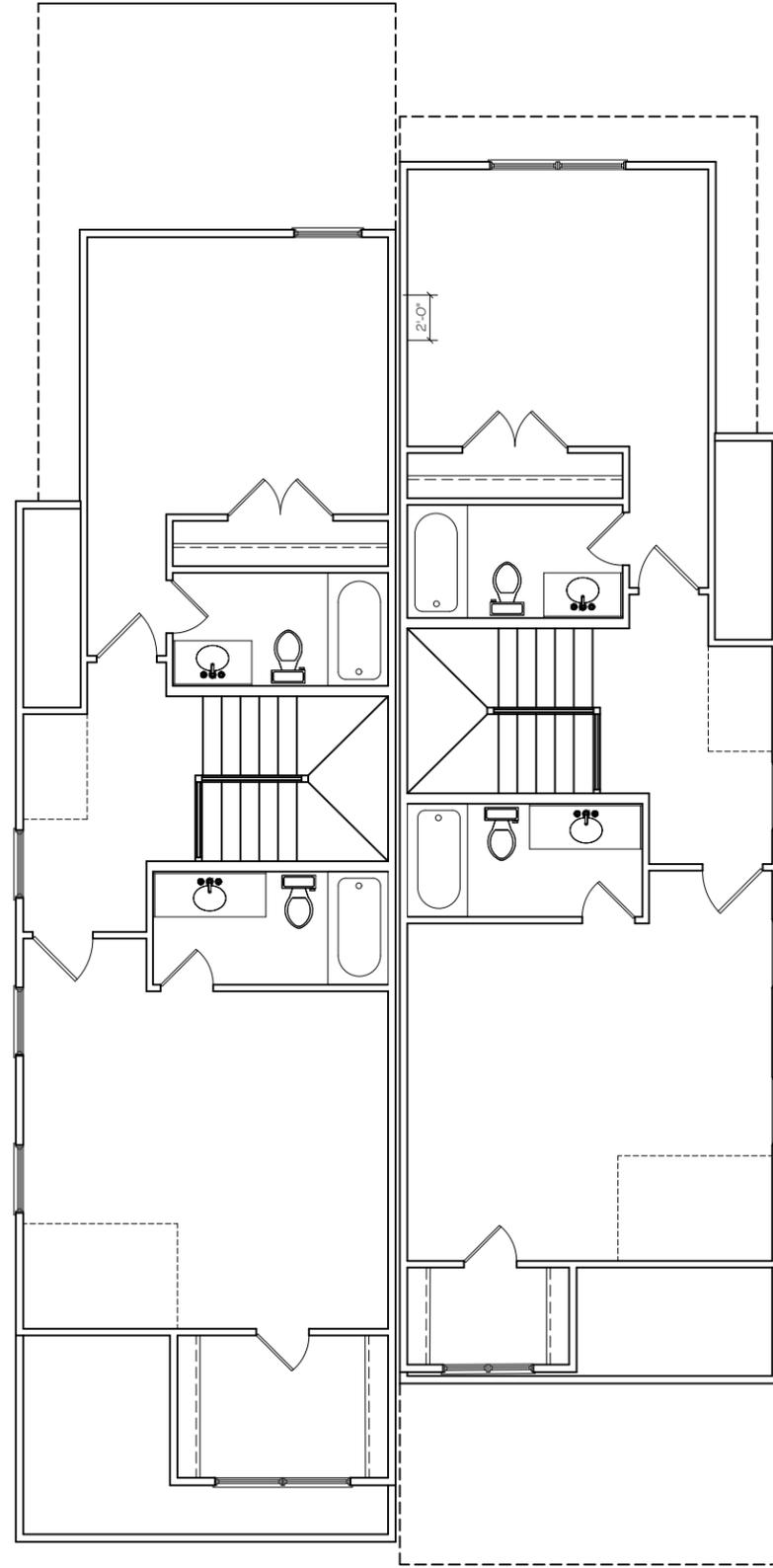
PLAN NUMBER:
 Lot 7, AP

DATE: 1/13/17

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SECOND FLOOR BUILDING LAYOUT

Units 8 & 7
 1/8" = 1'-0"

**Lot 7 (Units 7&8),
 Acklen Park**

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DRAWN BY:
 J.W.

PLAN NUMBER:
 Lot 7, AP

DATE: 1/13/17

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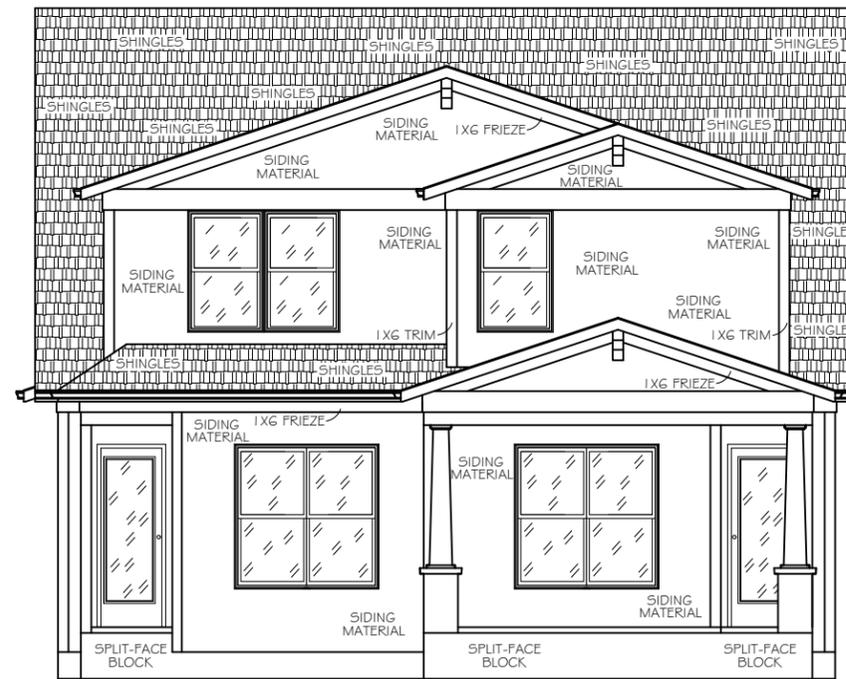
P.O. Box 159144 Nashville, TN 37215

Proudly working with:



FRONT ELEVATION

1/8" = 1'-0"
(Lot 8)



REAR ELEVATION

1/8" = 1'-0"

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Lots 8, (Units 9&10)
Acklen Park

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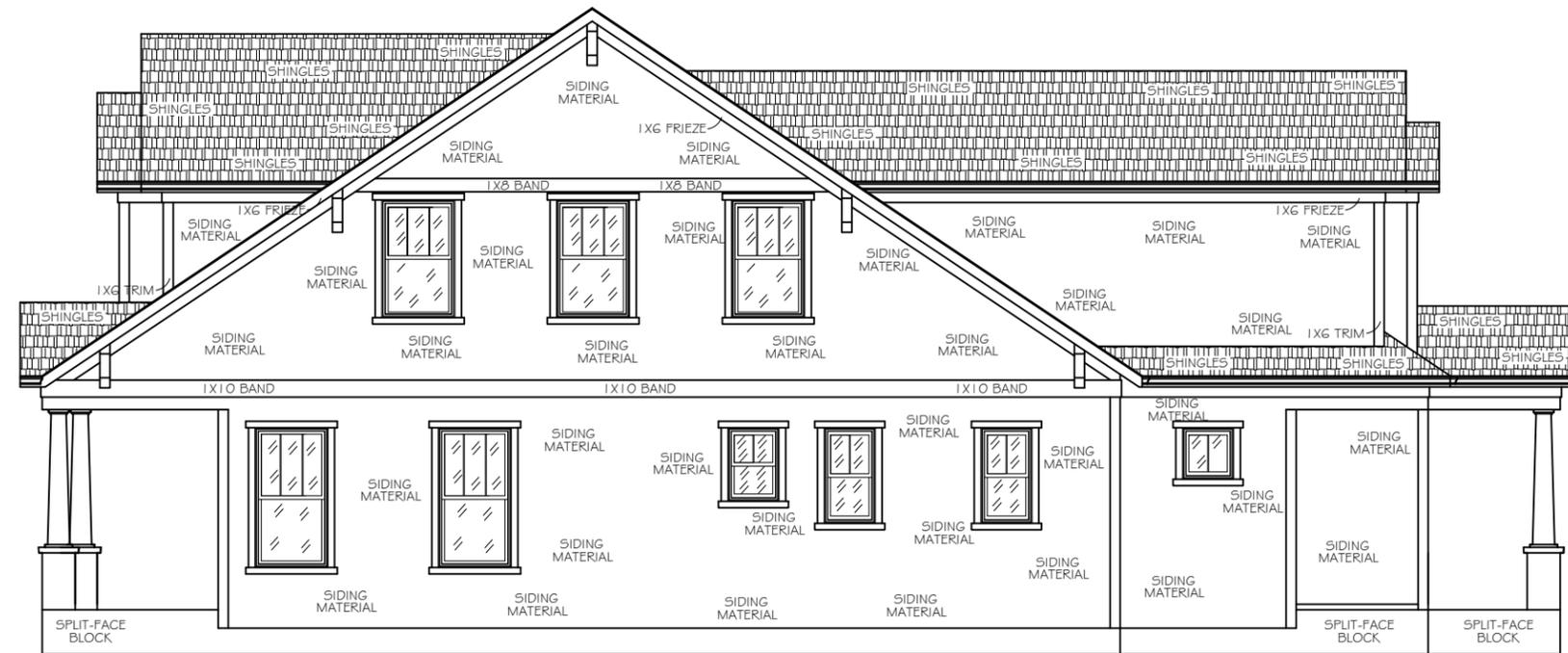
PLAN NUMBER:
Lot 8, AP

DATE: 1/13/17



LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

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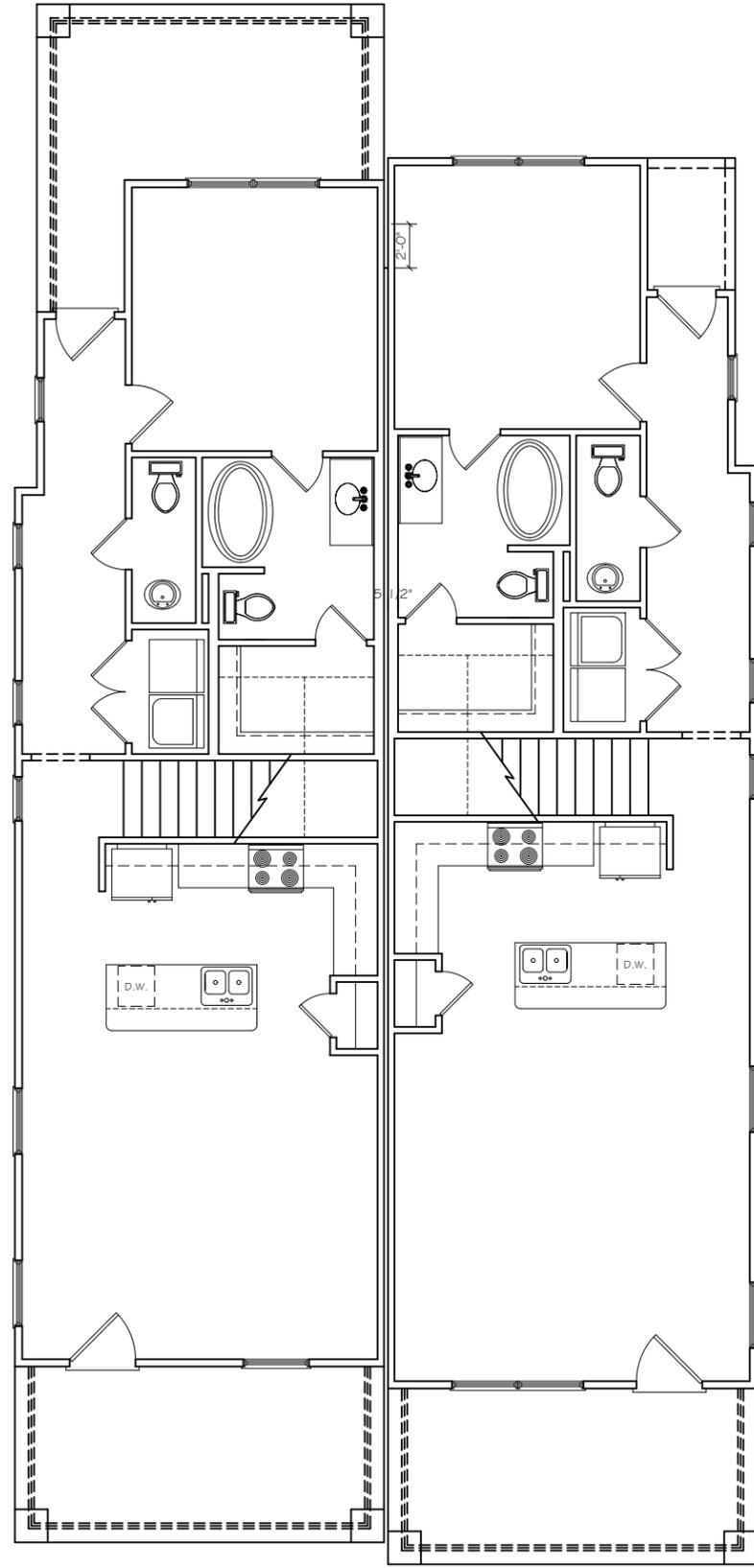
Lots 8, (Units 9&10)
Acklen Park

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DRAWN BY:
J.W.

PLAN NUMBER:
Lot 8, AP

DATE: 1/13/17



FIRST FLOOR BUILDING LAYOUT

Lots 10 & 9
1/8" = 1'-0"

Lots 8, (Units 9&10)
Acklen Park

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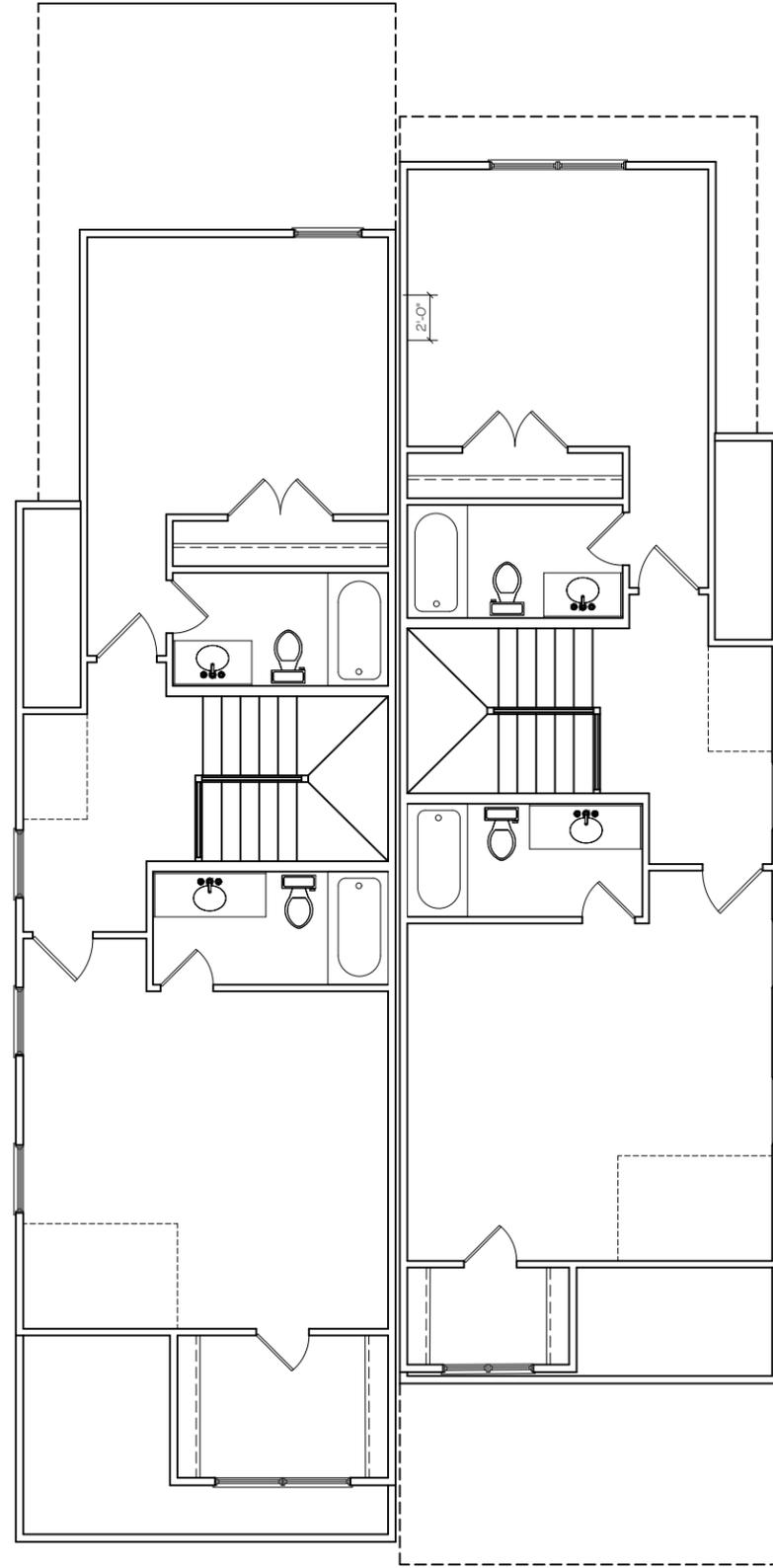
PLAN NUMBER:
Lot 8, AP

DATE: 1/13/17

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SECOND FLOOR BUILDING LAYOUT

Lots 10 # 9
 1/8" = 1'-0"

**Lots 8, (Units 9&10)
 Acklen Park**

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DRAWN BY:
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