

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
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STAFF RECOMMENDATION 200 4th Avenue North March 15, 2017

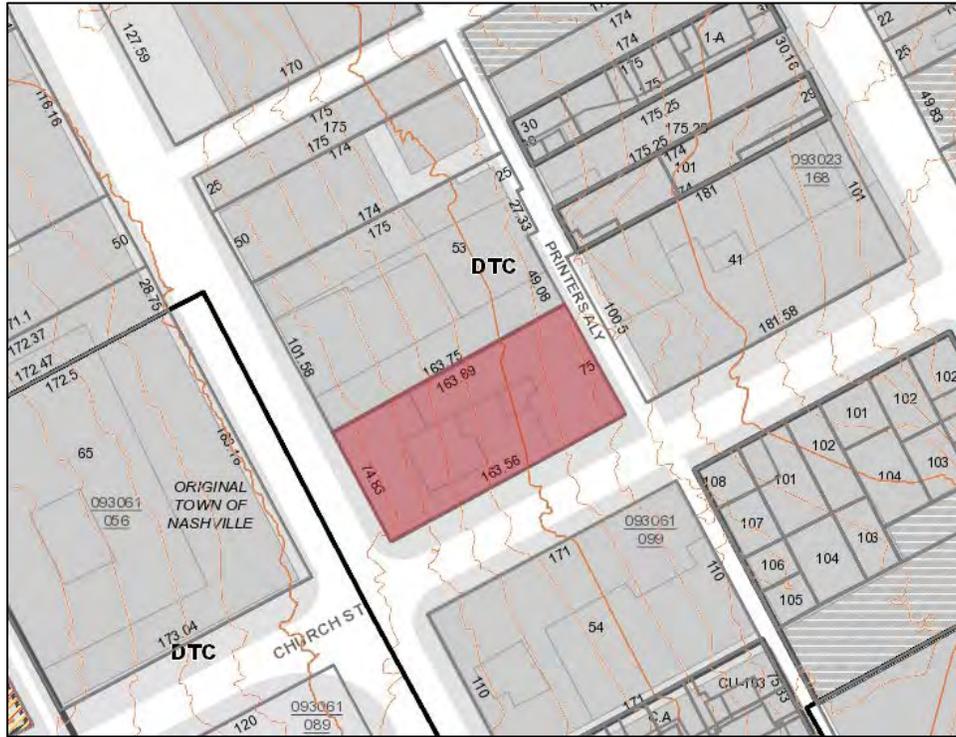
Application: Rehabilitation – Canopies; Signage
District: Downtown Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306106000
Applicant: David Hawkins and Jessa Kohl
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to install two metal canopies on the building and to install five signs. The canopies will be over the main front entrance and a side entrance, and the signs will include a projecting corner sign, a canopy sign, and two wall signs.

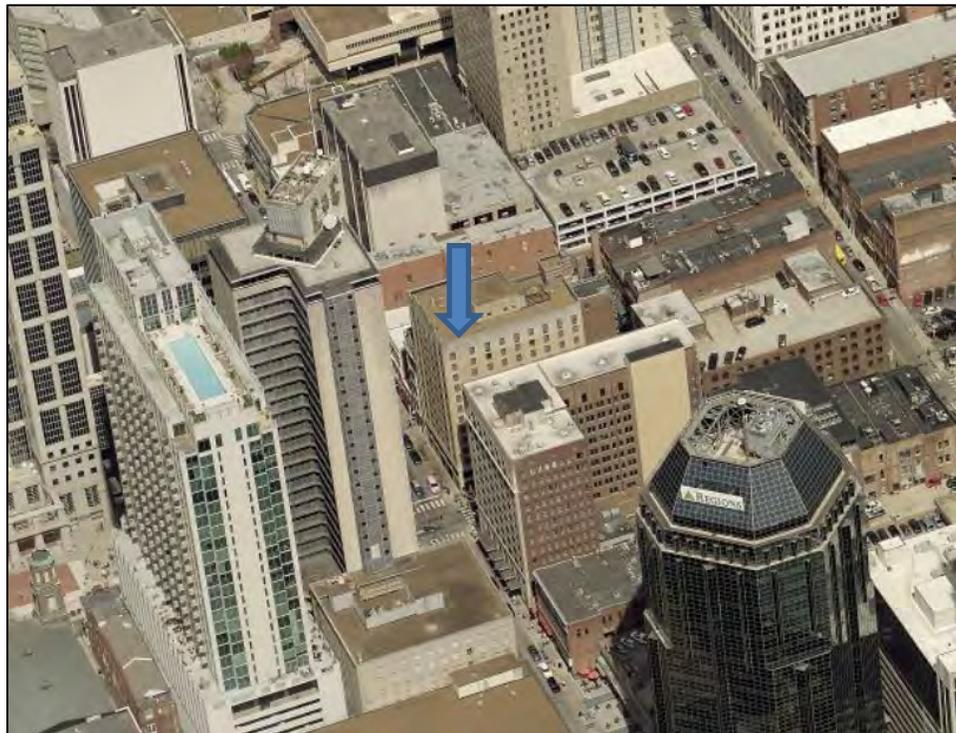
Recommendation Summary: Staff recommends approval of the proposed canopies and signage, finding them to be appropriate because of the size of the building compared to the amount of allotment used, and because of their resemblance to elements that were on the building historically.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. REHABILITATION

S. Canopies

1. Canopies should not obscure windows or architectural details.
2. Canopies should be constructed of materials compatible with the storefront of the building, such as metal and wood.
3. Lighting and signage on canopies shall be consistent with guidelines for lighting and signage.

IV. SIGNAGE

INTRODUCTORY PROVISIONS

Intent

The purpose of these regulations is to preserve the historic character of the overall district and individual historic buildings follow the basic principles and guidance of the “Downtown Codes Sign Standards” as adopted 1/30/2013. The “Downtown Codes Sign Standards” breaks signage guidance up by “street types.” The Downtown Historic Preservation Zoning Overlay closely follows the guidance for “Pedestrian Street” type.

Applicability

- These sign regulations apply to all properties within the Downtown Historic Preservation Zoning Overlay.
- Signage that is cut into the face of the building is prohibited.
- Signage located on the interior of a building or attached to the inside of glass windows is not reviewed.
- Sandwich board signs and 3-dimensional sidewalk signs that are brought into the building at the close of each business day shall not be reviewed by the MHZC but may require review by Public Works.
- Historic signage should be retained. Removal of historic signage may take place as a Modification.

Sign Permit Applications

Applications for sign permits shall be made with and reviewed by the Metro Historic Zoning Commission (MHZC). All sign applications that do not involve Modifications shall only require MHZC administrative approval.

Common Sign Plan

- A common signage plan regulates signage for multiple businesses or tenants within one building or complex. A common sign plan is mandatory for all new developments and sign Modifications.
- A common signage plan shall provide for consistency among signs with regard to at least four of the following: materials; location of each sign on the building; sign proportions; color scheme; lighting; lettering or graphic style.
- The common signage plan shall establish an allowable area of signage for existing and future tenants with regard to all allowed sign types.
- The common signage plan shall indicate existing nonconforming signs as well as the amount and locations of on-premise signage to be allocated to each tenant under the new plan.

MODIFICATIONS

Sign Permit Modifications

Requests for modifications to sign standards are reviewed by the Metro Historic Zoning Commission. If the property is also within a MDHA redevelopment district, approval from the MHZC is all that is needed. Two additional types of Modifications for signage related permits may be requested and are outlined below.

Modifications for Exceptional Design

Creative signage that does not fit the specific regulations of these guidelines may be considered by the MHZC, based on its merits, as they relate to all of the following design criteria:

- Architecture
- The configuration or location of the building or property

- Building scale
- Legibility
- Technical competence and quality in design, construction and durability

Applications for this type of Modification require submittal of a common sign plan for the property in question. Approval of any related structure (i.e. canopy) will require review by all applicable agencies. Exceptional design modifications shall not permit electronic changeable copy where it is otherwise not permitted.

RIGHT OF WAY ENCROACHMENTS

Where a sign is proposed to encroach into the public right-of-way an application shall be made with the Public Works Department in addition to the sign permit application with the MHZC. Both applications shall include the requirements of the Public Works Department available at their website: www.nashville.gov/Public-Works/Developer-Services.aspx, in addition to the MHZC submittal requirements.

Allocation of Sign Area

The maximum sign area for each type of sign is established in the following tables. Specific requirements for each sign type are shown on the subsequent pages.

For each cell in the table, there is a maximum allowed sign area that may be utilized with any combination and any number of signs associated with that cell, unless otherwise noted.

The measurements for “linear feet” shall be at grade.

Building Signs

Wall, Awning, Canopy and Projecting Signs—1.5 square feet of sign area per 1 linear foot of building façade or 36 square feet, whichever is greater. When a projecting sign is used on a building, an additional .50 square feet of sign area per 1 linear foot of building façade shall be permitted, for a total 2 square feet per 1 linear feet of building façade.

Shingle Sign: 9 square feet per sign

Ground Signs

GENERAL STANDARDS

Materials

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

Building Façade and Street Frontage Measurement

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

Auto-oriented Canopy/Awning Signs

The allocation of signage for auto-oriented canopies and awnings shall be measured as wall signs and shall only be used on the canopy/awning. See the section for Canopies and Awnings for information on the design of canopies and awnings.

Building Sign: Wall Sign

Description

- A wall sign is a building sign that is attached flat to, or mounted away from but parallel to, the building façade.
- A wall sign may be painted on the building façade, in some instances, as a modification.

General Provisions

- A wall sign shall be located lower than the window sills of the top floor for multi-story buildings.
- No portion of a wall sign may extend above the roof line or above a parapet wall of a building with a flat roof.
- No portion of a wall sign may extend above the lower eave line of a building with a pitched roof.
- A wall sign cannot cover windows or architectural details.
- An exposed raceway shall be finished to match the background wall or be integrated into the overall design of the sign.
- A wall sign can be externally or internally illuminated in accordance with the section on Illumination.

Design Standards

A Overall area allocation (max)--see allocation of sign area

B Projection (max)--2 inch OR 13 inches for internally lighted or neon signage

C Exposed Raceway height--50% of the letter height, OR if the Raceway is used as the sign background, the Raceway may extend 3 inches beyond the largest part of the sign. Refer to Illumination section for additional raceway standards and permitted locations.

Building Sign: Canopy Sign

Description

A canopy sign is a type of building sign that is attached above, below or to the face of a canopy.

General Provisions

- A canopy sign cannot extend outside the overall length or width of the canopy. However a canopy sign may extend above or below the canopy provided the sign meets all other design standards.
- Maximum of one sign per canopy face.
- Raceways are permitted for signs extending below or above the canopy.
- A canopy sign can be externally or internally illuminated in accordance with the Illumination section.
- Cabinet signs are not permitted as canopy signs.
- A canopy sign cannot cover architectural details.

See the Awning/Canopy section of the design guidelines for additional information on the design of canopies.

- This definition does not include freestanding canopies over fuel pumps.

Design Standards

Overall area allocation (max)—see allocation of sign area

A Sign width—75%

B Height of text and graphics (max)—2 feet

C Depth (max)—13 inches

D Exposed Raceway height (max) 50% of the letter height OR if the Raceway is used as the sign background, the Raceway may extend 3 inches beyond the largest part of the sign.

Refer to illumination section for additional raceway standards and permitted locations.

Building Sign: Projecting Sign

Description

A projecting sign is a type of building sign that projects outward from the façade, typically at a ninety degree angle. Projecting signs are typically, but not always, vertically oriented and generally mounted above the first floor.

General Provisions

- A projecting sign must be located at least 25 feet from any other projecting sign. When building width prohibits adherence to this standard, flexibility shall be permitted through Modification to be reviewed

by staff.

- A projecting sign may be erected on a building corner when the building corner adjoins the intersection of two streets. Allocation of sign area from both streets may be used, however, in no case shall the sign exceed the maximum dimensional standards below.
- A projecting sign shall be located below the windows sills of the third story.
- The top of a projecting sign shall not extend above the building eave or top of parapet.
- A projecting sign can be externally or internally illuminated in accordance with the Illumination design guidelines.
- Projecting signs that are 3-dimensional may be permitted through a modification.
- A projecting sign cannot cover windows or architectural details.

Design Standards

A Overall area allocation (max)—see allocation of sign area

B Height (max)

1 story buildings—10 feet

2 and 3 story buildings—16 feet

4 or more story buildings—20 feet

C Average spacing from façade (min)—1 foot

D Projection Width (max)—6 feet

E Depth of Cabinet (max)—2 inch or 18 inches for internally lighted or neon signs

Building Sign: Shingle Sign

Description

A single sign is a smaller building sign that projects outward, typically at a ninety degree angle, and hangs from a bracket or support that is located over or near a building entrance.

General Provisions

- Signs shall be located within 8 feet of an active pedestrian building entrance. This does not include service entries or entries that primarily remain locked.
- An active pedestrian entrance at the corner of a building is allowed signs on both streets.
- A shingle sign shall be located below the window sills of the second story.
- A shingle sign shall not be internally illuminated.
- A shingle sign cannot cover windows or architectural details.

Design Standards

A Area (max)—9 square feet

B Height (max)—3 feet

C Spacing from façade (min)—6 inches

D Width (max)—3 feet

E Depth (max)—6 inches

Illumination

Illumination of signs shall be in accordance with the following requirements:

External Illumination

- External light sources shall be placed close to, and directed onto the sign and shielded to minimize glare into the street, sidewalks or onto adjacent properties.
- Projecting light fixtures used for externally illuminated signs shall be simple and unobtrusive in appearance. They should not obscure the sign.

Internal Illumination

- Channel letters may be internally lit or back-lit.
- For cabinet signs, the background must be opaque. Only graphics, text and logos may be illuminated, and a halo of one inch around graphics, text, and logos may be non-opaque.
- Exposed neon may be used for lettering or as an accent.

Prohibited Light Sources

The following light sources are prohibited:

- Blinking, flashing, chasing, and sequential lighting. This type of lighting may be allowed for Broadway (not the district but the street) only through a modification. In these cases, the chase or flash should not last less than every three seconds.
- Bare bulb illumination.

Raceways and Transformers

- Visible transformers are prohibited.

Background: The building at 200 4th Avenue North is a twelve story steel and concrete building with a limestone ashlar veneer on the first story and brick veneer on the upperstories. Constructed in 1929-1930, the Neo-classical style building was designed by prominent local architects Thomas Marr and Joseph Holman for what was originally the Noel Hotel, later a bank and eventually offices.

Prior to the enactment of the Downtown Historic Preservation Zoning Overlay, the property received permits for a twelve story addition to the rear wing and roof of the building. The addition was approved by the MDHA Design Review Committee, with support of MHZC Staff. Construction of that addition is currently underway.



Figure1: Noelle Hotel, formerly the Noel Hotel

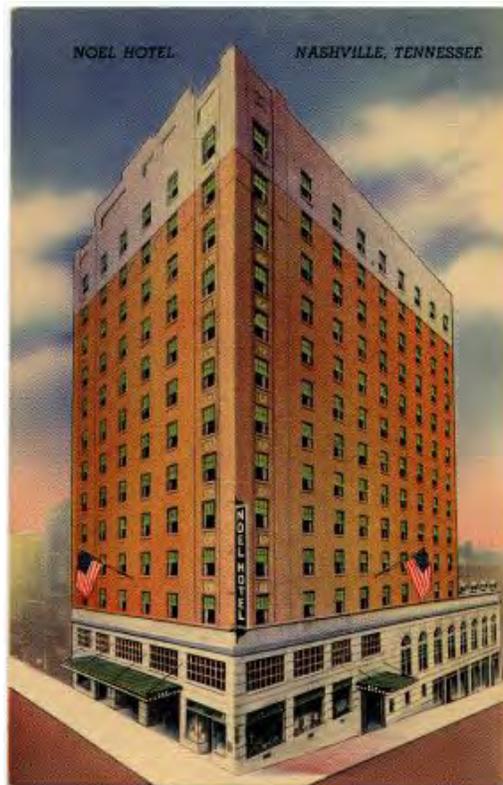
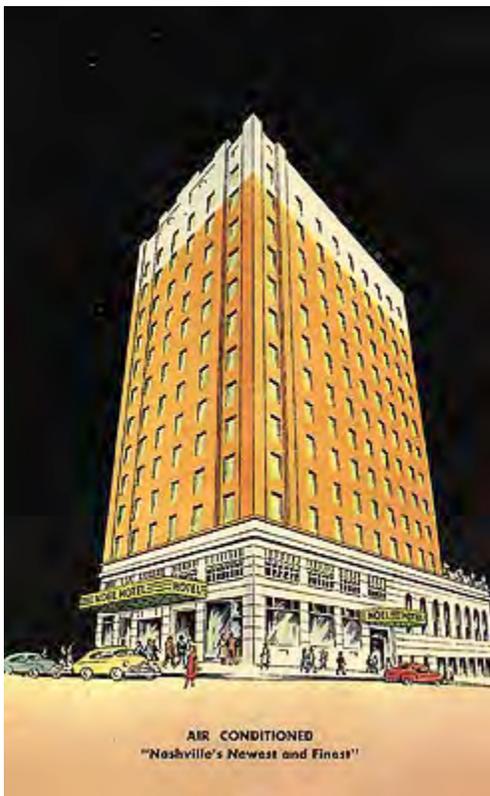
MHZC Staff reviewed changes made since the creation of the Historic Preservation Zoning Overlay. These changes include eliminating balconies from the side and rear of the addition, using a glass railing at the rooftop level instead of metal, and cladding the rooftop level with steel and stone instead of brick. The approved changes do not increase the height or scale of the addition.

Analysis and Findings: The current application is to install canopies and signage not included in the scope of work already approved.

Canopies: A canopy will be installed on the front façade above the building’s main entrance. The front canopy will be black powder-coated aluminum, decorated with a geometric pattern with of repeating and alternating meanders of the letter “N”. The canopy will be eighteen feet, seven inches (18’-7”) wide and will project seven feet, one inch (7’-1”) from the face of the building. This canopy will have a copper panel ceiling with internal recessed lighting and infra-red heating panels. These features will be inside the canopy structure and will not be visible from outside the structure’s edges.

A canopy will also be installed on the South façade of the building facing Church Street. This canopy will also be black powder-coated aluminum, with illuminated text on the widest face (see signage described below). The side canopy will also have recessed lighting. The canopy will be eighteen feet, three inches (18’-3”) wide and will project five feet, five inch (5’-5”) from the façade wall.

Staff finds the materials and proportions of the proposed canopies to be appropriate and compatible with those of the building. The locations of the two canopies, over the primary and secondary entrances without obscuring architectural details, are appropriate and consistent with the location of canopies that were on the building previously. (See figure 2 and 3.) The proposed canopies meet section II.S of the design guidelines.

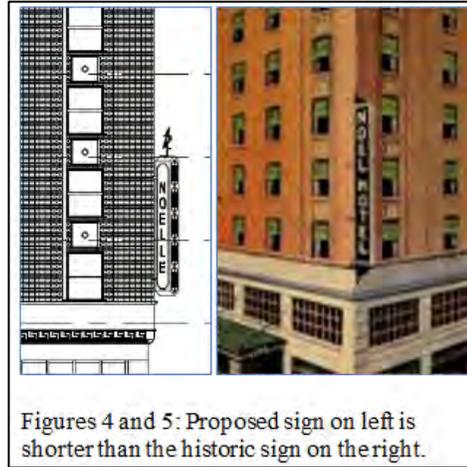


Figures 2 and 3: Historic postcards showing canopies in the same locations as proposed currently

Signage: The application includes building signs and a shingle sign.

Building Signs - The applicant proposes to install four building signs: one projecting sign, one canopy signs, and two wall signs.

Building Signage Allotment		
75 linear feet = 150, x 2		300 square feet
	1 Projecting sign	236 square feet
	1 Canopy sign	2.5 square feet
	2 Wall signs	4.5 square feet
Total Building Signage Proposed		243 square feet



The building’s primary 4th Avenue North façade is seventy-five feet (75’) wide which gives it an allotment of one hundred, fifty square feet (150 sq ft). However, the building is a corner lot which give it an additional allotment for the side street-facing elevation, to exceeding the front allotment for a total of 300 square feet. The total proposed building signage (243 sq ft) does not exceed the total building signage allotment (300 sq ft).

Projecting Sign:

At the corner of the building there will be a new three-dimensional projecting sign. The height of the sign will be twenty-five feet, seven inches (25’-7”) tall. Two faces of the sign will read “NOELLE”, the third face on the outer edge of the sign will have the same geometric pattern as the front canopy. A decorative finial representation of a bird will sit atop the sign cabinet. The sign will be installed approximately twenty-nine feet (29’) above the sidewalk. The sign will fit above the first story frieze and below the third-story windows. Staff finds the location of the sign at the corner, without obscuring architectural details, to be appropriate. The building had a sign with similar proportions in this location historically.

Three dimensional signs have been approved in the past, in the Broadway Historic Preservation Zoning Overlay, as a modification. The design guidelines allow modifications for signage that does not fit the sepcific regulations as they relate to the architecture, building scale and location. Staff finds this modification to be appropriate since the three-dimensional sign is not using the entire allotment and is smaller than the size of the historic sign, because of the large scale of the building and because one of the three faces of the sign will have a geometric design rather than text or logo graphics.

See the following chart for analysis of the size of the projecting sign:

Design Standards		Proposed projecting sign	Meets Guideline
A Area (max)	(see allocation of sign area)	55 square feet	Yes
B Height (max)	20 feet	19'-9" sign + + 5'-10" finial = 25'-7"	No
C Spacing from façade (min)	1 foot	1 foot	Yes
D Width (max)	6 feet	2'-11"	Yes
E Depth (max)	18 inches for internally lighted or neon signage	29 inches	No

Although the height and depth of the proposed projecting sign exceed the maximum dimensions given by the design guidelines, Staff finds the proposed sign to be appropriate because the building is so large; the proposed sign comprises such a small amount of the building's total sign allotment; and because the sign dimensions appear similar to those of a projecting sign that was on the building previously. The finial element will be a tubular brass sculpture, and while it increases the height of the sign, it will be open in nature giving the perception of contributing relatively little to the overall mass.

Canopy Sign:

The new front façade canopy will be decorated with a geometric pattern based on the hotel's signage and logos, but it will not have a defined sign element. The new south facade canopy will have integral, internally illuminated translucent back-lit glass graphics and lettering with the word "MAKEREADY" on the edge. The signage portion of the canopy will be 2.5 square feet in area.

See the following chart for analysis of the size of the canopy sign:

Design Standards		Proposed canopy sign	Meets Guideline
A Area (max)	(see allocation of sign area)	2.5 square feet	Yes
B Sign Width	75%	33%	Yes
C Height of text and graphics (max)	2 feet	7 inches	Yes
D Depth (max)	13 inches	Flat	Yes
E Exposed Raceway height (max)	50% of the letter height	No raceway	Yes

The proposed canopy sign meets section IV of the design guidelines.

Wall signs:

Two small slate plaques with painted text and images will be installed on the front façade, one on either side of the main entrance. This location is appropriate and meets the design guidelines.

See the following chart for analysis of the size of the wall sign:

Design Standards		Proposed wall sign	Meets Guideline
A Area (max)	(see allocation of sign area)	4.5 square feet	Yes
B Projection (max)	2 inches	1 inch	Yes
C Raceway	50% of the letter height	No raceway	Yes

The proposed wall signs meet section IV of the design guidelines.

Shingle Signs

A shingle sign will be added next to the restaurant entrance on the south elevation. The sign will be located one foot (1') from the entrance on the first story level. This is an appropriate location for a shingle sign. The sign will consist of bent steel resembling line-drawings of hands holding a fork and a roller. The wheel of the roller will be wood. The image will be set out from the face of the building nine inches (9"), suspended from a steel bracket in a way that allows it to be moved by the wind. Staff finds the materials of the sign to be appropriate. The sign will not feature any electronic motion or light.

See the following chart for analysis of the size of the shingle sign:

Design Standards		Proposed sign	Meets Guideline
A Area (max)	9 square feet	2.33 square feet	Yes
B Height (max)	3 feet	1 foot, 2 inches	Yes
C Spacing from façade (min)	6 inches	9 inches	Yes
D Width (max)	3 feet	2 feet	Yes
E Depth (max)	6 inches	2 inches	Yes

The proposed shingle sign meets section IV of the design guidelines.

Recommendation: Staff recommends approval of the proposed canopies and signs, finding them to be appropriate because of the size of the building compared to the amount of allotment used, and because of their resemblance to elements that were on the building historically.



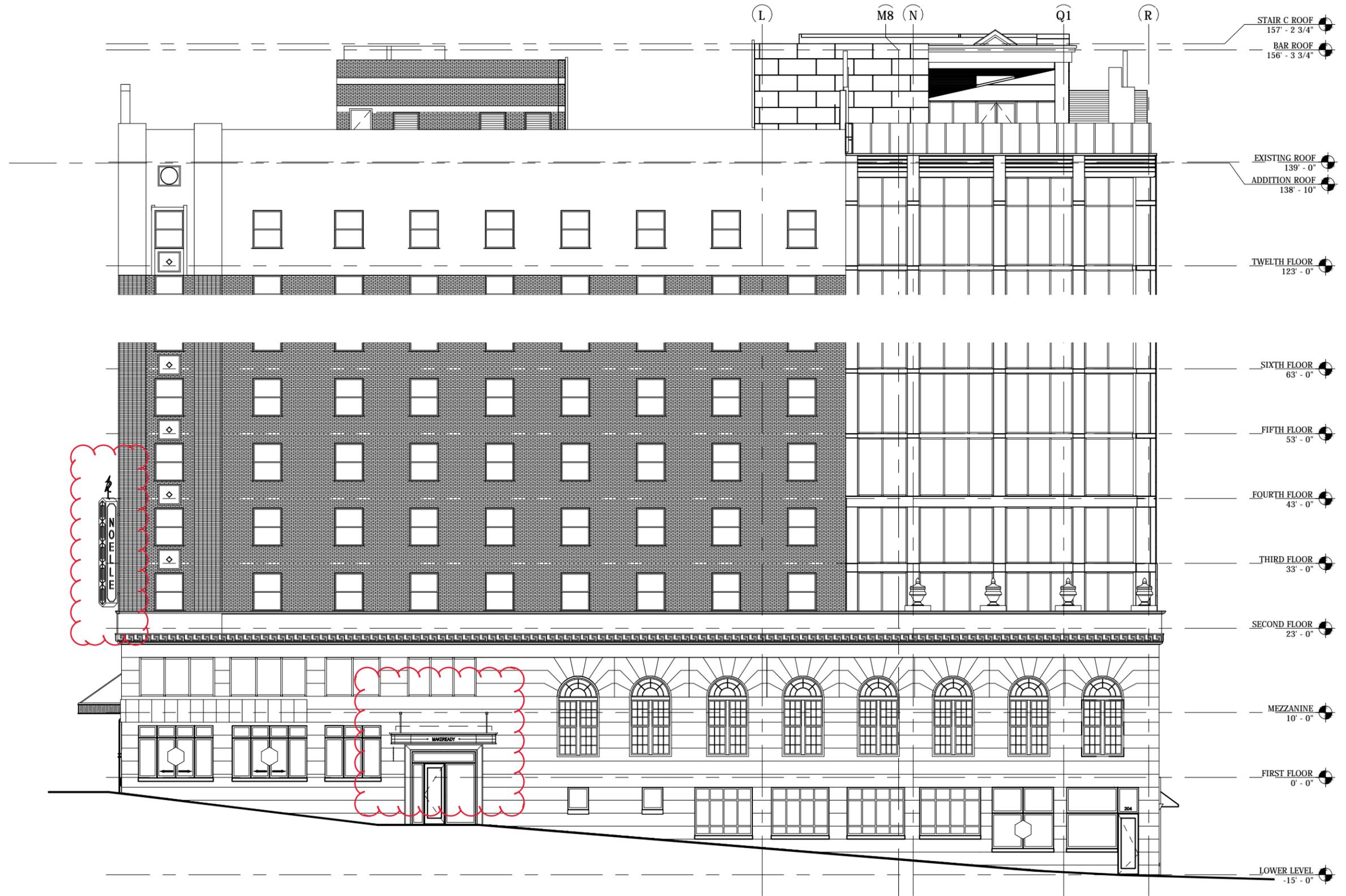
200 4th Avenue North, front. Current photo.



200 4th Avenue North, right side showing construction of rear addition. Current photo.



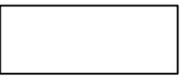
200 4th Avenue North, rear showing construction of rear addition. Current photo.

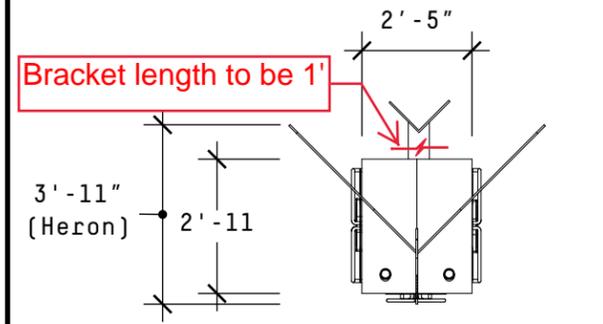


FHD project #
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checked by

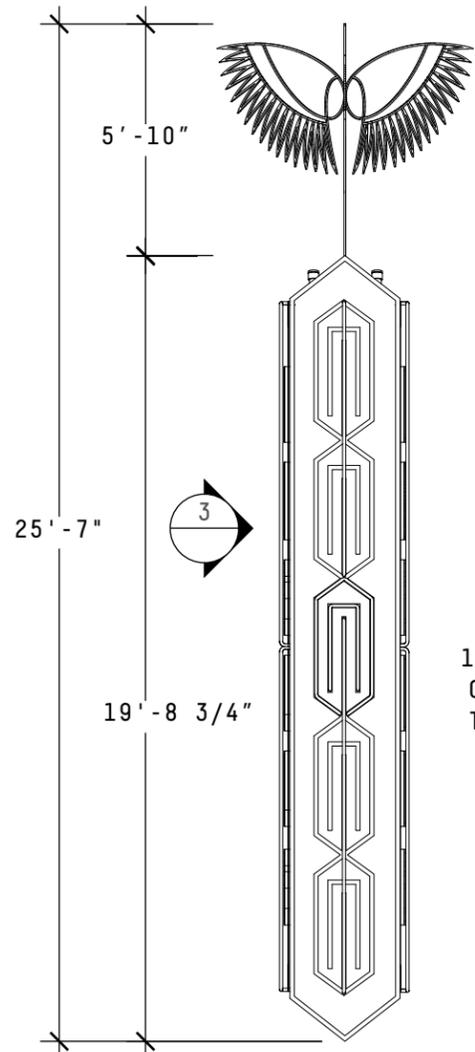
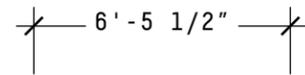
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SOUTH ELEVATION
 SCALE: 1/16" = 1' - 0"





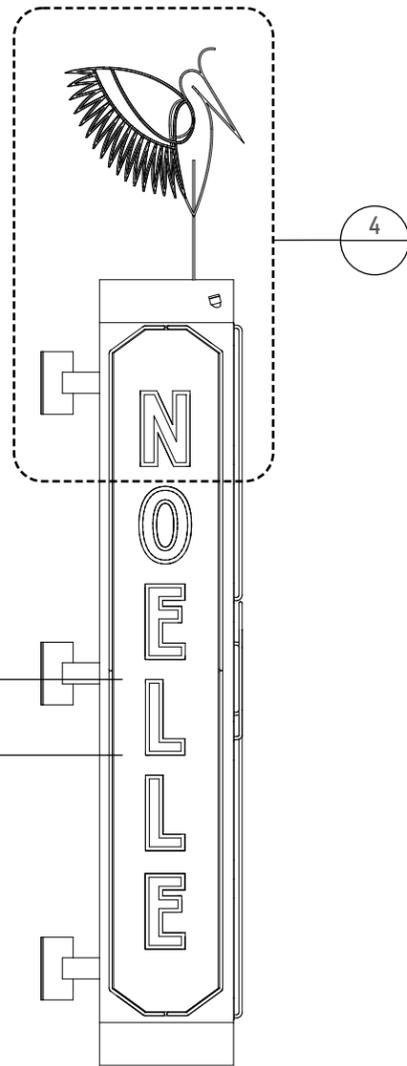
1 Top View
Scale: 1/4" = 1'-0"



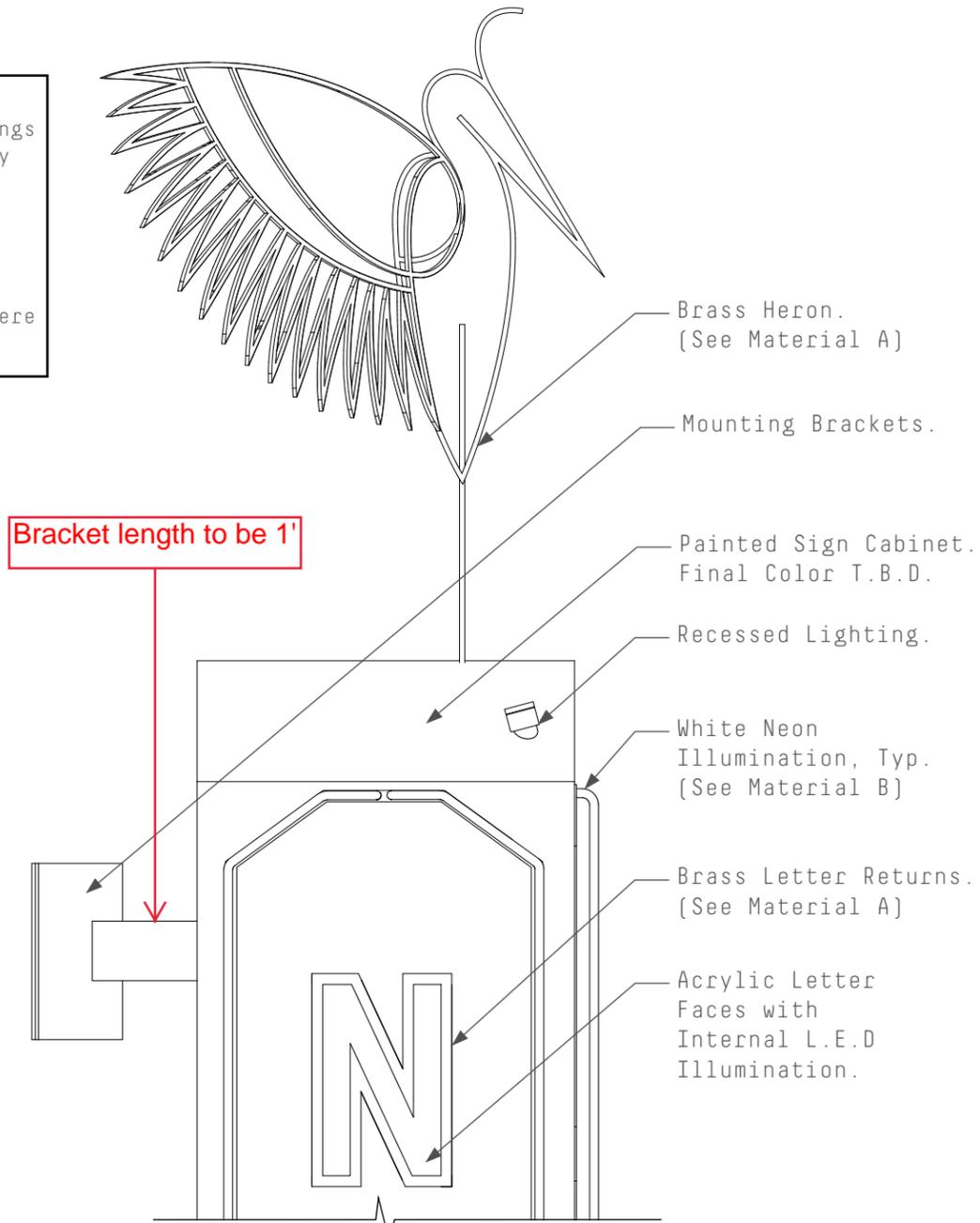
2 Front View
Scale: 1/4" = 1'-0"

Notes:

1. All drawings shown are for design intent only. All drawings to be reviewed and approved by Structural Engineer prior to fabrication.
2. All mounting conditions to comply with local Historical Preservation requirements, where applicable.



3 Side View
Scale: 1/4" = 1'-0"



4 Detail
Scale: NTS

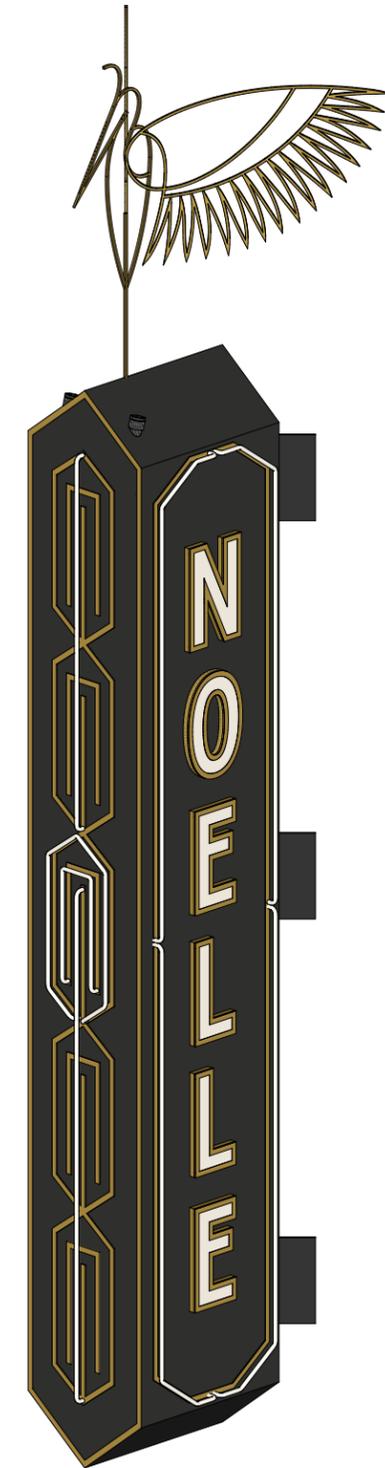


A. Brass



B. Neon

5 Material Examples



6 Isometric
Scale: NTS



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info@sideshowsgnco.com

No.	Description	Date
1	Revision #1	02/13/17
	City Submission	02/14/17

Illuminated Exterior Blade Sign

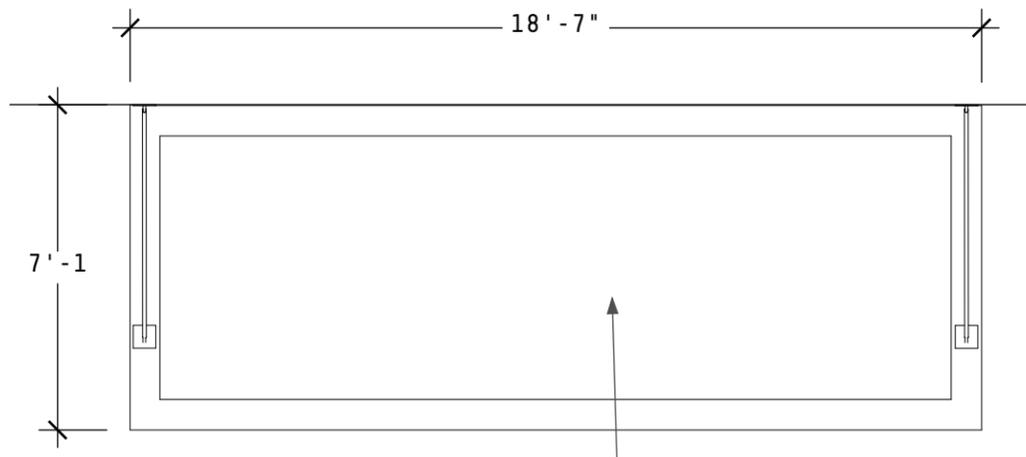
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01



1 Elevation
 Scale: 1/8" = 1'-0"

No.	Description	Date
1	Revision #1	02/13/17
	City Submission	02/14/17

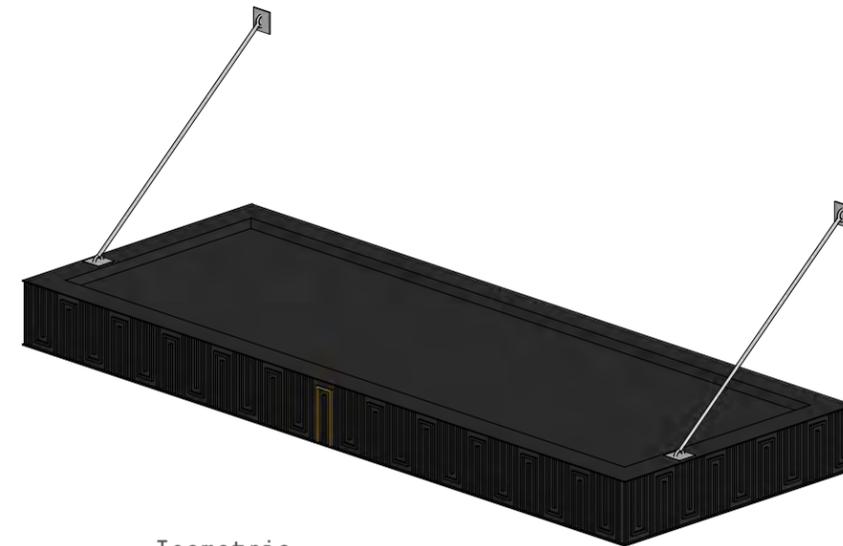


1 Top View
 Scale: 1/4" = 1'-0"

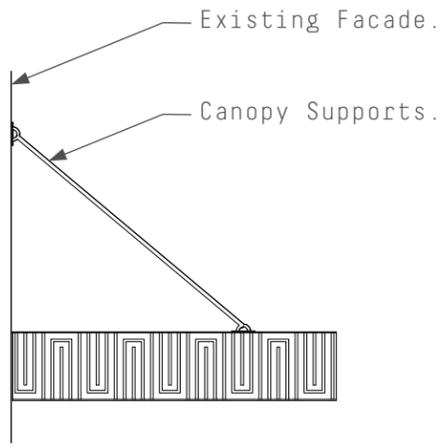
Black Powder Coated Aluminum Roof, Typ. (See Material A)

Notes:

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2. All mounting conditions to comply with local Historical Preservation requirements, where applicable.



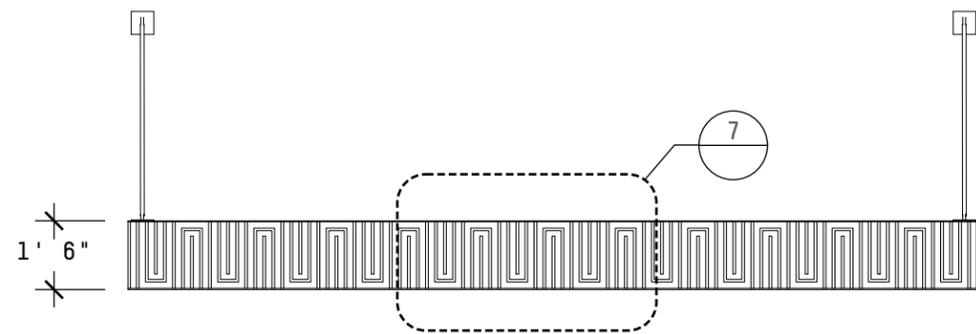
5 Isometric
 Scale: NTS



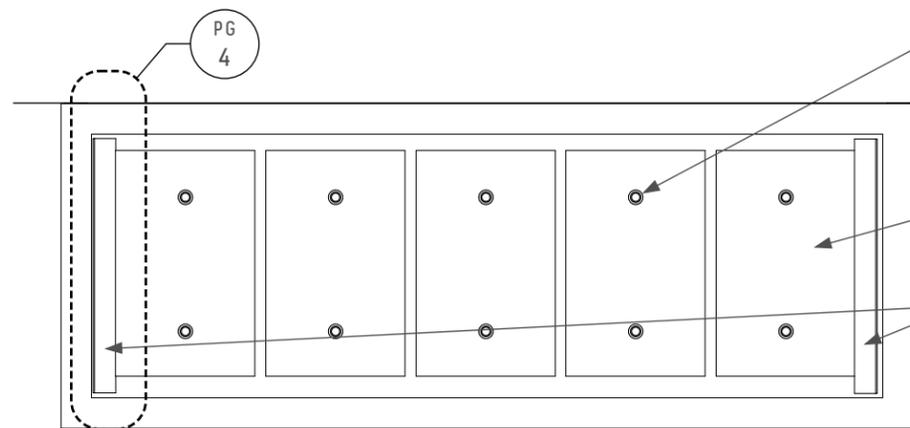
4 Side View
 Scale: 1/4" = 1'-0"



6 Material Examples

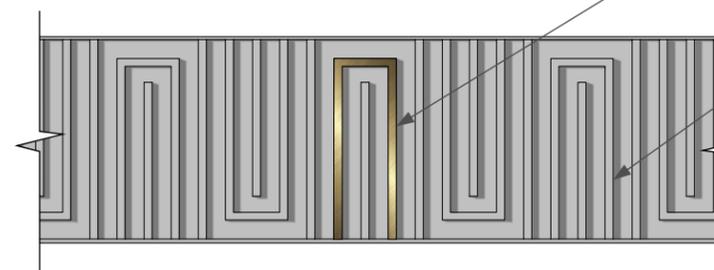


2 Front View
 Scale: 1/4" = 1'-0"



3 Bottom View
 Scale: 1/4" = 1'-0"

Recessed Lighting, Typ.
 Copper Panels. (See Material C)
 Recessed "Thermofilm" HEATSTRIP® Infra-Red Heaters, or approved equal.

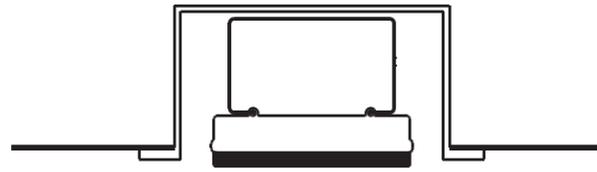


7 Detail
 Scale: 3/4" = 1'-0"

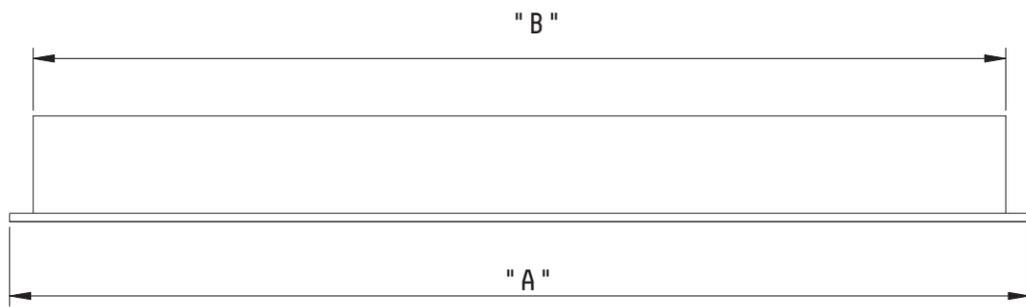
Brass Detail. (See Material B)
 Black Powder Coated Aluminum Canopy, Typ. (See Material A)

No.	Description	Date
1	Revision #1	02/13/17
	City Submission	02/14/17

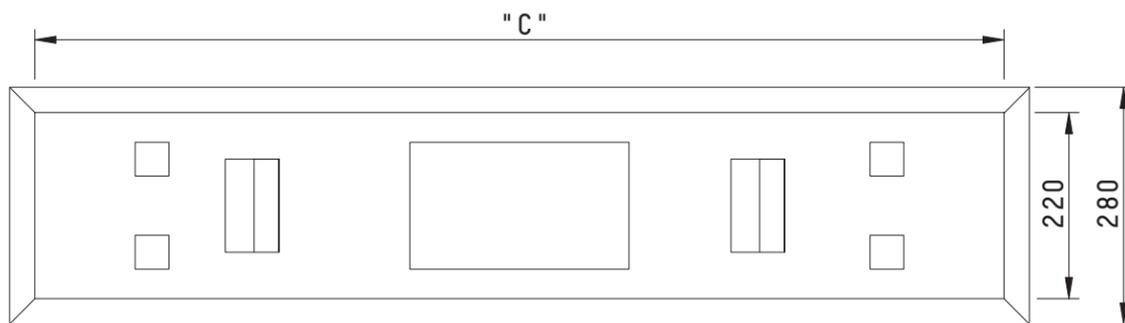
Exterior Hotel Entrance Canopy



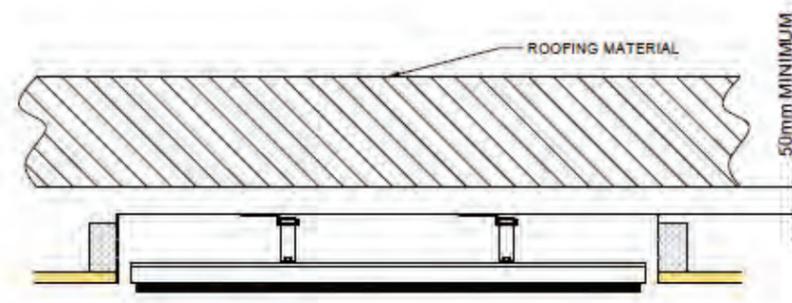
1 Side View - Mounting Detail
Scale: NTS



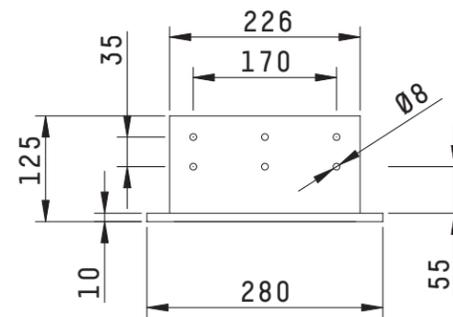
2 Front View
Scale: NTS



3 Top View
Scale: NTS



4 Front View - Mounting Detail
Scale: NTS



5 Side View
Scale: NTS



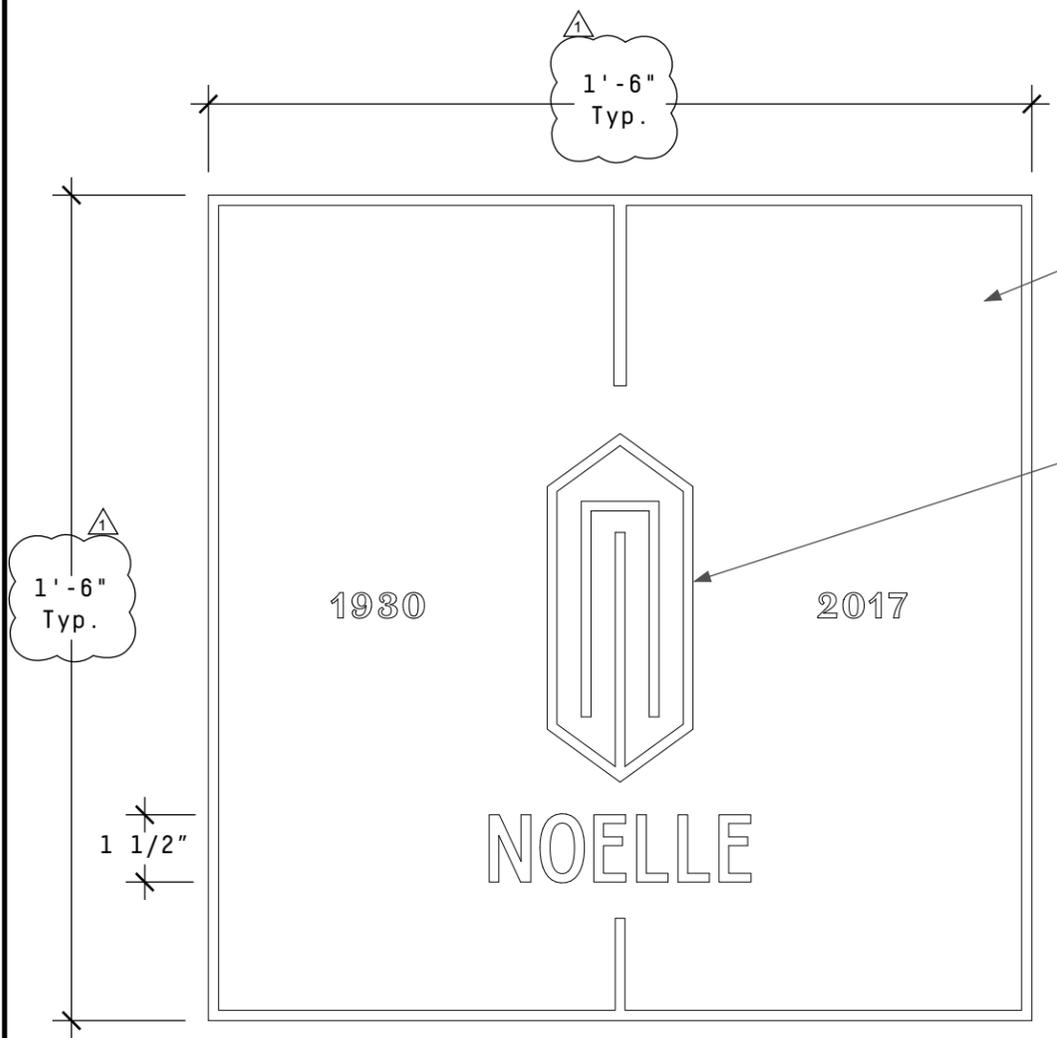
6 Material Example

Notes:

1. All drawings shown are for design intent only. All drawings to be reviewed and approved by Structural Engineer prior to fabrication.
2. All mounting conditions to comply with local Historical Preservation requirements, where applicable.
3. Dimensions shown are in millimeters.

No.	Description	Date
1	Revision #1	02/13/17
	City Submission	02/14/17

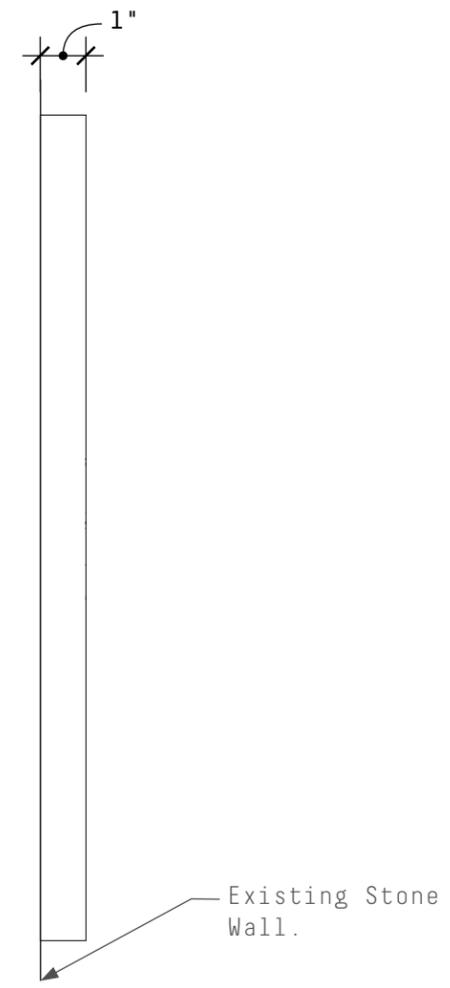
Infra-Red Heating Specifications



TruBond™ "Slate" or Approved Equal.

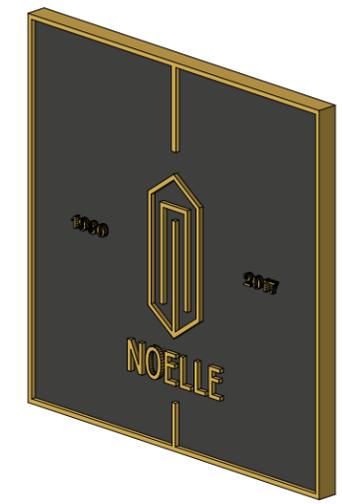
Text, Numerals, Edges and Pattern painted to match Brass.

Final Color T.B.D.



Notes:

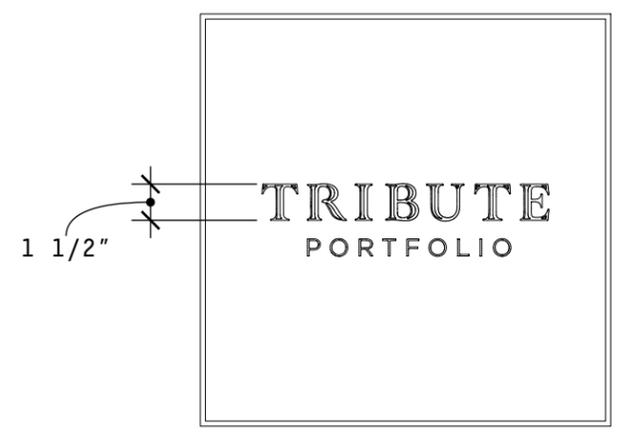
1. All drawings shown are for design intent only. All drawings to be reviewed and approved by Structural Engineer prior to fabrication.
2. All mounting conditions to comply with local Historical Preservation requirements, where applicable.



① Front View
Scale: 1:2 HFS

③ Side View
Scale: 1:2 HFS

④ Isometric
Scale: NTS



② Additional Plaque
Scale: 3" = 1'-0"



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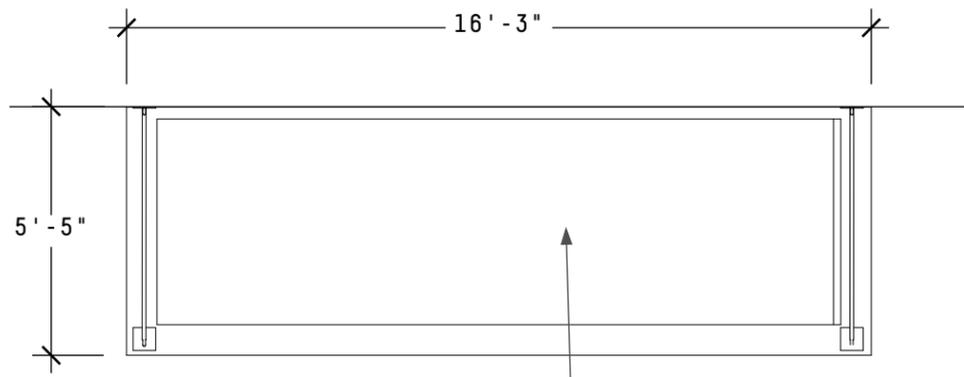
No.	Description	Date
①	Revision #1	02/13/17
	City Submission	02/14/17

Exterior Plaques at Main Entrance



No.	Description	Date
1	Revision #1	02/13/17
	City Submission	02/14/17

1 Elevation
 Scale: 1/2" = 1'-0"

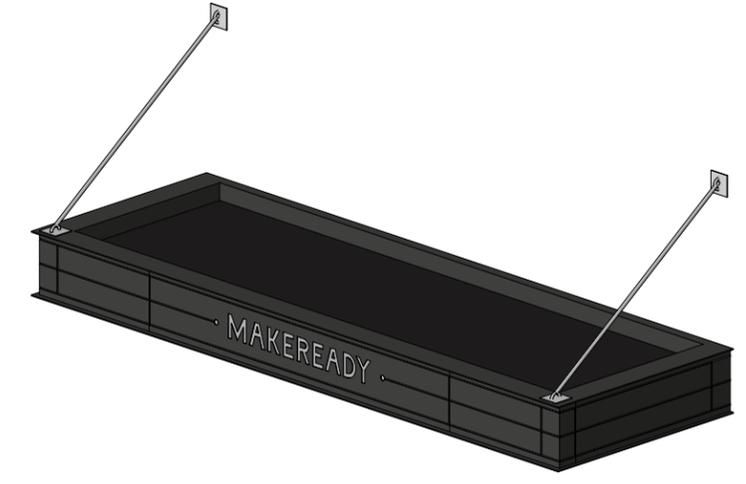


1 Top View
Scale: 1/4" = 1'-0"

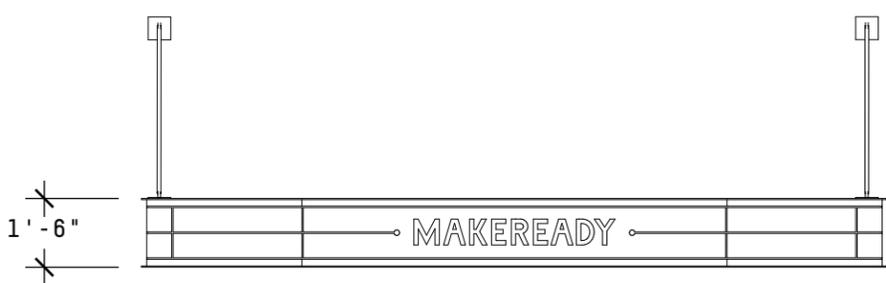
Black Powder Coated Aluminum Roof, Typ. (See Material A)

Notes:

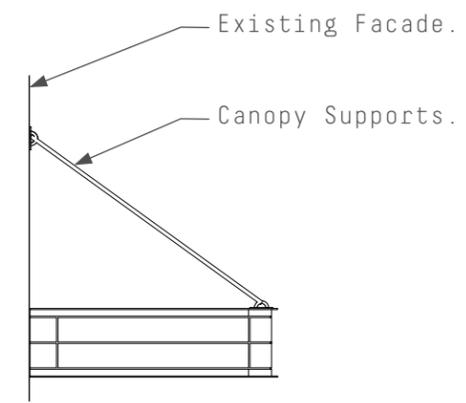
1. All drawings shown are for design intent only. All drawings to be reviewed and approved by Structural Engineer prior to fabrication.
2. All mounting conditions to comply with local Historical Preservation requirements, where applicable.



6 Isometric
Scale: NTS



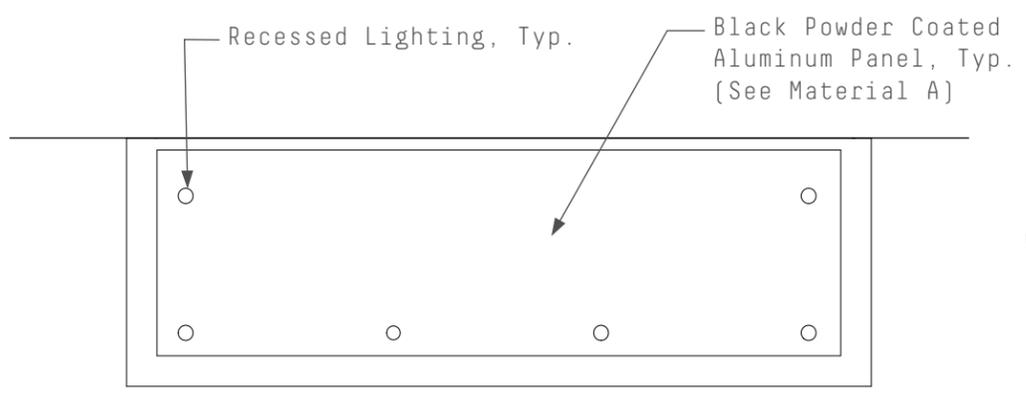
2 Front View
Scale: 1/4" = 1'-0"



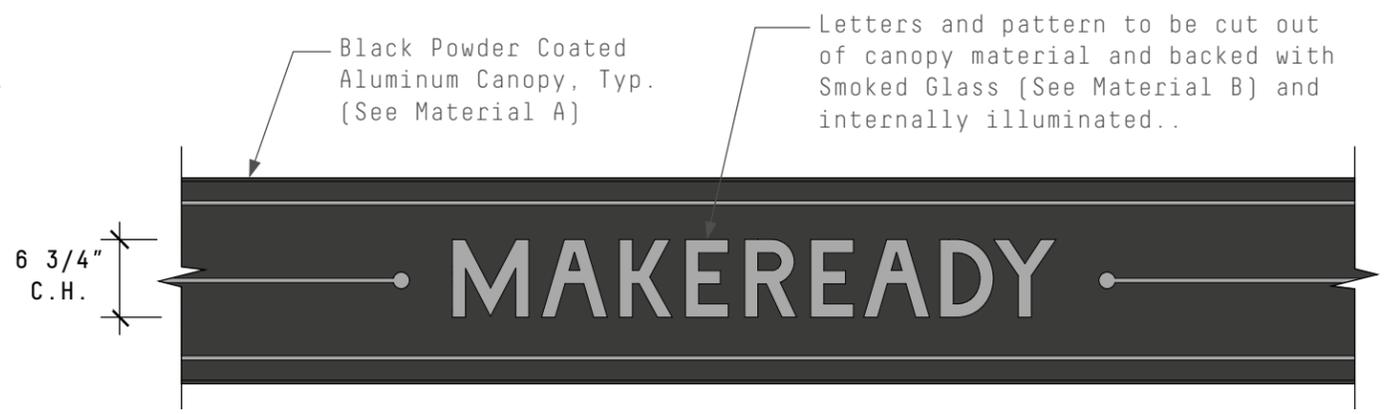
4 Side View
Scale: 1/4" = 1'-0"



7 Material Examples



3 Bottom View
Scale: 1/4" = 1'-0"



5 Detail
Scale: 3/4" = 1'-0"



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1	Revision #1	02/13/17
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Exterior MAKEREADY Entrance Canopy

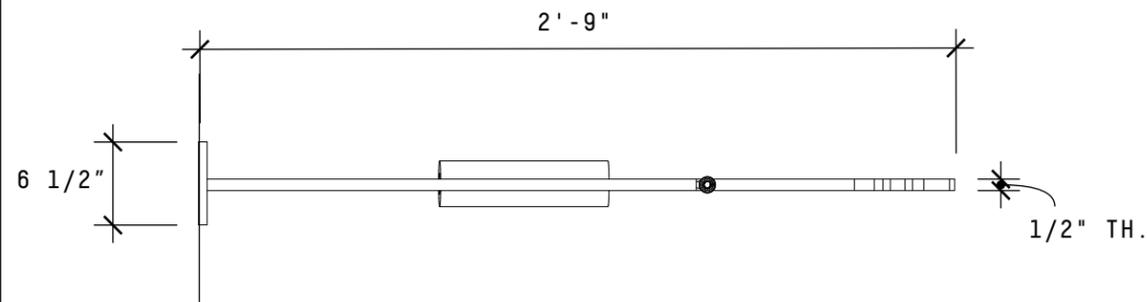
PAGE

07

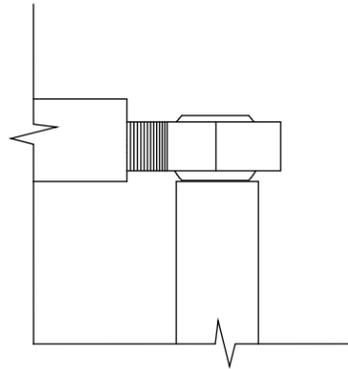
Notes:

1. All drawings shown are for design intent only. All drawings to be reviewed and approved by Structural Engineer prior to fabrication.

2. All mounting conditions to comply with local Historical Preservation requirements, where applicable.

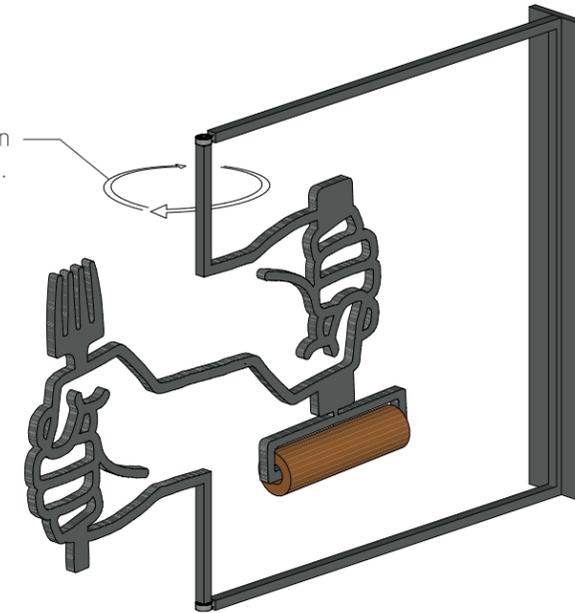


1 Front View
 Scale: 1/4" = 1'-0"

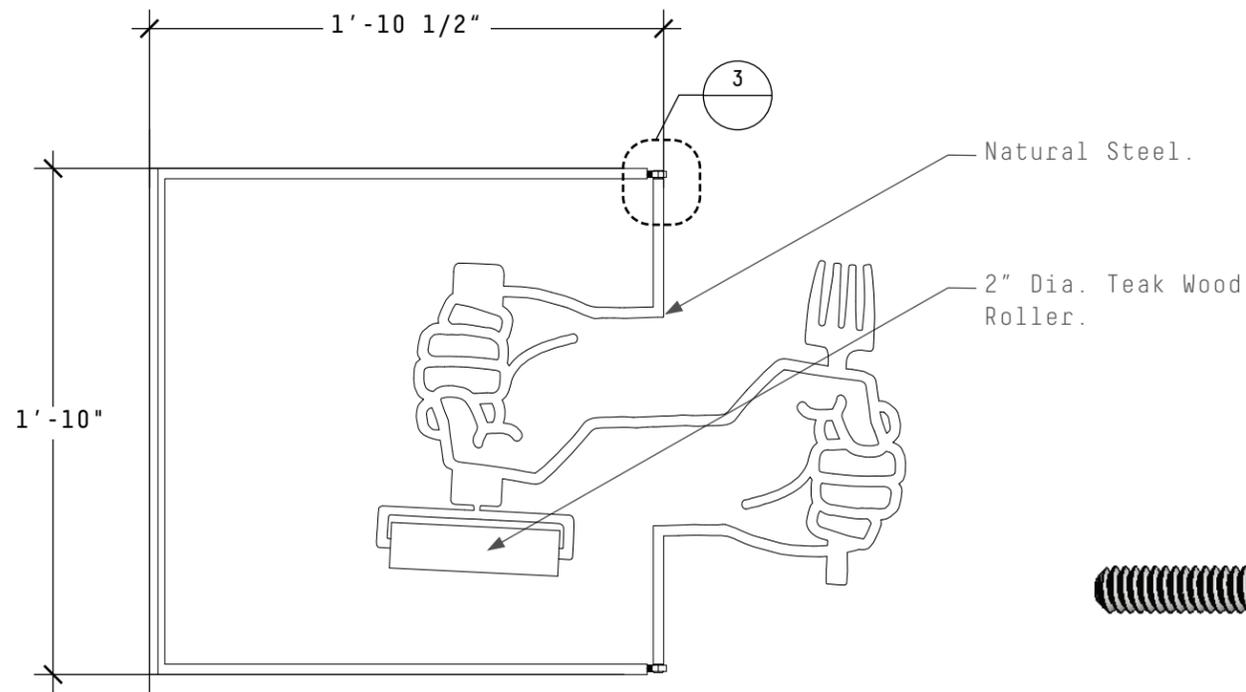


3 Detail
 Scale: 1:1 FS

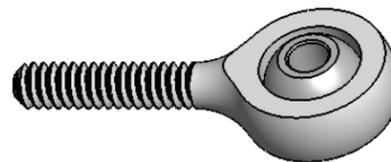
Center of Sign will Rotate.



5 Isometric
 Scale: NTS



2 Side View
 Scale: 1/4" = 1'-0"



4 Ball Joint Rod Example
 Scale: NTS



A. Natural Steel B. Teak Wood

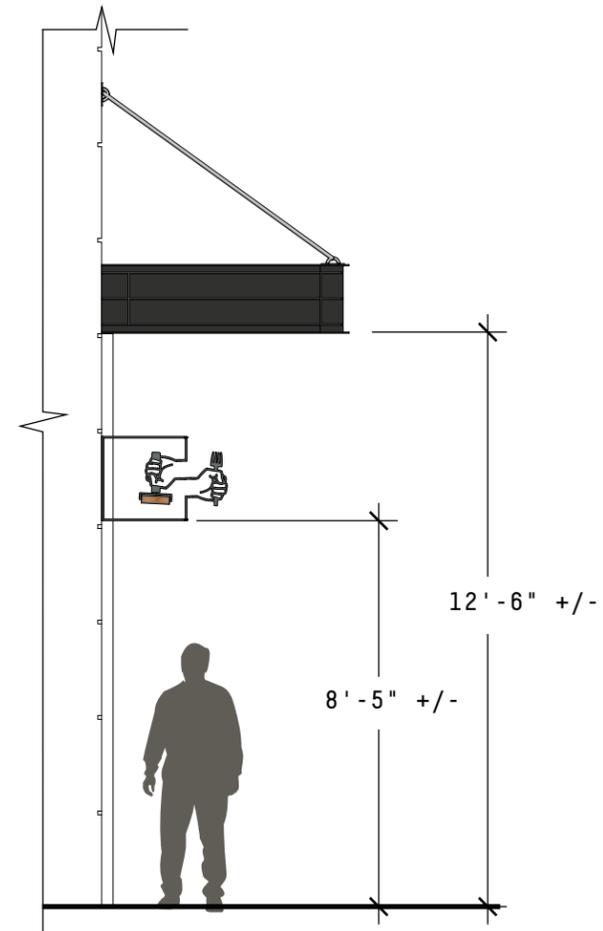
6 Material Examples

No.	Description	Date
1	Revision #1	02/13/17
	City Submission	02/14/17

Exterior MAKEREADY Entrance Signage



1 Elevation
 Scale: 1/4" = 1'-0"



2 Elevation
 Scale: 1/4" = 1'-0"

No.	Description	Date
1	Revision #1	02/13/17
	City Submission	02/14/17