

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
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STAFF RECOMMENDATION
3708 Whitland Avenue
March 15, 2017

Application: New construction – outbuilding; Setback determination
District: Whitland Neighborhood Conservation Zoning Overlay
Council District: 24
Map and Parcel Number: 10409019800
Applicant: Nick Dryden, Architect
Project Lead: Sean Alexander, sean.alexander@nashville.gov

Description of Project: The applicant proposes to construct a new outbuilding at the rear of the lot. The proposal requires the determination on the appropriateness of an eighteen foot (18') left side (street facing) setback and a five foot (5') rear setback. A dwelling unit as a part of the outbuilding is not proposed.

Recommendation Summary: Staff recommends approval of the detached accessory dwelling unit with the proposed left and rear setback determinations with the following condition:

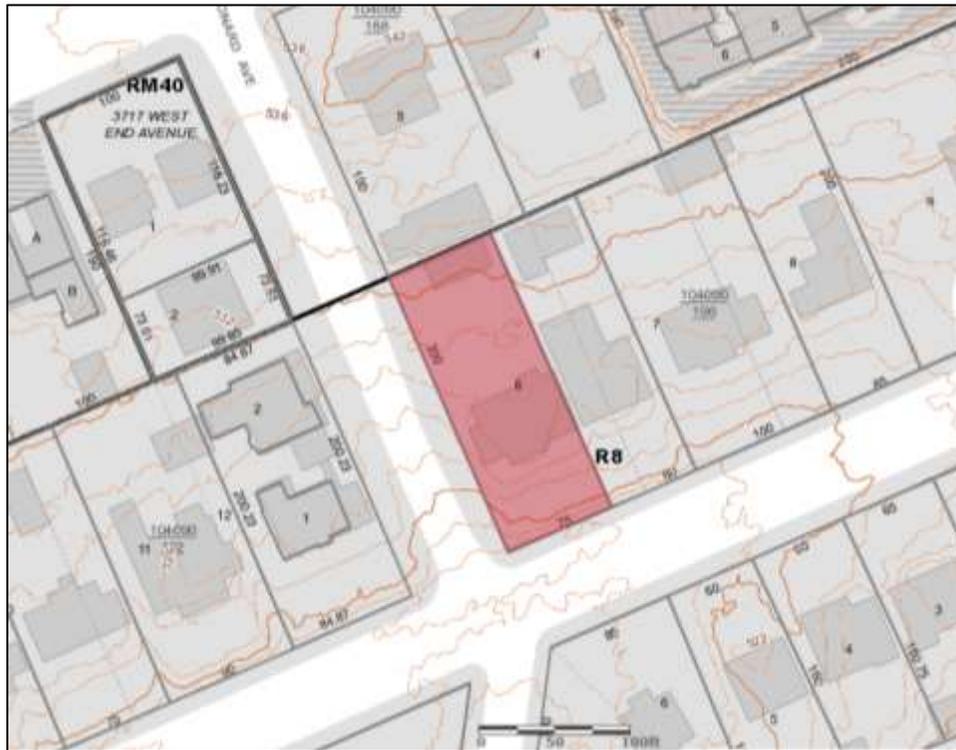
1. The window selections and door selections shall be approved by MHZC Staff prior to installation.

With this condition, staff finds that the detached accessory dwelling unit meets Section II.B.1.i of the design guidelines for the Whitland Neighborhood Conservation Zoning Overlay.

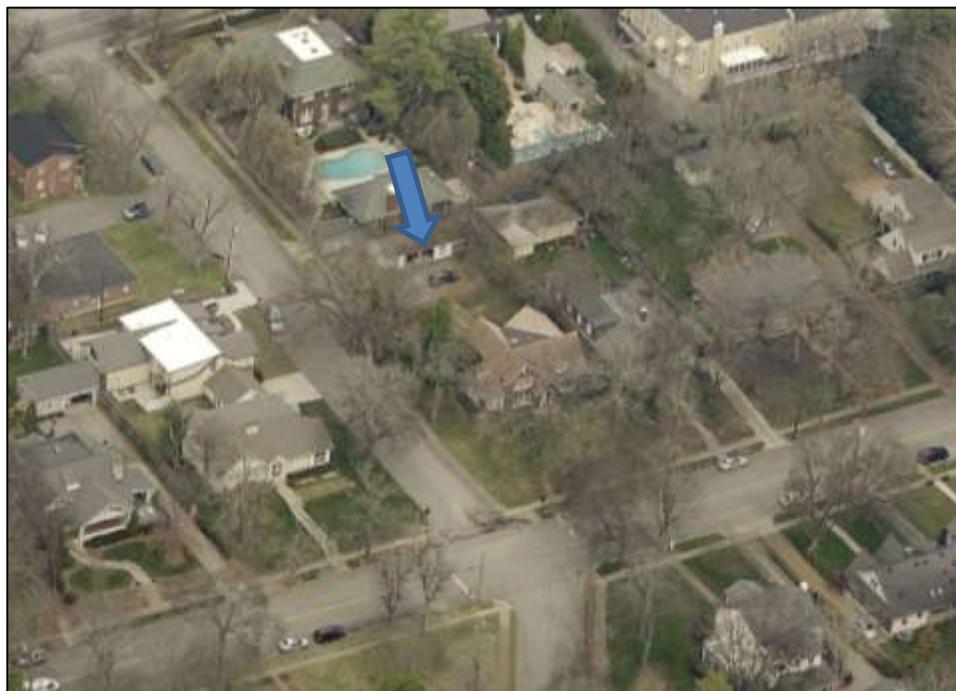
Note – The proposal does not indicate that the outbuilding will be used as a Detached Accessory Dwelling Unit, therefore it has been reviewed under the neighborhood design guidelines only. It has not been reviewed for compliance with 17.16.030.G of the Metro Code. If someone wishes to convert it in the future, the building may need to be altered to meet the code.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*

· Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

· *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

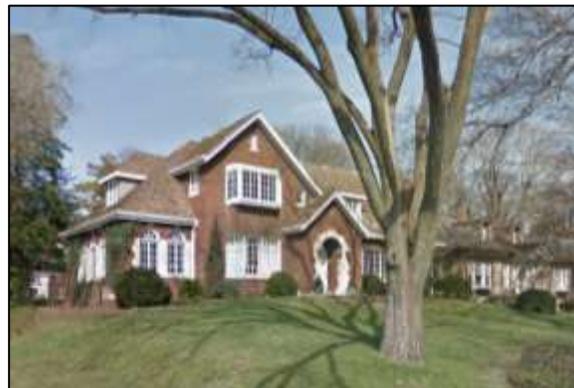
· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Background: The house at 3708 Whitland Avenue is a cross-gabled Tudor style house, constructed circa 1930. The form of the building is unusual in that it appears to be one and one-half story form the front, but from the sides and rear it is two stories tall.

Analysis and Findings: The applicant proposes to construct a new one and one-half story outbuilding. The proposal does not indicate that the building is intended to be used as a detached accessory dwelling unit.



Massing Planning: The following tables show the height and scale of outbuildings permitted under the design guidelines for a lot greater than 10,000 square feet in area:

Height:

	Existing conditions (height of historic building -measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should not exceed the lesser number to the left)
Ridge Height	28'	25'	24'
Eave Height	20'	10'	10'

Footprint:

Area	Lot is greater than 10,000 sq. ft.	Proposed footprint cannot exceed the number to the left
Square Footage	1000 sq. ft.	1000 sq. ft.

Staff finds the scale of the proposed outbuilding to be compatible with surrounding buildings and to meet section II.B.1.i.1 of the design guidelines

Site Planning & Setbacks:

	REQUIREMENT/ MINIMUM	PROPOSED
Building located towards rear of lot	-	Yes
Space between principal building and DADU/Garage	20'	73'
Rear setback	20'	5'
L side setback	20'	18'
R side setback	5'	5'
How is the building accessed?	From the alley or existing curb cut	Alley at rear
If the vehicular doors face the street, are there two doors rather than one large door?	Two-bays or face alley	Garage doors face alley

The new outbuilding does require a determination on the appropriateness of the proposed setbacks for the building. Bulk zoning would require minimum setbacks for the rear and left side (street-facing) to be twenty feet (20') for this building, however the applicant proposes to locate the building only eighteen feet (18') from the left side and five feet (5') from the rear of the property. Staff finds that the shorter setbacks to be in keeping with the location of outbuildings historically. Additionally, there is a fifteen foot (15') wide unpaved buffer along the edge of the property that gives the building the appearance of having a significantly deeper side-setback. The right-side setback is also typical of the

locations of outbuildings historically and meets the bulk zoning requirements. Staff finds the proposed outbuilding to meet section II.B.1.i.2 of the design guidelines.

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Cross-gable	X
Primary roof slope	12:12	X
Dormer form	Shed	X
Dormer roof slope	4:12	X
Porch form	Stoop, shed roof	X
Porch slope	6:12	X

Elements:

	YES	NO
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2'?	Yes	
Is the roof pitch at least 4/12?	Yes	

Material:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete slab	Typical	X
Cladding	Brick, Cement-fiber shiplap	Match house	X
Secondary Cladding	Stucco	Typical	X
Roofing	Asphalt shingle	Match house	X
Trim	Wood	Smooth	X
Porch floor	Concrete slab	Typical	X
Driveway	Concrete	Typical	X
Windows	Not indicated	Needs approval	
Pedestrian Door	Wood	Needs approval	
Vehicular Door	Not indicated	Needs approval	

With the staff's final approval of the window selection and door selection, staff finds that the project's materials meet Section II.B.1.i of the design guidelines.

Appurtenances & Utilities: The existing driveway will be replaced with a new concrete driveway to access the building from street. A new wooden fence with brick piers will also be added around the rear yard; however, the Commission does not review fencing in this district. No other changes to the site's appurtenances were indicated on the drawings. The project meets section II.B.1.h.

Recommendation: Staff recommends approval of the detached accessory dwelling unit with the proposed left and rear setback determinations with the following condition:

1. The window selections and door selections shall be approved by MHZC Staff prior to installation.

With this condition, staff finds that the detached accessory dwelling unit meets Section II.B.1.i of the design guidelines for the Whitland Neighborhood Conservation Zoning Overlay.

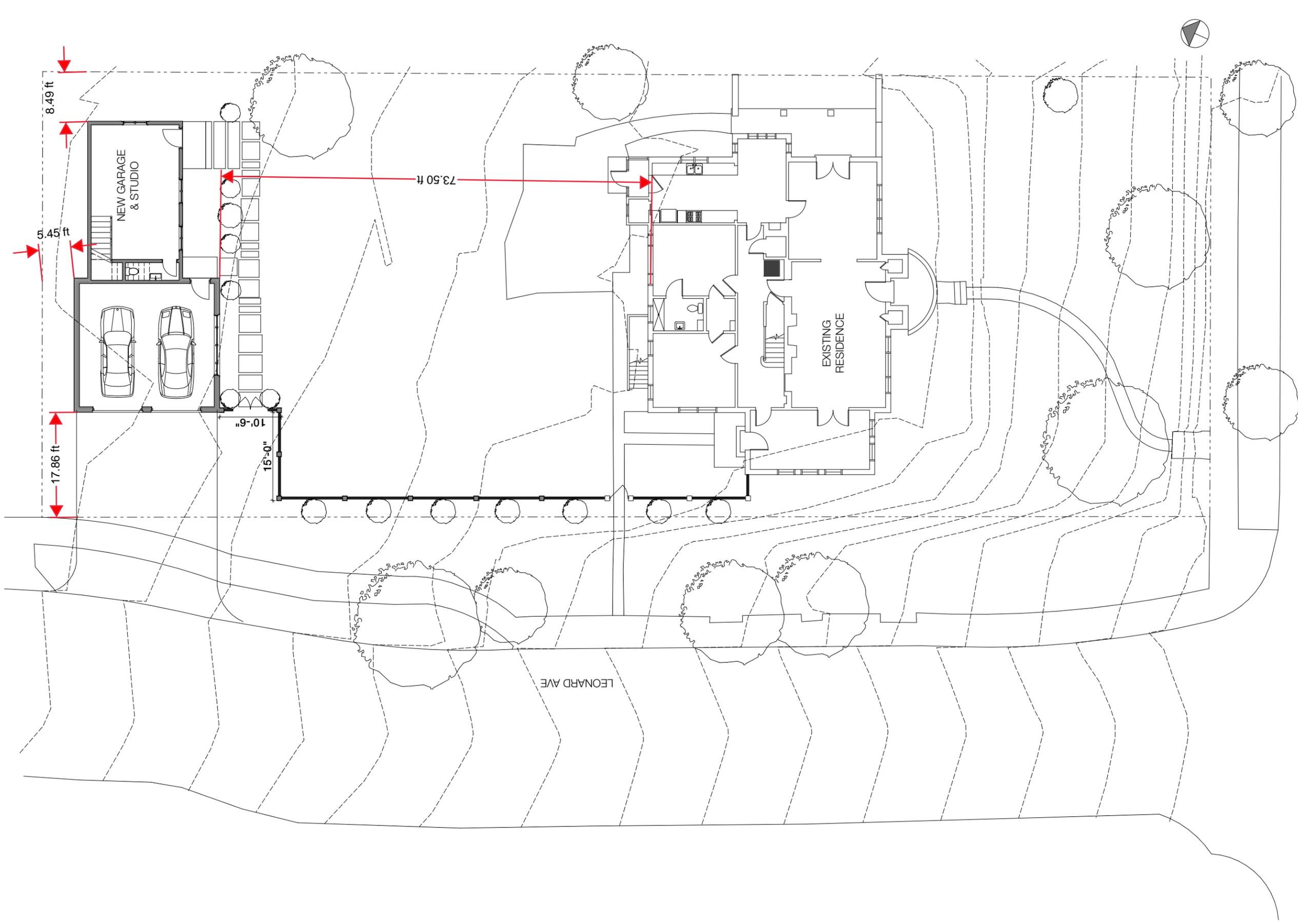
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BACK HOUSE PERSPECTIVE

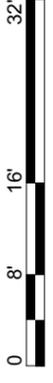
NOT TO SCALE

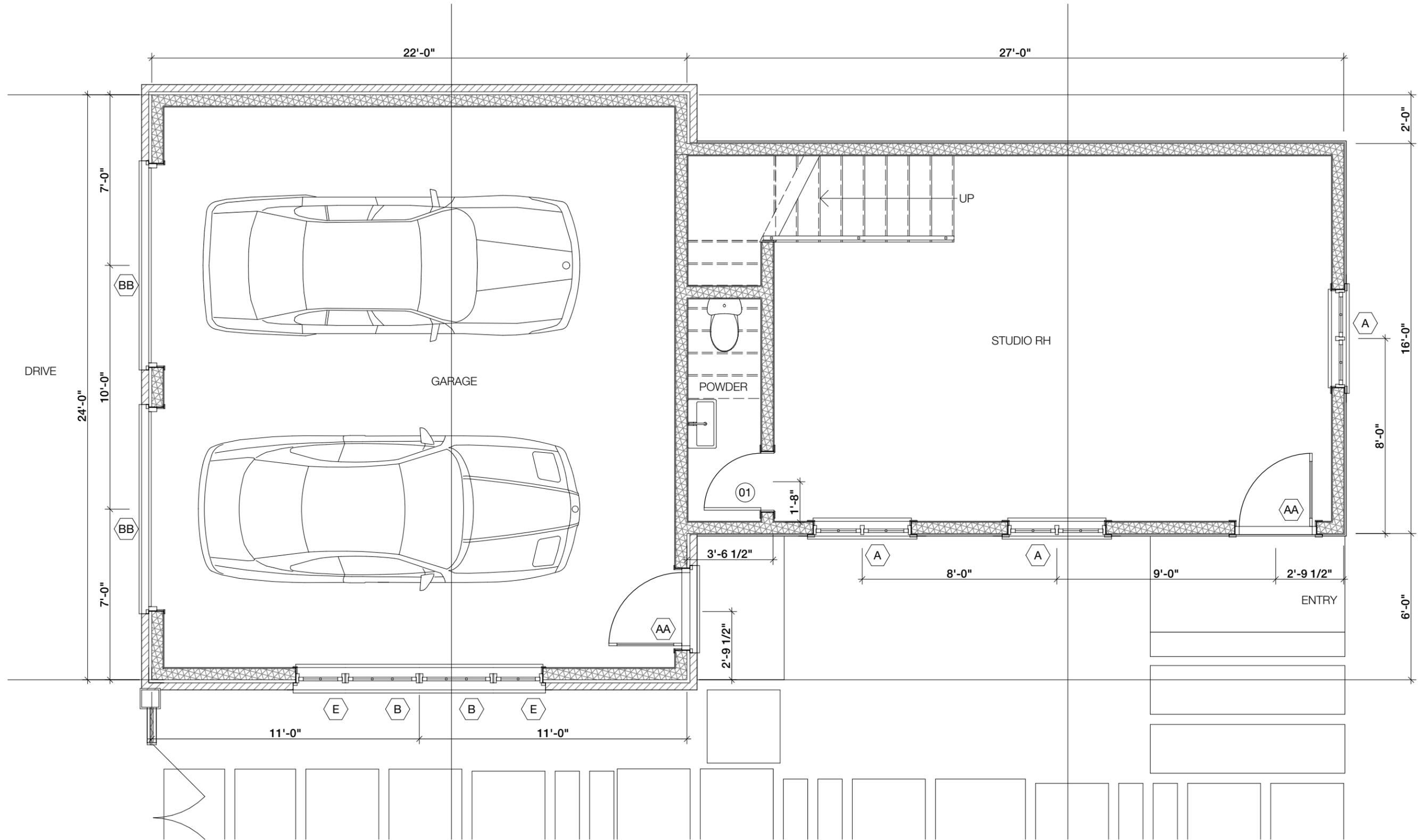


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SITE PLAN

SCALE: 1/16" = 1'-0"

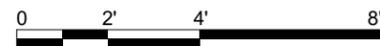


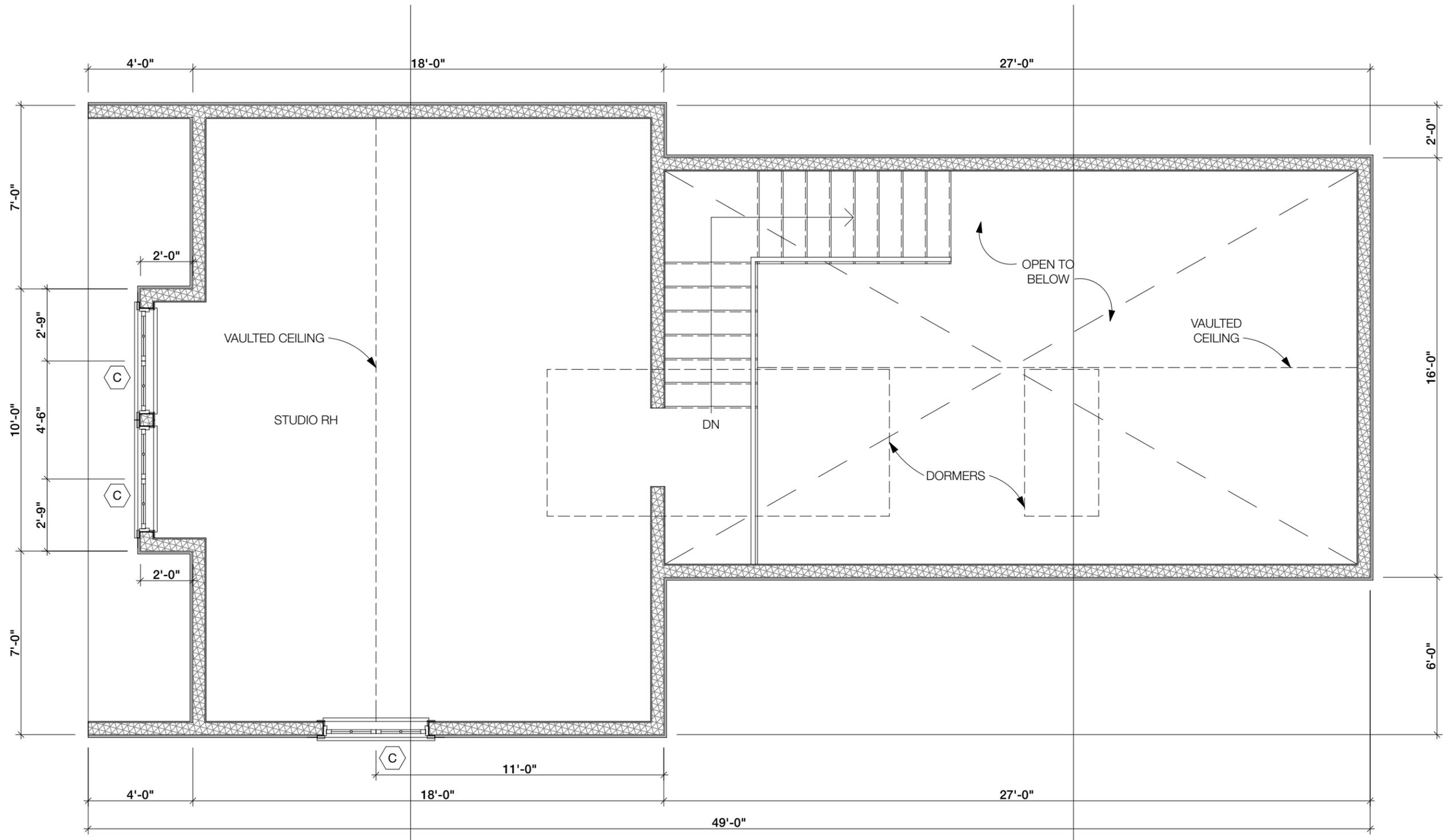


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FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

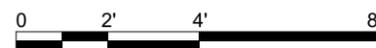




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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



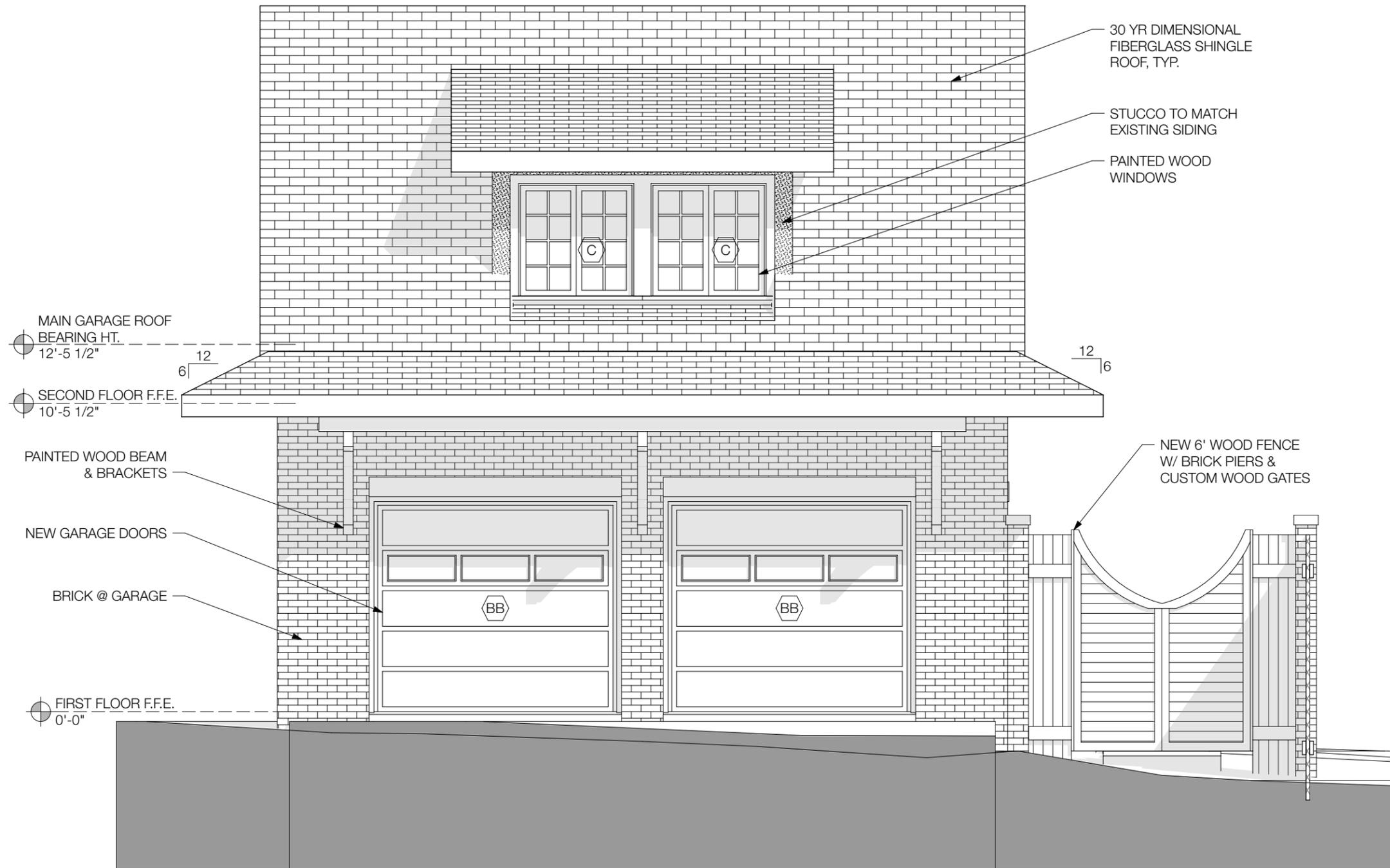


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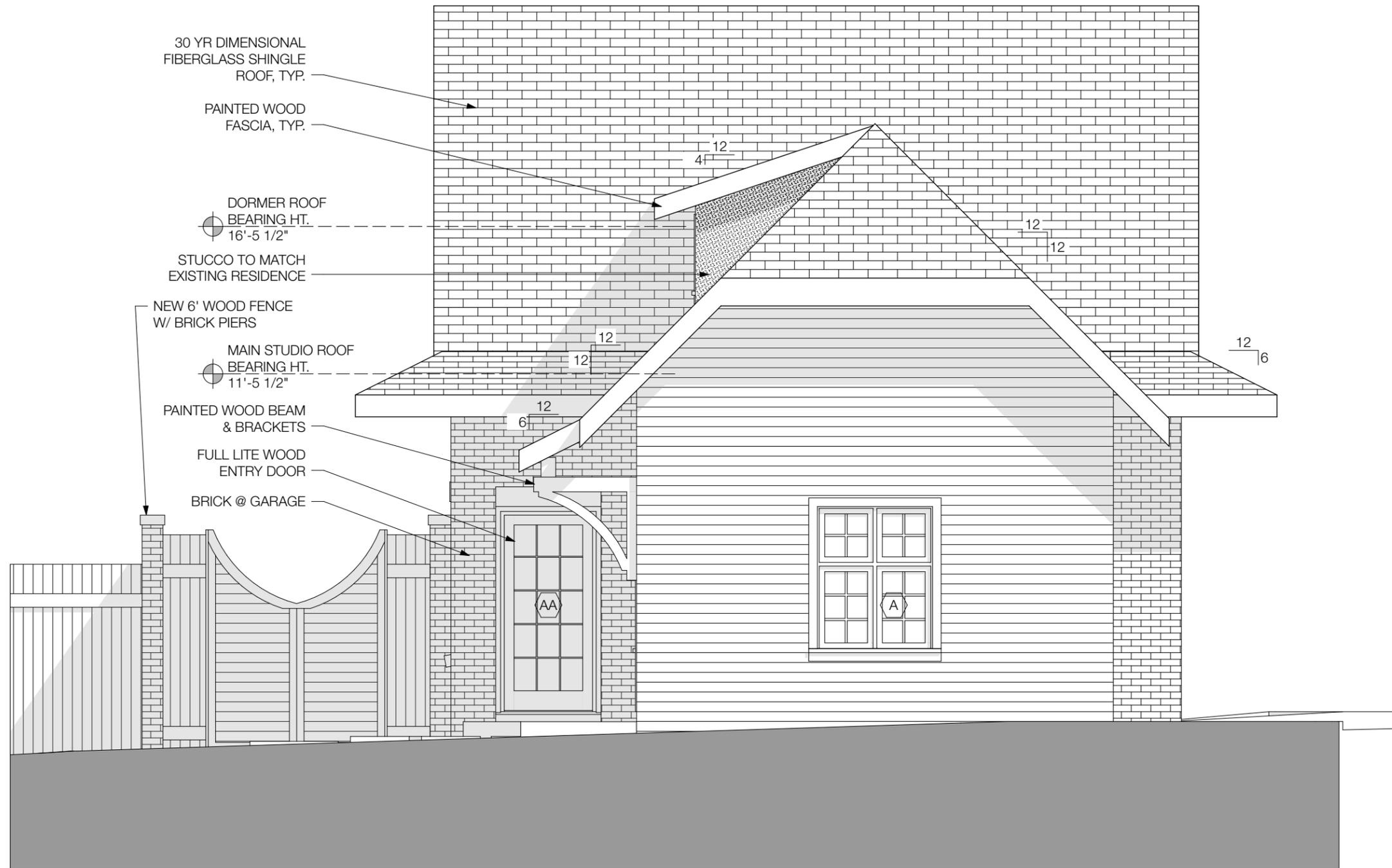
BACKYARD ELEVATION

SCALE: 1/4" = 1'-0"





① **GARAGE/ STREET ELEVATION**
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'

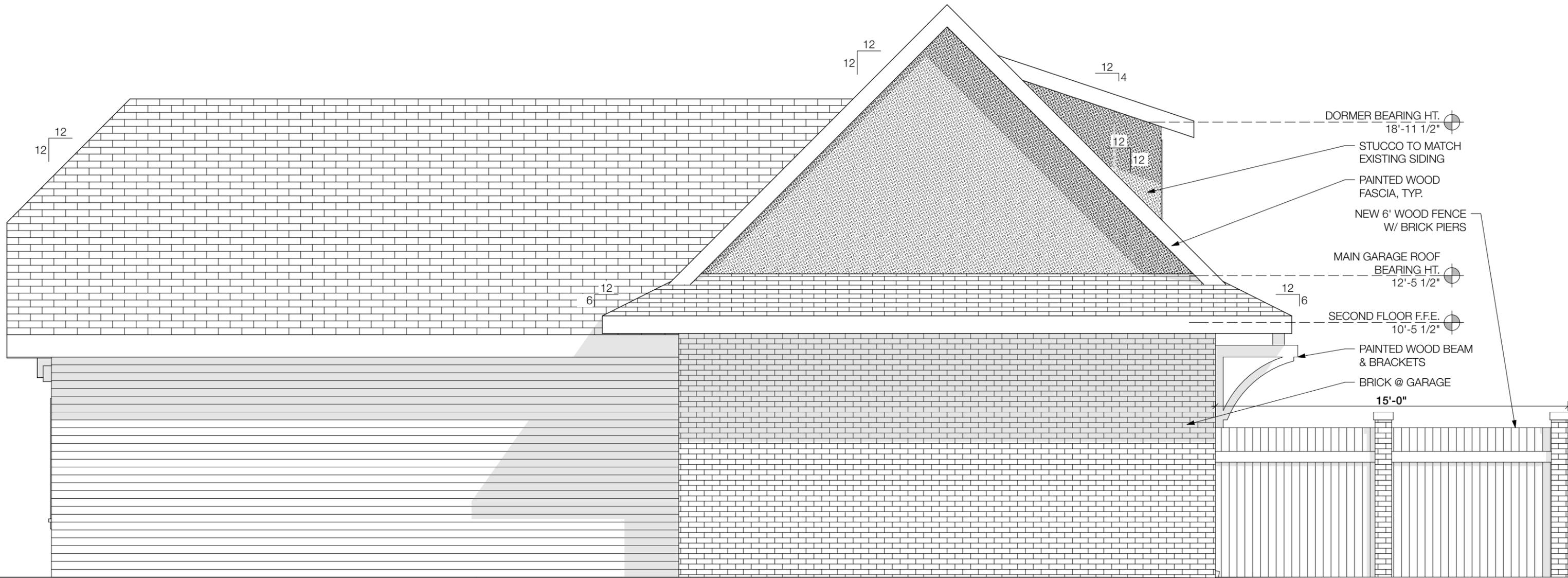


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RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"





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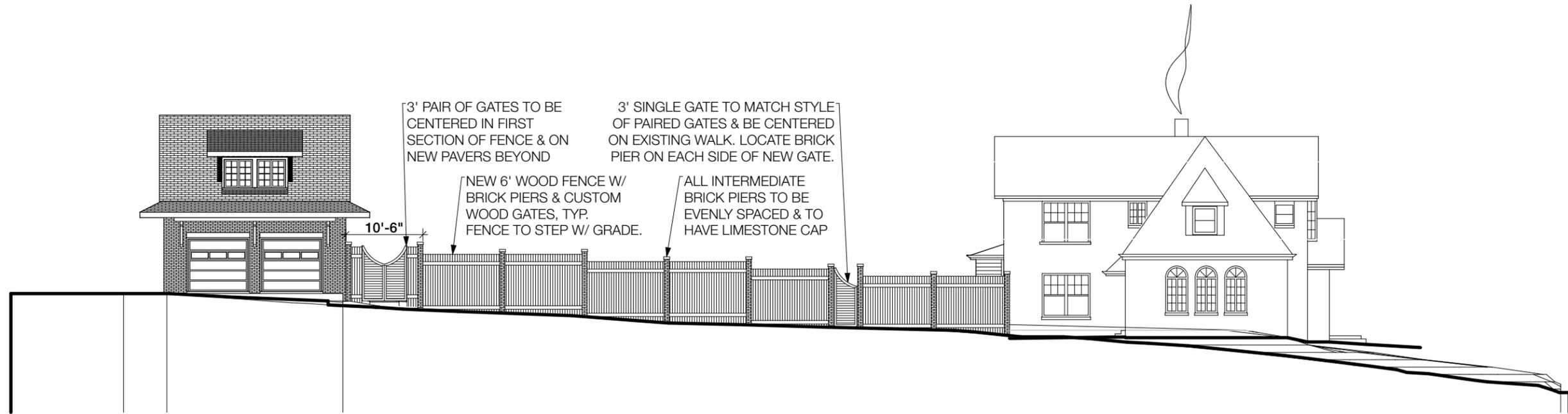
BACK ELEVATION

SCALE: 1/4" = 1'-0"



DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	GLAZ	PAIR	TYPE	NOTES/REMARKS
01	2'-4"	6'-8"	N	Y	INTERIOR	
AA	3'-0"	6'-8"	Y	N	ENTRY	
BB	8'-0"	7'-0"	Y	N	GARAGE	

WINDOW SCHEDULE				
MARK	SIZE	HEAD HT. (AFF)	LOCATION	NOTE/REMARKS
				PAIR CASEMENTS, SEE ELEV FOR DIVISIONS
A	4'-0"x5'-0"	7'-0"	1ST FL STUDIO	PAIR CASEMENTS, SEE ELEV FOR DIVISIONS
B	3'-0"x5'-0"	7'-0"	1ST FL GARAGE	CASEMENT, SEE ELEV FOR DIVISIONS
C	4'-0"x4'-0"	7'-6"	2ND FL GARAGE	PAIR CASEMENTS, SEE ELEV FOR DIVISIONS
D	2'-0"x2'-6"	16'-7" ABOVE 1ST FL	DORMERS	CASEMENT, SEE ELEV FOR DIVISIONS
E	2'-0"x5'-0"	7'-0"	1ST FL GARAGE	CASEMENT, SEE ELEV FOR DIVISIONS



① FENCE/ STREET ELEVATION
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32'