



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
613 17th Avenue North (MLK, Jr Academic Magnet School)
March 15, 2017

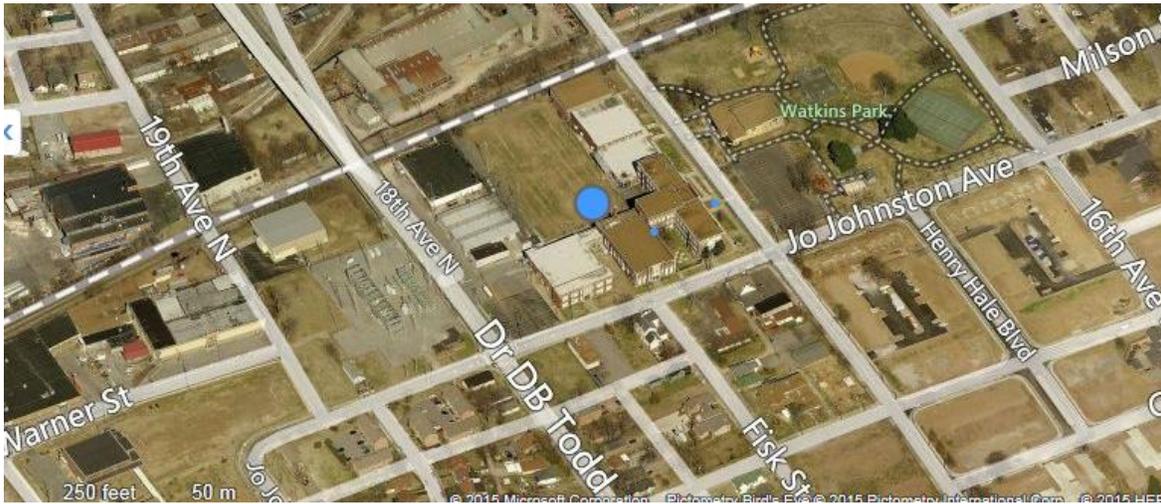
Application: New construction-addition
Map and Parcel Number: 09208001600
Council District: 19
Applicant: JC Elder, Bauer Askew Architecture
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov, 615-862-7970

<p>Description of Project: The proposal is for Phase II of a rear addition to Historic MLK Jr. High School.</p> <p>Recommendation Summary: Staff recommends approval with the condition that Staff provide final review of metal panel colors, masonry, and windows and doors, if they are different from those already approved for Phase I. With this condition, the project meets the design guidelines for new construction on a Landmark site.</p>	<p>Attachments A: Elevations</p>
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Vicinity Map



Aerial Map



Applicable Ordinance:

I. Secretary of Interior Standards

B. By state law, all design guidelines for neighborhood conservation zoning overlays must comply with the Secretary of the Interior's Standards for Treatment of Historic Properties:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal changes to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

4. Most properties change over time; those changes that have acquired historical significance in their own right shall be retained and preserved.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means necessary.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

II. BUILDING SITE

Some Historic Landmark Districts consist only of the historic building and the land immediately underneath it. Other landmark districts consist of a building *and* the landscape surrounding the landmark. Often this landscape or *site* is an integral part of the landmark's importance and construction on or alteration of the site may have an impact on the landmark building itself. The following guidelines are intended for use when construction is proposed on a landmark site:

1. Features of the site that are important in defining the overall character of the landmark should be identified, retained, and preserved. Removal or radical change of site features which are important in defining the overall historic character of the landmark should be avoided.

2. Removal or relocation of buildings or landscape features which are historically related to the landmark shall be avoided.
3. Repair of deteriorated landscape or site features rather than replacement is encouraged where possible. Addition of conjectural landscape features which would create a false sense of historic development should not occur.
4. Construction of new buildings adjacent to the landmark building shall not detract from or diminish the value of the landmark itself. Standards 9 & 10 from the above guidelines address new construction and shall be applied when new buildings are proposed in a landmark district.
5. New or added exterior site features shall be placed so as not to detract from or diminish the value of the landmark itself.
6. Site work including construction of parking and utility work shall be undertaken carefully so as not to disturb architectural or archaeological features of the landmark site.

New parking should be placed to the rear of the landmark building to minimize adverse visual impact. Parking surface should be selected to minimize harm to the landscape surrounding the landmark. Excavation work should be carefully undertaken and care shall be used to properly record any archaeological materials encountered.

B. DEMOLITION

1. Demolition is not appropriate

- a. If a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. If a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the property;
- b. If a building, or major portion of a building, does not contributing to the historical and architectural character and significance of the landmark and its removal will result in a more historically appropriate visual effect on the property; or
- c. If the denial of the demolition will result in an economic hardship for the property as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background:

Located at 613 17th Avenue North and formerly Pearl High School, the original portion of this Art Deco building was completed in 1937 and designed by the prominent African-American architectural firm of McKissack and McKissack. For many years Nashville's only high school for black students, Pearl is significant as a community anchor for African Americans during segregation. The school was a project of the Public Works Administration (PWA) and maintains a high degree of architectural integrity with replacement windows and doors representing the only significant changes to the façade. Additions to the original structure include a vocational building (1945) and gymnasium

(1964). Designated 7/30/2004; Ordinance No. BL2004-280

In 2015 a rear phased addition, primarily oriented to Jo Johnston Avenue, was approved by the Commission. The current proposal is for an addition to the 2015 addition, with a primary orientation to Dr. DB Todd Jr. Blvd on a vacant portion of the campus

Analysis and Findings:

Building Site: The MLK, Jr. Academic Magnet High School is a local Historic Landmark. The primary historic 1937 portion of the campus faces 17th Avenue North. The proposed addition will be behind this portion with highly visible portions on Dr. DB Todd Jr. Blvd. (See figure 1.)

The project included a slight reorientation of two streets: Eighteenth Avenue North and Dr. DB Todd Blvd, which MHZC staff signed-off on administratively in 2015.

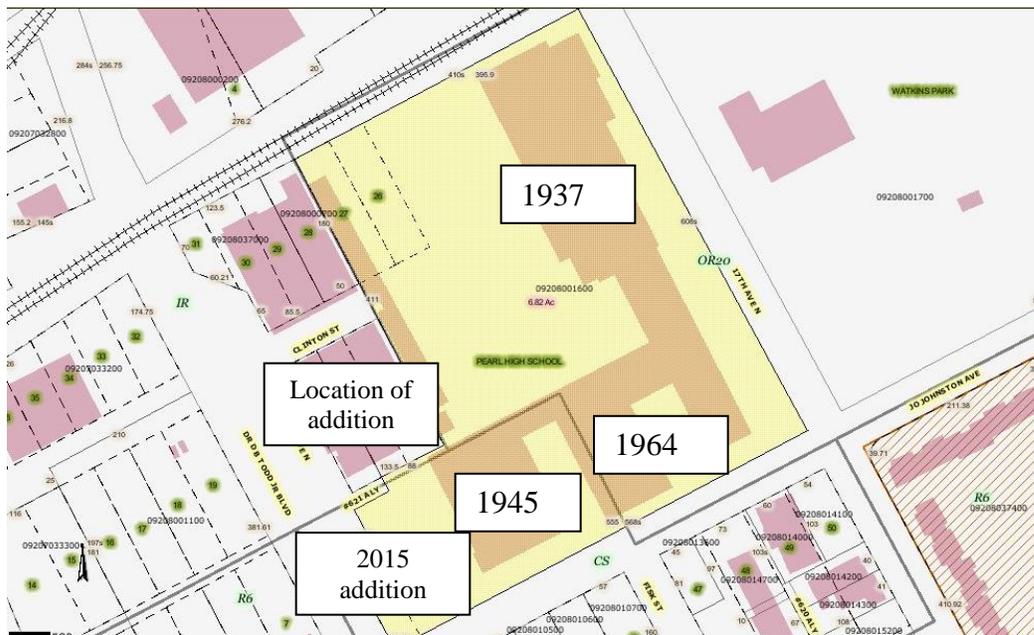


Figure 1: Shows the dates of construction for the MLK campus.

The proposed addition does not alter or remove significant features of the site. The location keeps the addition from detracting from the historic portions of the campus. There are no known archaeological areas in this heavily disturbed area. For these reasons, Staff finds the project to meet section II of the design guidelines.

Compatibility of Massing & Form: The addition will be one-story (~18' tall) with a parapet roof, similar to the historic portions of the campus. The façade facing Dr. DB Todd Blvd will not affect the historic character of the campus as it will not be seen in relationship to any of the historic buildings nor will it physically touch the earliest building on campus.

Differentiation & Removability: Differentiation between new and old is not necessary in this case since the addition will be attached to a 2015 approved addition; however it is differentiated by a change in height from three-stories to one-story. Removability is not an issue for Phase II since it does not connect to any of the historic buildings on the campus.

Compatibility of Openings: The rhythm of openings includes a regular rhythm of large windows on the primary massings facing Dr. D.B. Todd with smaller windows on small recessed sections that also have a lower roofline. The left side of the addition will face a new portion of Clinton Street that feels and looks more like an internal lane to the campus. The Clinton Street façade does not continue the same rhythm of openings; however, Staff finds this to be appropriate since it is a secondary façade that cannot be seen within the context of the historic portions of the campus. The only other visible side is a portion of the right side, facing the 2015 addition. It does not have openings but will be minimally visible.

Compatibility of Materials: Materials for the siding include brick, calcium silicate masonry units, and metal panels. The masonry products are similar to the materials used on the historic building and provide for a modern interpretation the simple brick and stone.

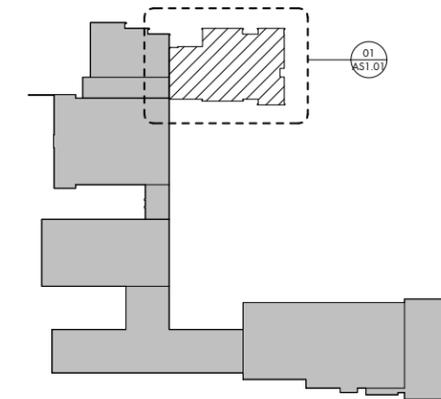
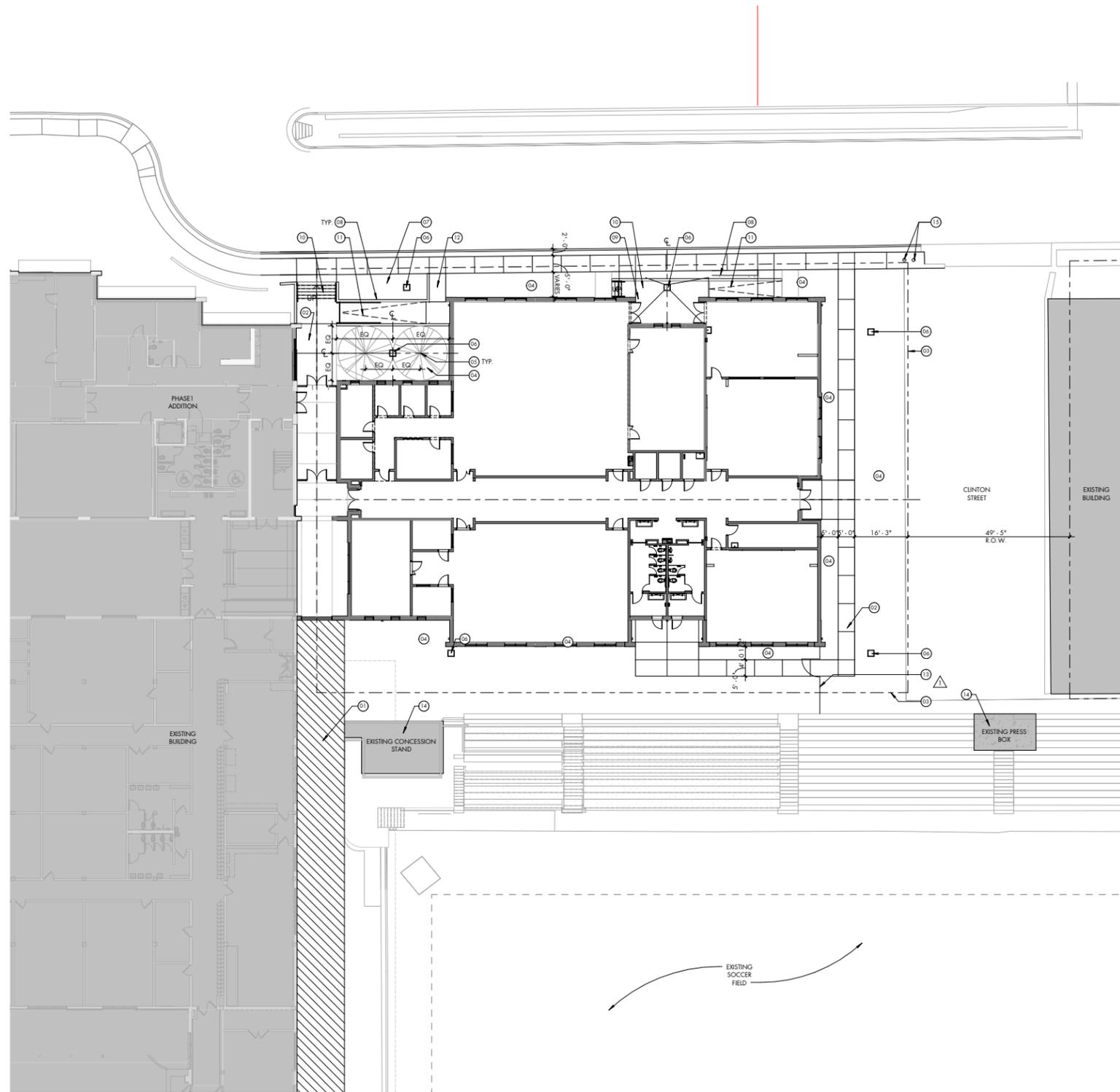
Item	Material	Texture/Color	Needs Final Approval
Cladding 1	Brick	to match 2015 approval	
Cladding 2	Calcium silicate masonry	to match 2015 approval	
Cladding 3	Prefinished metal	Color needs final approval	X
Foundation*	Stone masonry	to match 2015 approval	
Coping	Metal	to match 2015 approval	
Door	Metal		X
Windows			X
Stairs, ramp and landing	Concrete		

*There is no foundation material visible on the Dr. D.B. Todd Blvd. elevation.

Staff recommends final review of metal panel colors, masonry, windows and doors, if they differentiate from those already reviewed and approve for the 2015 addition. With this condition, the project meets the design guidelines for materials.

Recommendation:

Staff recommends approval with the condition that Staff provide final review of metal panel colors, masonry, and windows and doors, if they are different from those already approved for Phase I. With this condition, the project meets the design guidelines for new construction on a Landmark site.

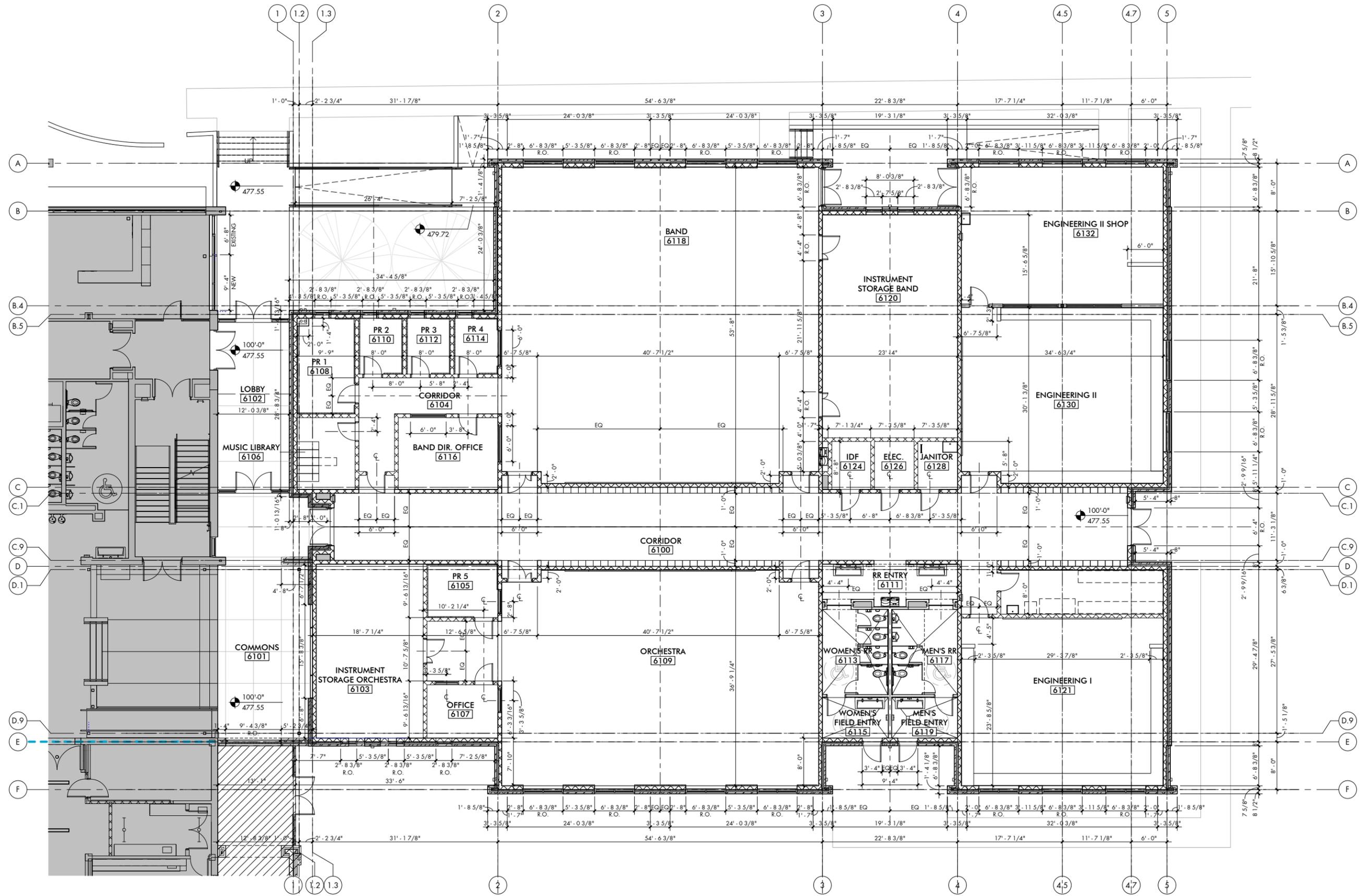


KEY PLAN

SITE PLAN KEYNOTES

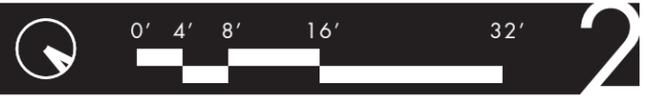
1	HATCH INDICATES EXTENT OF PHASE II B ADDITION (FUTURE)
2	CONCRETE SIDEWALK - REFER TO CIVIL DRAWINGS, UTILIZE SAW CUT CONTROL JOINTS
3	EXISTING PROPERTY LINES
4	LANDSCAPED AREA - SO2, AS REQUIRED
5	4" CALIPER TREES - SPECIES TO BE SELECTED
6	AREA DRAIN - REFER TO CIVIL DRAWINGS
7	STONE MONUMENT ENTRY SIGN
8	ARCHITECTURALLY EXPOSED CONCRETE WALL - REFER TO DETAILS
9	MASONRY SITE WALL W/ 8" LIMESTONE CAP - REFER TO DETAILS
10	CAST IN PLACE CONC. STAIR W/HANDRAILS - REFER TO CIVIL DRAWINGS
11	CAST IN PLACE CONC. RAMP W/HANDRAILS (MAX SLOPE = 1:12) - REFER TO CIVIL DRAWINGS
12	SLOPED SIDEWALK (MAX SLOPE = 1:20) REFER TO CIVIL FOR GRADE INFORMATION
13	WROUGHT IRON FENCE & GATE TO MATCH EXISTING SITE FENCING
14	EXISTING BUILDING TO REMAIN
15	EXISTING LIGHT POLE & HYDRANT TO REMAIN

MIK JR. ACADEMIC MAGNET SCHOOL
PHASE II MUSIC & ENGINEERING
SITE PLAN



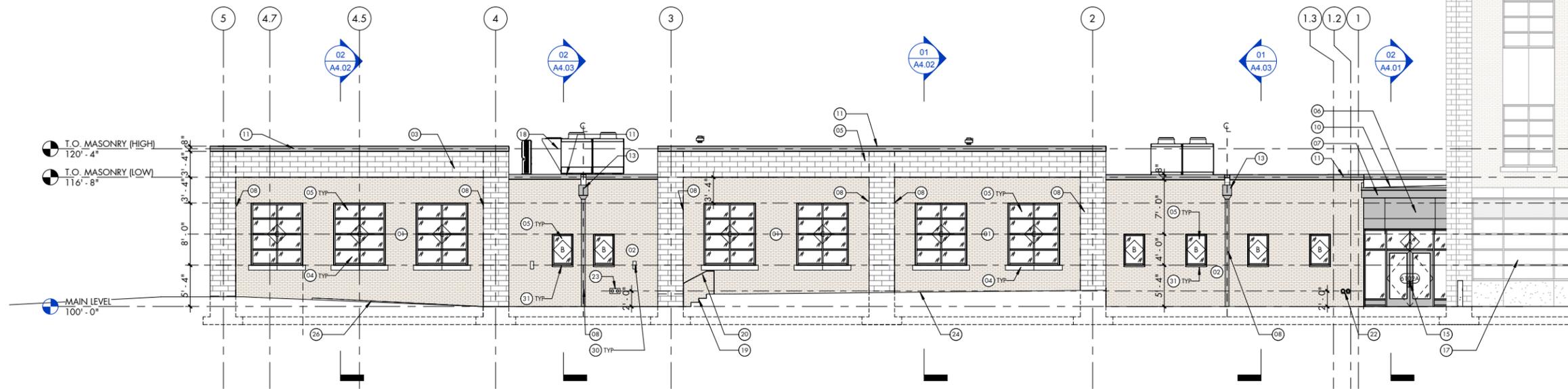
MIK JR. ACADEMIC MAGNET SCHOOL
PHASE II MUSIC & ENGINEERING
PLAN

BAUER ASKEW
 architecture . pllc

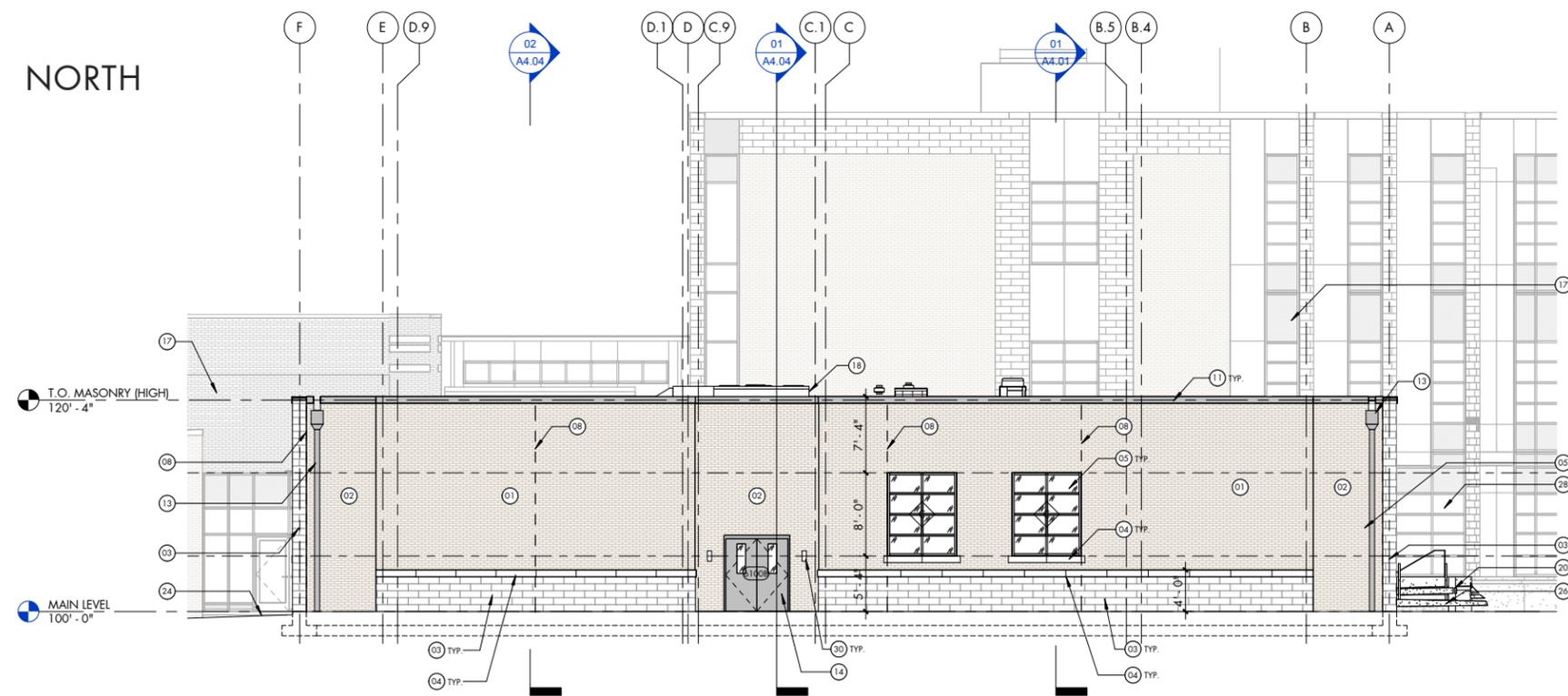


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WEST

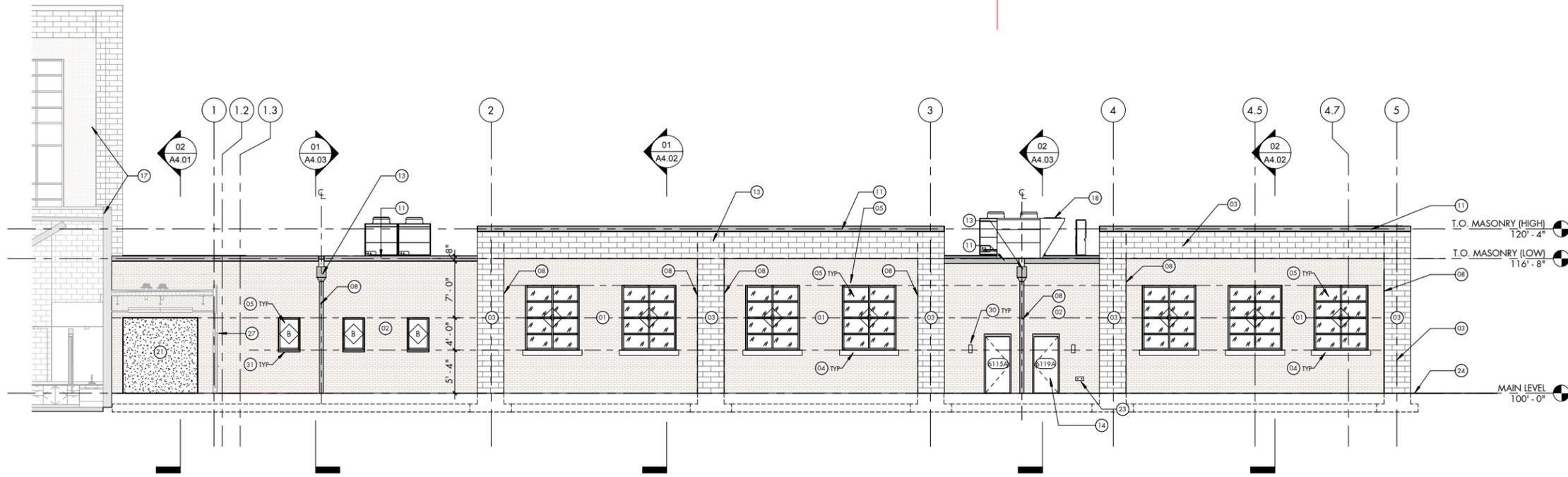


NORTH

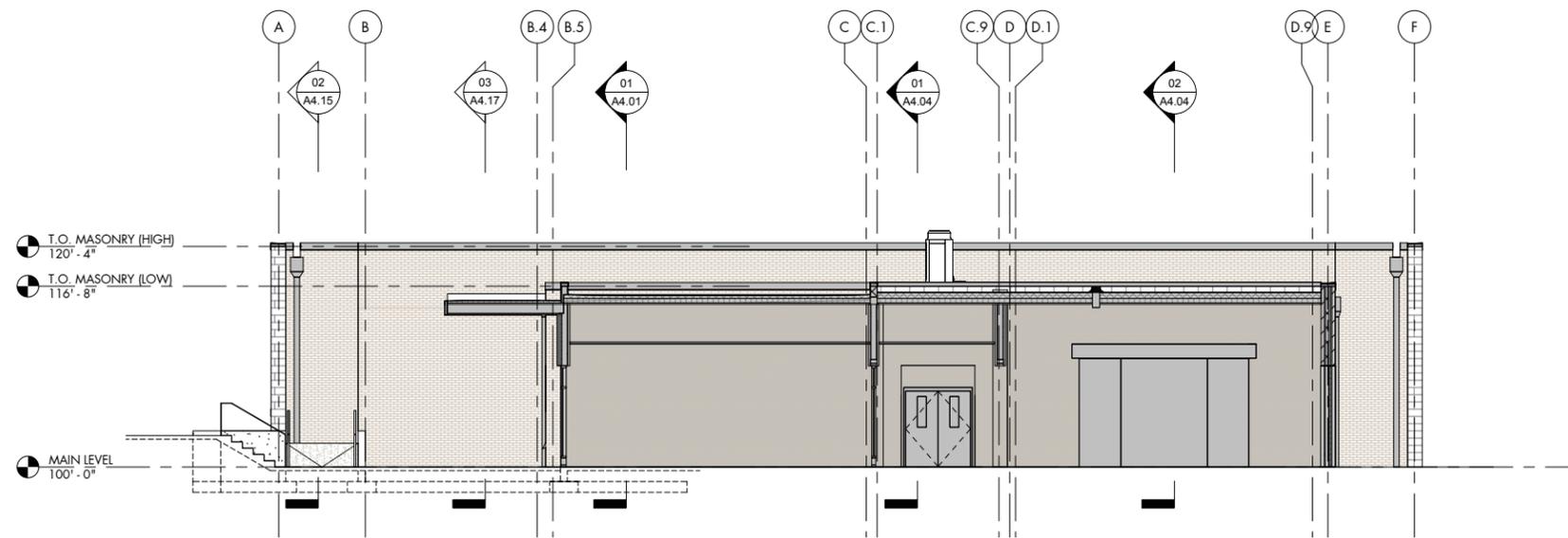


ELEVATION NOTES	
01	STANDARD MODULAR BRICK (MA-1); RUNNING BOND; COLOR: JENKINS BRICK COMPANY - PEABODY BLEND
02	STANDARD MODULAR BRICK (MA-2); RUNNING BOND; COLOR: CLOUD CERAMMICS - IRON SPOT EBONY, VELOUR
03	CALCIUM SILICATE MASONRY UNITS; RUNNING BOND; COLOR: TO MATCH PHASE I
04	8" HIGH STONE MASONRY SILL; COLOR TO MATCH CALCIUM SILICATE MASONRY UNITS; ALIGN JOINTS WITH MASONRY AND STOREFRONT MULLIONS TYP.
05	2.25" X 6" FRONT SET PAINTED ALUMINUM CURTAIN WALL SYSTEM WITH 2.5" SNAP TRIM AT THE PERIMETER AND VERTICAL MULLIONS (COLOR: PEWTER); REFER TO WINDOW SCHEDULE
06	PREFINISHED METAL PANEL SYSTEM
07	PREFINISHED METAL PANEL FASCIA WITH DRIP EDGE AND SOFFIT
08	HORIZONTAL - CONTROL JOINT WITH THRU WALL FLASHINGS; VERTICAL - 3/8" JOINT WITH CONTINUOUS BACKER ROD AND SEALANT. SEALANT COLOR TO BE SELECTED BY ARCHITECT. ALIGN AT FULL AND HALF COURSING
09	ARCHITECTURAL EXPOSED CONCRETE WALL
10	SINGLE PLY ROOFING SYSTEM, COLOR: BLACK; REFER TO ROOF PLAN FOR DETAILS
11	PREFINISHED METAL COPING COLOR TO MATCH ADJACENT MATERIAL; REFER TO DETAILS FOR DIMENSIONS
12	ROOF FLASHING/COUNTERFLASHING AT EDGE OF ROOF, TYP.
13	PREFINISHED METAL COLLECTOR HEAD AND DOWNSPOUT; ROTATE TO SYSTEM WATER SYSTEM - REFER TO CIVIL DRAWINGS; COLOR: TO BE SELECTED
14	PAINTED HOLLOW METAL DOOR AND FRAME; COLOR TO BE SELECTED BY ARCHITECT; REFER TO DOOR SCHEDULE
15	PAINTED HOLLOW METAL DOOR AND WINDOWS WITH 1" INSULATED GLAZING LITE. SET IN HOLLOW METAL FRAME; COLOR TO MATCH STOREFRONT SYSTEM, REFER TO DOOR SCHEDULE
16	
17	EXISTING BUILDING
18	ROOF TOP MECHANICAL UNITS; REFER TO MECH DWGS FOR DETAILS
19	EXTERIOR CONCRETE STAIRS WITH LIGHT BROOM FINISH; REFER TO CIVIL FOR DETAILS
20	2" X 1/2" PAINT GRIP GALVANIZED STEEL HANDRAIL; REFER TO DETAILS
21	TEMPORARY WALL WITH WEATHER RESISTIVE BARRIER FOR PHASE IIB
22	BRONZE DOWN SPOUT NOZZLE WITH LAMBS TOUNGE; REFER TO PLUMBING DWGS FOR DETAILS
23	HOSE BIB; REFER TO PLUMBING DWGS
24	FINISH GRADE; REFER TO CIVIL DWGS
25	
26	EXTERIOR CAST-IN-PLACE CONCRETE RAMP WITH LIGHT BROOM FINISH; REFER TO CIVIL DWGS
27	FUTURE PHASE IIB ADDITION
28	
29	
30	EXTERIOR WALL SCANCE - REFER TO RCP
31	MODIFIED ROWLOCK BRICK SILL - REFER TO WINDOW DETAILS
NOTE	FOR ENLARGED WINDOW ELEVATIONS AND GLAZING TYPES, REFER TO THE A6 SERIES SHEETS.

EAST



SOUTH



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