

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1103 Montrose Avenue April 19, 2017

Application: New construction—addition and outbuilding; Setback determination
District: Waverly-Belmont Neighborhood Conservation Zoning Overlay
Council District: 07
Map and Parcel Number: 11801013400
Applicant: Steve Durden, Durden Architecture
Project Lead: Melissa Baldock, melissa.baldock@nashville.gov

Description of Project: Application is to construct a rear addition and an outbuilding. The addition requires a side setback determination, and the outbuilding requires both a side and a rear setback determination. The outbuilding will not be used as a detached accessory dwelling unit.

Recommendation Summary: Staff recommends approval of the project with the following conditions:

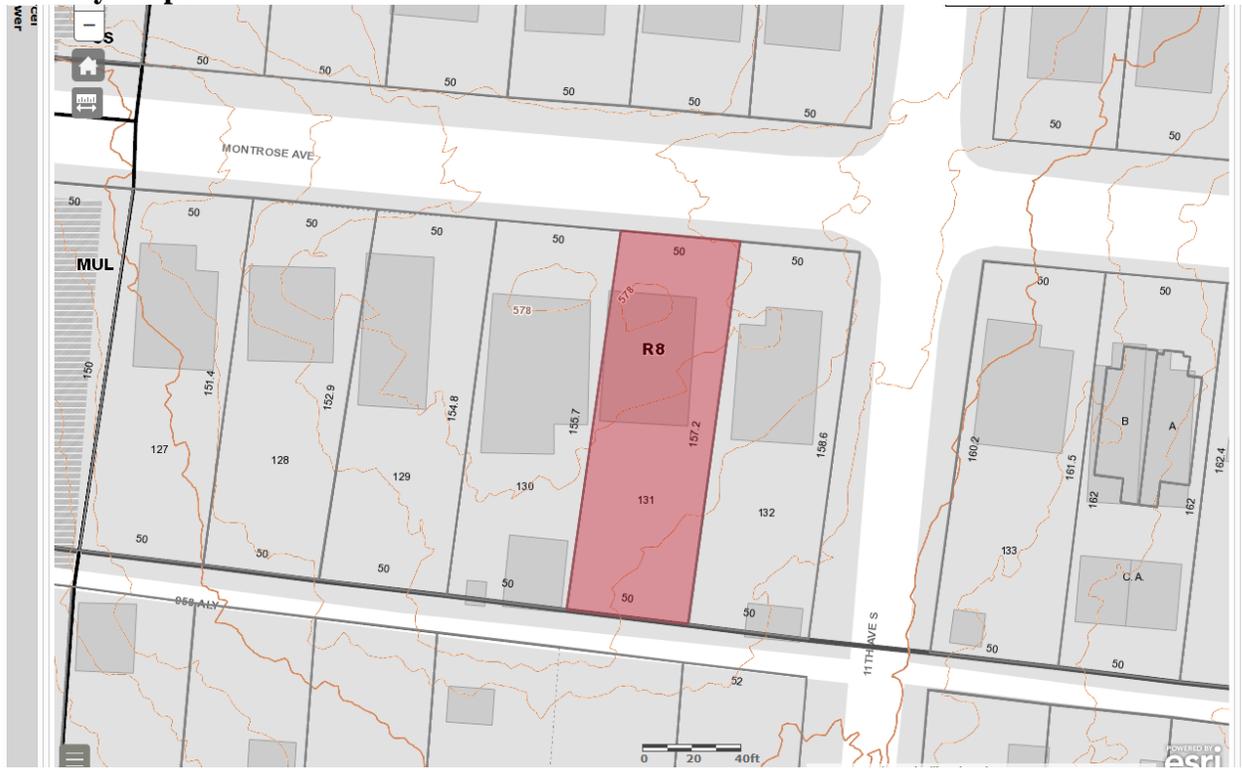
1. The lap siding be wood or smooth cement fiberboard, with a maximum reveal of five inches (5");
2. Staff approve the trim material;
3. Staff approve masonry;
4. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
5. Staff approve the roof shingle color and the metal roof color prior to purchase and installation; and
6. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

With these conditions, staff finds that the proposed project meets Sections III, IV, and V of the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay.

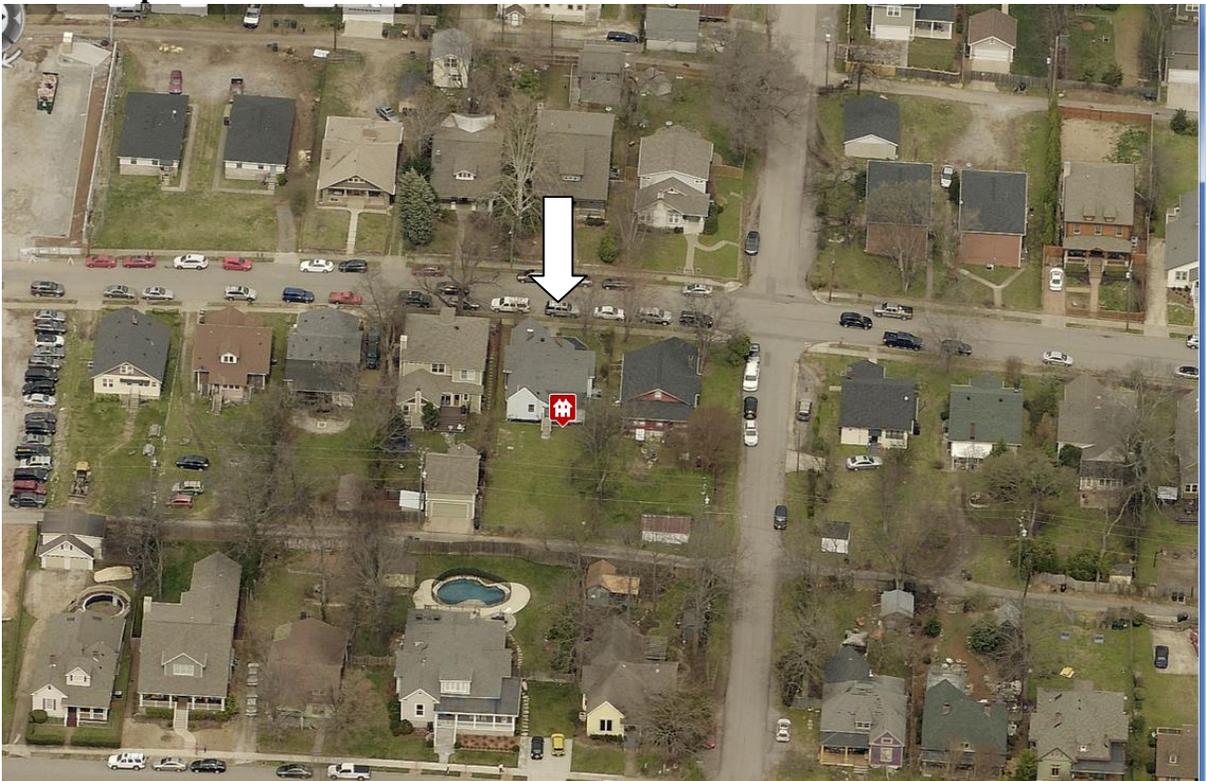
The Commission does not have the authority to approve the use. This recommendation is for the design of the addition and outbuilding based on the proposed use.

Attachments
A: Site Plan
B: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. New Construction

A. Height

1. The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings. Where there is little historic context, existing construction may be used for context. Generally, a building should not exceed one and one-half stories.

B. Scale

1. The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

C. Setback and Rhythm of Spacing

1. The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.
2. The Commission has the ability to determine appropriate building setbacks of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. *17.40.410*).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;
- Shape of lot;
- Alley access or lack thereof;
- Proximity of adjoining structures; and
- Property lines.

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity
- Existing or planned slope and grade

3. In most cases, an infill duplex for property that is zoned for duplexes should be one building as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and depth to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.

D. Materials, Texture, Details, and Material Color

1. The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings.
 - a. Inappropriate materials include vinyl and aluminum, T-1-11- type building panels, "permastone", and E.F.I.S. Stud wall lumber and embossed wood grain are prohibited.
 - b. Appropriate materials include: pre-cast stone for foundations, composite materials for trim and decking, cement fiberboard shingle, lap or panel siding.
 - Lap siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal.
 - Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").
 - Four inch (4") nominal corner boards are required at the face of each exposed corner.
 - Stone or brick foundations should be of a compatible color and texture to historic foundations.
 - When different materials are used, it is most appropriate to have the change happen at floor lines.
 - Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.
 - Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate for chimneys.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.
2. Asphalt shingle and metal are appropriate roof materials for most buildings.

Generally, roofing should NOT have: strong simulated shadows in the granule colors which results in a rough, pitted appearance; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; or uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof or a dominant historic example.

E. Roof Shape

1. The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. Common roof forms in the neighborhood include side, front and cross gabled, hipped and pyramidal. Typically roof pitches are between 6/12 and 12/12. Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.
2. Small roof dormers are typical throughout the district. Wall dormers are only appropriate on the rear, as no examples are found historically in the neighborhood.

F. Orientation

1. The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.
2. Primary entrances are an important component of most of the historic buildings in the neighborhood and include partial- or full-width porches attached to the main body of the house. Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.
3. Porches should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals. Front, side, wrap-around and cutaway porches are appropriate. Porches are not always necessary and entrances may also be defined by simple hoods or recessed entrances.

4. Generally, curb cuts should not be added. Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot. In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.
5. For multi-unit developments, interior dwellings should be subordinate to those that front the street. Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street. For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

G. Proportion and Rhythm of Openings

1. The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.
2. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district. In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.
3. Double-hung windows should exhibit a height to width ratio of at least 2:1. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
4. Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
5. Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

H. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

1. A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- a. *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven 750 feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- b. *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed 1000*

square feet.

- c. *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*
2. Historically, outbuildings were utilitarian in character. High-style accessory structures are generally not appropriate for Waverly-Belmont.
3. Roof
 - a. Generally, the eaves and roof ridge of any new accessory structure should not be higher than those of the existing primary building. In Waverly-Belmont, historic accessory buildings were between 8' and 14' tall.
 - b. Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but must maintain at least a 4/12 pitch.
 - c. The front face of any street-facing dormer should sit back at least 2' from the wall of the floor below.
 - d. *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'. (The width of the dormer shall be measured side-wall to side-wall and the roof plane from eave to eave.)*
 4. Windows and Doors
 - a. Publicly visible windows should be appropriate to the style of the house.
 - b. Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.
 - c. Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors.
 - d. For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.
 - e. Decorative raised panels on publicly visible garage doors are generally not appropriate.
 5. Siding and Trim
 - a. Weatherboard, and board-and-batten are typical siding materials.
 - b. Outbuildings with weatherboard siding typically have wide cornerboards and window and door casings (trim).
 - c. Four inch (4" nominal) corner-boards are required at the face of each exposed corner for non-masonry structures.
 - d. Stud wall lumber and embossed wood grain are prohibited.
 - e. Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between. Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.
 6. Outbuildings should be situated on a lot as is historically typical for surrounding historic outbuildings.
 - a. Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.
 - b. Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.
 - c. Generally, attached garages are not appropriate.

Setbacks & Site Requirements.

- d. *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or*

- one 2-bay building.*
- e. *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*
- f. *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*
- g. *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

- h. *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*
- i. *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*
- J. *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

7. Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

- a. *The lot area on which a DADU is placed shall comply with Table 17.12.020A.*
- b. *The DADU may not exceed the maximums outlined previously for outbuildings.*
- c. *No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot.*
- d. *A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met or the lot has been subdivided since August 15, 1984.*

Ownership.

- e. *No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.*
- f. *The DADU cannot be divided from the property ownership of the principal dwelling.*
- g. *The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.*
- h. *Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.*

Bulk and Massing.

- i. *The living space of a DADU shall not exceed seven hundred square feet.*

I. Utilities

1. Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.
2. Generally, utility connections should be placed no closer to the street than the mid-point of the structure. Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

J. Public Spaces

1. Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

2. Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

IV. Additions

A. Location

1. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.
 - a. Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
 - b. Generally rear additions should inset one foot, for each story, from the side wall.
2. When a lot width exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure.
 - a. The addition should sit back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.
 - b. Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.
 - c. To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

B. Massing

1. In order to assure that an addition has achieved proper scale, the addition should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as an extreme grade change or an atypical lot parcel shape or size. In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be higher and extend wider.
2. No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.
3. Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.
4. When an addition ties into the existing roof, it should be at least 6" below the existing ridge.
5. Ridge raises are most appropriate for one-story; side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.
6. Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset. Foundation height should match or be lower than the existing structure.
7. The height of the addition's roof and eaves must be less than or equal to the existing structure.

8. Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

C. Roof Additions: Dormers, Skylights & Solar Panels

1. Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories. The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.
 - a. Rear dormers should be inset from the side walls of the building by a minimum of 2'. The top of a rear dormer may attach just below the ridge of the main roof or lower.
 - b. Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:
 - New dormers should be similar in design and scale to an existing dormer on the building.
 - If there are no existing dormers, new dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.
 - The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes the width of roof dormers relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.
 - Dormers should not be added to secondary roof planes.
 - Eave depth on a dormer should not exceed the eave depth on the main roof.
 - The roof form of the dormer should match the roof form of the building or be appropriate for the style.
 - The roof pitch of the dormer should generally match the roof pitch of the building.
 - The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)
 - Dormers should generally be fully glazed and aprons below the window should be minimal.
 - The exterior material cladding of side dormers should match the primary or secondary material of the main building.
 2. Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).
 3. Solar panels should be located at the rear of the building, unless this location does not provide enough sunlight. Solar panels should generally not be located towards the front of a historic building unless this is the only workable location.
- D. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that original form and openings on the porch remain visible and undisturbed.
- E. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.
- F. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired. Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.
- G. Additions should follow the guidelines for new construction.

V. Demolition

B. GUIDELINES

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: 1103 Montrose Avenue is a folk Victorian frame house that was constructed prior to 1914 (Figure 1). It contributes to the historic character of the Waverly Belmont Neighborhood Conservation Zoning Overlay.



Figure 1. 1103 Montrose Avenue, front façade.

Analysis and Findings: Application is to construct a rear addition and an outbuilding. The addition requires a side setback determination, and the outbuilding requires both a side and a rear setback determination. The outbuilding will not be used as a detached accessory dwelling unit.

Partial Demolition: The applicant intends to demolish a portion of the rear of the existing house. On the left elevation, the applicant intends to demolish and reconstruct the shed roof portion of the house, behind the side-gabled bay (Figure 2). Part of this area is historic and likely part of the original house, as it appears in the 1914 Sanborn Map (Figure 3). The original part of the house is marked in red in Figures 2 & 3 below. The area marked in blue in Figure 2 does not appear in the 1914 and the 1957 Sanborn maps. Staff finds the demolition and reconstruction of this portion of the house with a new roof form to be appropriate because it not a significant portion of the house’s principal pyramidal roof form and because it is not highly visible from the street (Figure 4). The pre-1914 portion of the roof has a utilitarian look and could have formerly been an enclosed porch.

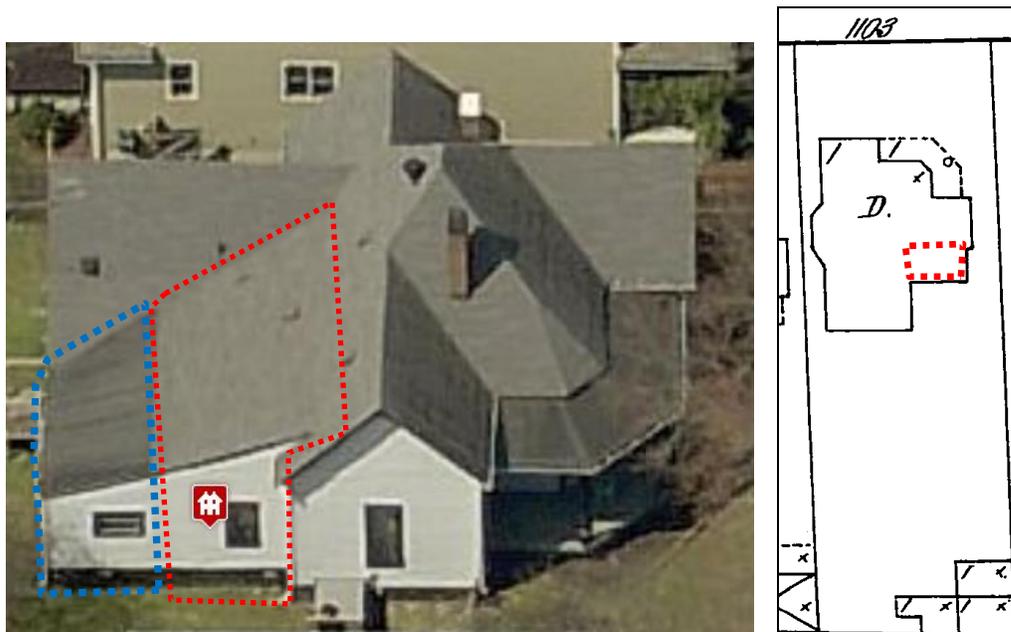
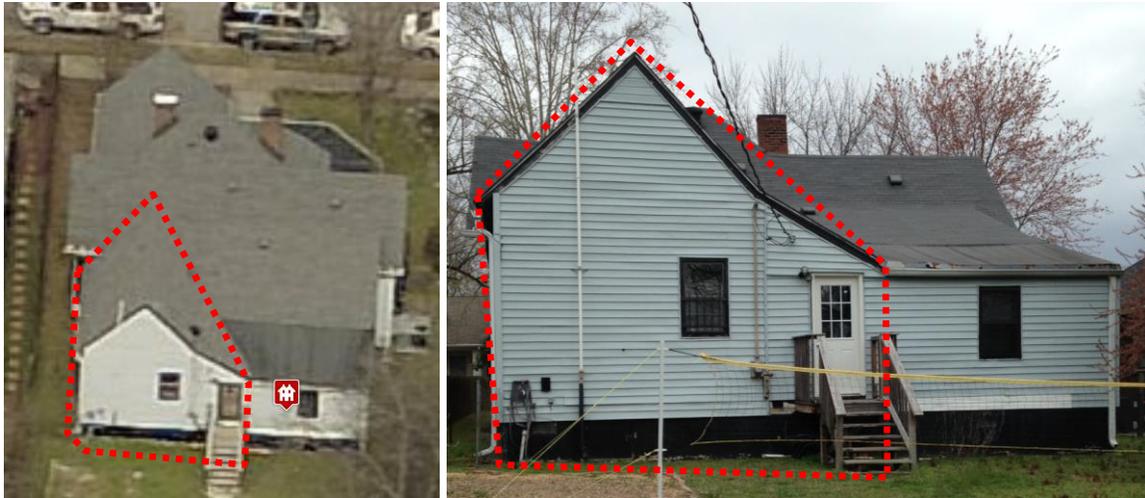


Figure 2 (Top left) shows the area of the house to be demolished and reconstructed. The red area is likely original to the house and the blue portion dates to post 1957. Figure 3(top right) is the 1914 Sanborn Map, showing the red area that will be demolished. Figure 4 (Bottom left) shows that the portion of the house that will be demolished will not be highly visible from the street, as it is behind a bay.

On the right elevation, the applicant intends to demolish the rear gable area (Figures 5 & 6). This area is original to the house. However, this portion of the house has significant foundation and structural issues. The applicant intends to demolish this portion of the house and reconstruct it with the same dimensions. Because of the structural issues with this part of the house, because the area will be reconstructed in the same dimensions and because this portion is not significant to the main massing of the historic form, staff finds this demolition to be appropriate.



Figures 5 & 6 Show the area of the right, rear that will be demolished.

Staff finds that the proposed demolition meets Section V.B.2 for appropriate demolition and does not meet section V.B.1 for inappropriate demolition.

Height & Scale: The proposed addition is located behind the historic house. It will be no taller or wider than the historic house. On the left elevation, the addition will step in two feet (2') from the existing side bay. After a depth of twenty-one feet, eight inches (21'8"), the addition will step back out two feet (2') to match the line of the historic house. On the right elevation, much of the addition is the reconstructed area behind the side bay. After the reconstructed area, the addition steps back out two feet (2'). The addition will add approximately eight hundred and thirty-three square feet (833 sq. ft.) of footprint to the existing house, which has a footprint of one thousand, eight hundred and forty-six square feet (1,846 sq. ft.).

The addition will be lower in height than the historic house. It ties into the back slopes of the gable bays at a point approximately one foot, nine inches (1'9") lower than the ridge. After a depth of thirty-seven feet, four inches (37'4"), the addition rises in height to be two feet (2') taller. This portion of the addition will be two feet (2') shorter in height than the tallest portion of the historic house's pyramidal roof.

Staff finds that the project's height and scale meet Sections III.A, III.B. and IV.B. of the design guidelines.

Location & Removability: The location of the addition at the rear of the existing building is in accordance with the design guidelines. The addition is designed so that if were to be removed in the future, the historic house’s primary form and significant architectural features would remain intact. Staff therefore finds that the addition meets Sections IV.A and IV.F. of the design guidelines.

Design: The addition’s inset, separate roof form, and lower height help to distinguish it from the historic house and read as an addition to the house. At the same time, its scale, materials, roof form, and fenestration pattern are all compatible with the historic character of the existing house. The addition is designed so that if the addition were to be removed in the future, the historic character of the house would still be intact. Staff therefore finds that the addition’s design meets Sections IV.B, IV.B, IV.C, IV.E, and IV.G of the design guidelines.

Setback & Rhythm of Spacing: The addition will be approximately six feet, six inches (6’6”) from the left side property line and will be approximately sixty feet (60’) from the rear property line. Both of these meet the base zoning setbacks and are appropriate. On the right side, the addition will not meet the five foot (5’) base zoning setback. The addition will be just three feet, nine inches (3’9”) from the side property line. Staff finds the proposed side setback to be appropriate because the addition will not be any wider than the historic house; a portion of the historic house is located just three feet, four inches (3’4”) from the side property line. Also, the portion of the addition that is less than five feet (5’) from the side property line is just fifteen feet, eight inches (15’8”) deep.

The addition will be no wider than the historic house and therefore will not affect the rhythm of spacing along Montrose Avenue. Staff therefore finds that the proposed addition meets Sections III.C. and IV. of the design guidelines.

Materials:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Brick	Unknown	Yes	Yes
Cladding	Unknown	Unknown	Unknown	Yes
Roofing	Architectural Shingles	Unknown	Yes	Yes
Secondary Roof Material	Standing seam metal	Unknown	Yes	Yes
Trim	Unknown	Unknown	Unknown	Yes
Windows	Unknown	Unknown	Unknown	Yes
Rear Door	Unknown	Unknown	Unknown	Yes

The drawings did not indicate the cladding material, although it is drawn as lap siding. Staff recommends that the lap siding be wood or smooth cement fiberboard with a maximum reveal of five inches (5"). Staff also recommends approval of a brick sample, the roof shingle color, metal roof color, trim material, and all windows and doors prior to purchase and installation. With staff's approval of all final material selections, staff finds that the known materials meet Sections III.D. and IV. of the design guidelines. .

Roof form: The historic house has a pyramidal roof form with gabled side bays and a rear gabled bay. The portion of the addition that ties into the historic house will appear as a 12/12 gable from the sides. The gabled sides will be tied together with a flat roof form. Staff finds this to be appropriate because it will not be visible from the street. On the right elevation, the addition will have shed dormers that are set back two feet (2') from the wall below. On the left elevation, there will be shed wall dormers. Although MHZC typically discourages wall dormers, staff finds them to be appropriate in this instance because the wall is inset two feet from the historic house's side wall, their width will be minimal, and they will be minimally visible from the street.

The rear portion of the addition will be a 12/12 side gable, and off the back slope of this gable, there will be a shed wall dormer. Because the shed wall dormer is at the rear, invisible from the street, staff finds it to be appropriate. Staff finds that the proposed roof forms meet Sections III.E and IV.C of the design guidelines.

Orientation: The rear addition will not affect the historic house's orientation towards Montrose Avenue. Vehicular access will be via the rear alley. Staff finds that the proposed addition meets Sections III.F. and IV. of the design guidelines.

Proportion and Rhythm of Openings: The only change to the window openings on the existing house occurs on the right elevation, behind the side gable bay, in the area where the existing structure will be demolished and reconstructed. The window opening that will be removed was likely not original, and therefore its removal meets the design guidelines.

The windows on the proposed addition are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings. There is one horizontal window opening on the right side façade. Staff finds this window opening to be acceptable because it is on the side, behind the gabled bay, towards the back of the addition. It will at most be minimally visible from the street. There are no large expanses of wall space without a window or door opening.

Staff finds the addition's proportion and rhythm of openings to meet Sections III.G. and IV. of the design guidelines.

Appurtenances & Utilities: No changes to the site's appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located on the rear façade, or on a side façade beyond the midpoint of the house.

Outbuildings: The proposed outbuilding will not be used as a detached accessory dwelling unit (DADU).

Roof Shape:

Proposed Element	Proposed Form	Typical of district?
Primary form	Gable	Yes
Primary roof slope	12/12	Yes
Dormer form	Shed	Yes
Porch slope	6/12	Yes

Since the form and slopes are similar to historic outbuildings, the project meets Sections III.H.1 and 3 of the design guidelines.

Design Standards: The accessory structure has a simple, utilitarian design that is appropriate for outbuildings. Its roof form, detailing, and form do not contrast greatly with the primary structure. It is in a minimally-visible location at the side and rear of the building. The structure therefore meets Sections III.H.1 and III.H.2 of the design guidelines.

Materials:

	Proposed	Color/Texture	Approved Previously or Typical of Neighborhood
Foundation	Concrete slab	Natural color	Yes
Cladding	Board and Batten	Smooth	Yes
Roofing	Standing Seam Metal	Unknown	Yes
Trim	Cement fiber	Smooth	Yes
Driveway	Concrete	Typical	Yes
Windows	Unknown	Unknown	Unknown
Pedestrian Door	Unknown	Unknown	Unknown
Vehicular Door	Unknown	Unknown	Unknown

With the staff’s final approval of the windows and doors and metal roof color, staff finds that the known materials meet Section III.H of the design guidelines.

Appurtenances & Utilities: No changes to the site’s appurtenances were indicated on the drawings.

General requirements for Outbuildings:

	YES	NO
If there are stairs, are they enclosed?	Yes	
If a corner lot, are the design and materials similar to the principle building?	N/A	

If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	Yes	
If dormers are used, do they sit back from the wall below by at least 2'?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

Staff find that the outbuilding meets Sections III.H.6 and 7 of the design guidelines.

Site Planning:

	MINIMUM	PROPOSED
Space between principal building and DADU/Garage	20'	20'
Rear setback	20'	9'1"
L side setback**	5'	3'
R side setback**	5'	22'
How is the building accessed?	From the alley or existing curb cut	Alley

The proposed outbuilding requires a rear and side setback determination. Base zoning requires a twenty foot (20') rear setback when an outbuilding's footprint is more than seven hundred and fifty square feet (750 sq. ft.). The applicant, however, is proposing to situate the outbuilding just nine feet, one inch (9'1") from the rear property line.

Staff finds that the proposed nine feet, one inch (9'1") rear setback to be appropriate because historically, outbuildings were situated close to the rear property lines. A nine feet, one inch (9'1") rear setback is more historically appropriate than a twenty foot (20') rear setback. The reduced rear setback allows for more space in between the house and the outbuilding, which is appropriate. In addition, because the rear property line abuts an alley, the reduced rear setback will not directly affect any adjoining properties.

Similarly, base zoning requires a five foot (5') side setback when an outbuilding has a footprint greater than seven hundred square feet (700 sq. ft.). The applicant is proposing a three foot (3') side setback on the left side. Staff finds the proposed side setback to be appropriate because historically, outbuildings were located close to side property lines. In addition, if the outbuilding were to be just fifty square feet (50 sq.ft.) less in footprint, the base zoning setback would be three feet (3'), as is proposed.

Staff finds that the outbuilding meets Section III.H.6 and 7 of the design guidelines.

Massing Planning:

	Existing conditions (height of historic portion of the home to be measured from finished floor)	Potential maximums (heights to be measured from grade)	Proposed (should be the same or less than the lesser number to the right)
Ridge Height	27'	25'	25'
Eave Height	13'	10'	9'10"

	Lot is less than 10,000 square feet	50% of first floor area of principle structure	Proposed footprint
Maximum Square Footage	750 sq. ft.	1340 sq. ft.	750 sq. ft.

Staff finds that the outbuilding's massing meets Section III.H.1 of the design guidelines.

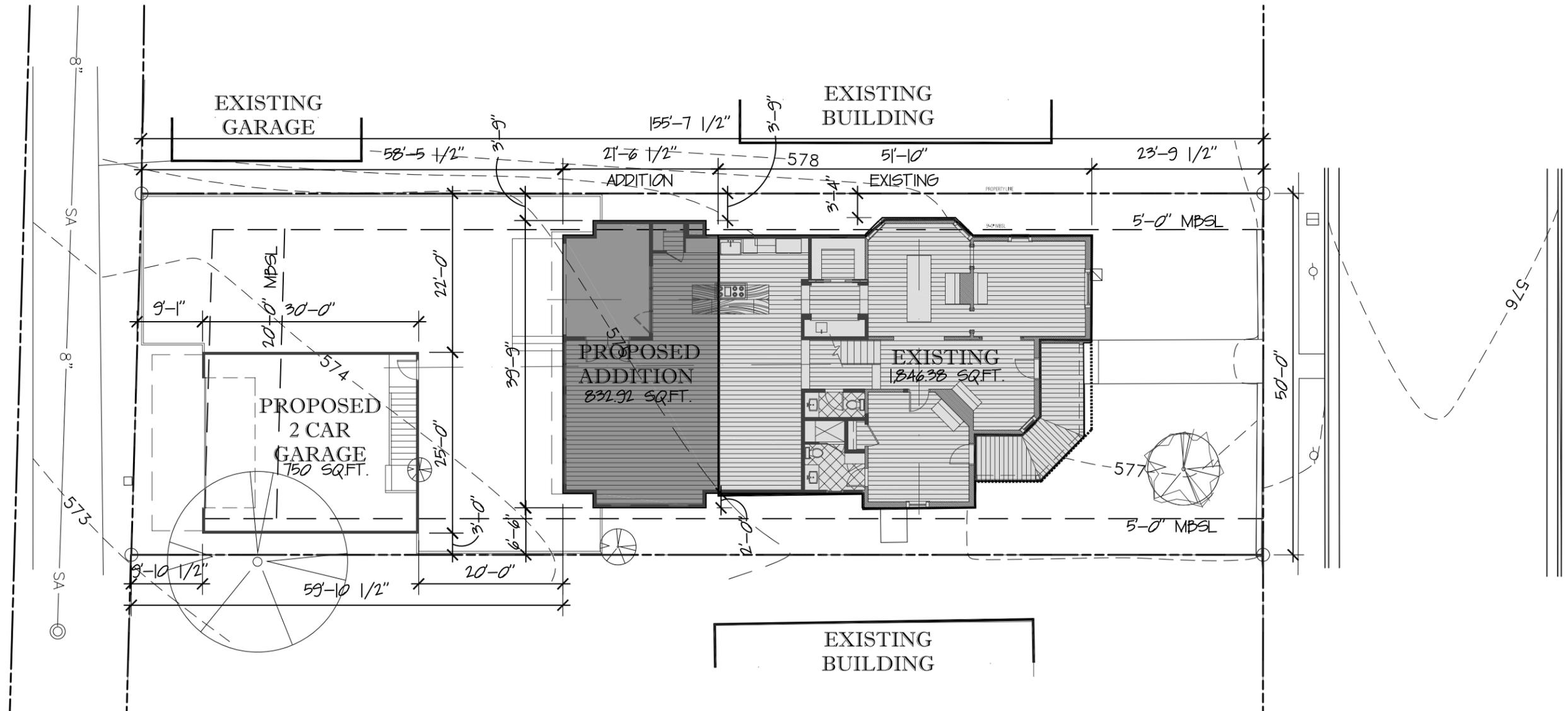
Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. The lap siding be wood or smooth cement fiberboard, with a maximum reveal of five inches (5");
2. Staff approve the trim material;
3. Staff approve masonry;
4. Staff approve the final details, dimensions and materials of windows and doors prior to purchase and installation;
5. Staff approve the roof shingle color and the metal roof color prior to purchase and installation; and
6. The HVAC be located behind the house or on either side, beyond the mid-point of the house.

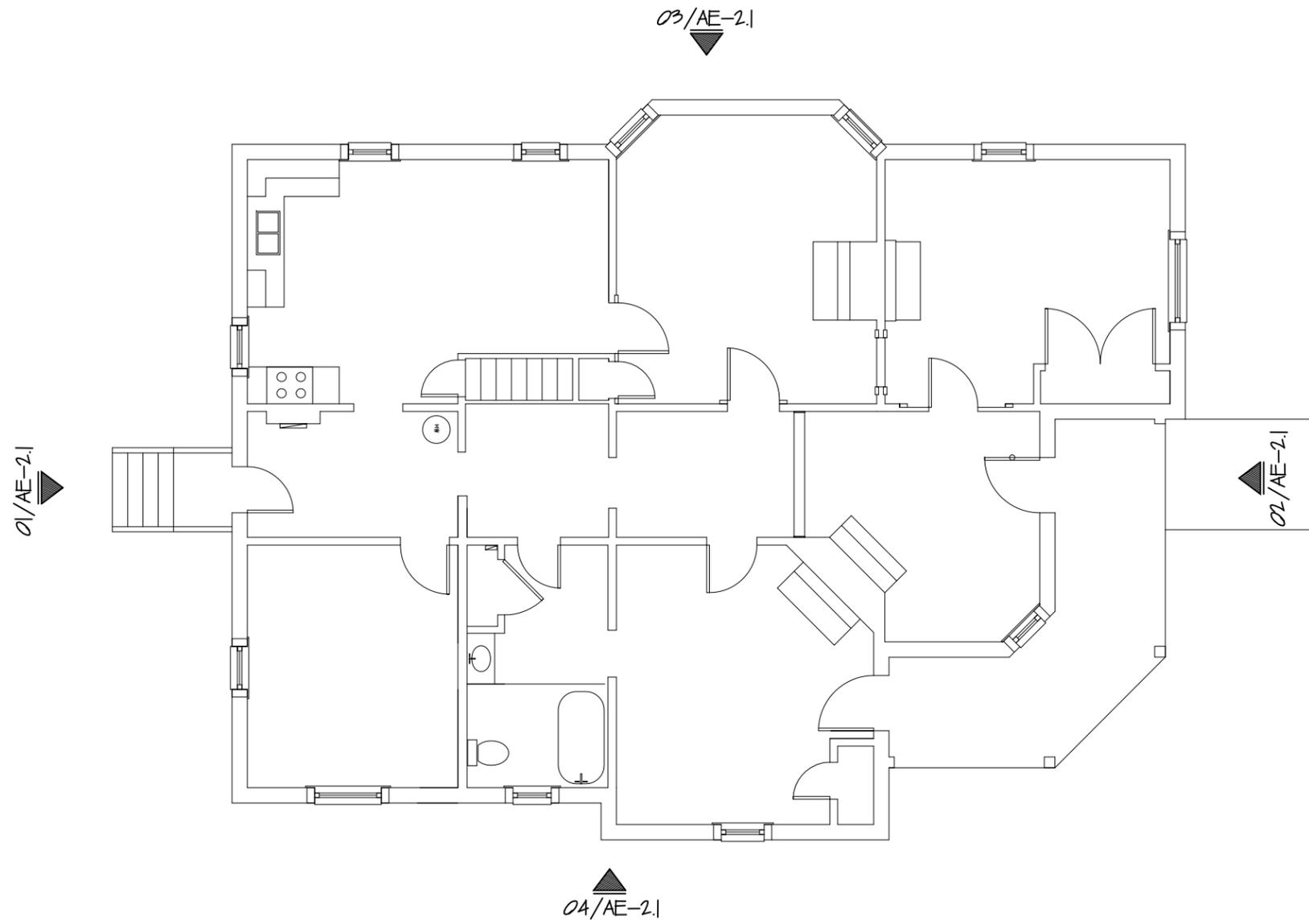
With these conditions, staff finds that the proposed project meets Sections III, IV, and V of the design guidelines for the Waverly-Belmont Neighborhood Conservation Zoning Overlay.

The Commission does not have the authority to approve the use. This recommendation is for the design of the addition and outbuilding based on the proposed use.

ZONING DATA		
ZONING AREA	R8	
LOT SIZE	781687 SF	
	ORDINANCE	PROPOSED
BUILDING COVERAGE	3,517.59 SF	2,679.30 SF
REAR SETBACK	20'-0"	58'-5 1/2"
SIDE SETBACK	MIN. 5'-0"	E 6'-5" / W 3'-10"
HEIGHT	3 STORIES	2 STORIES

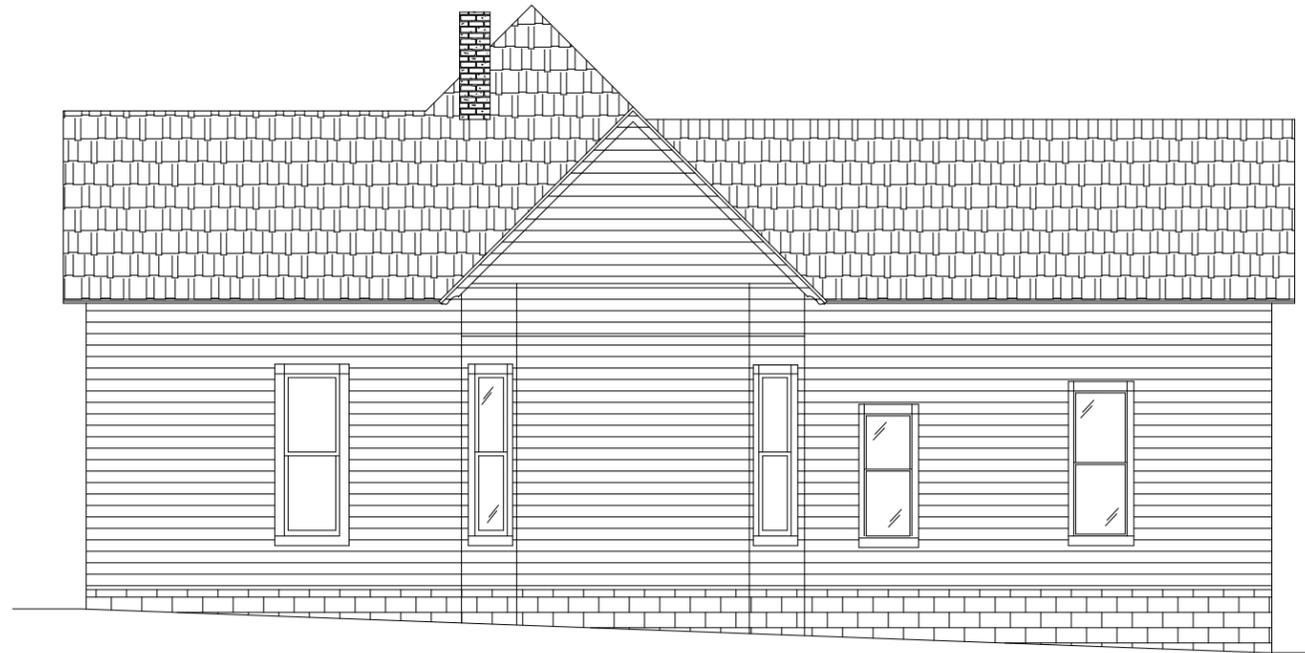


Architectural Site Plan
 Scale: 1/16" = 1'-0"

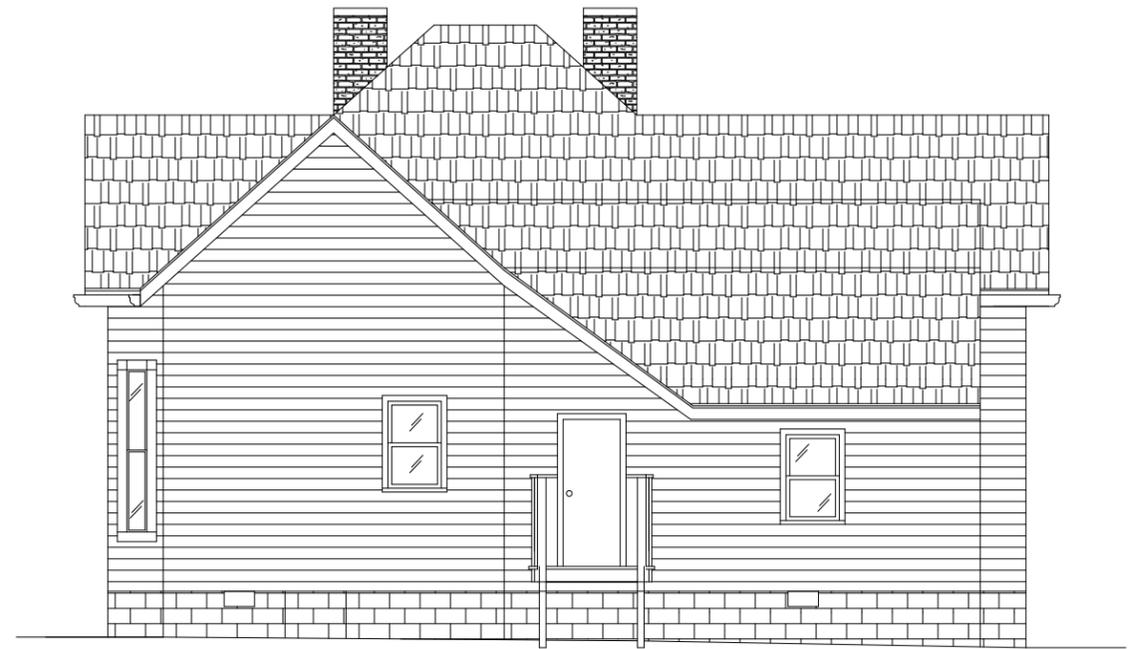


Existing Main Level Floor Plan

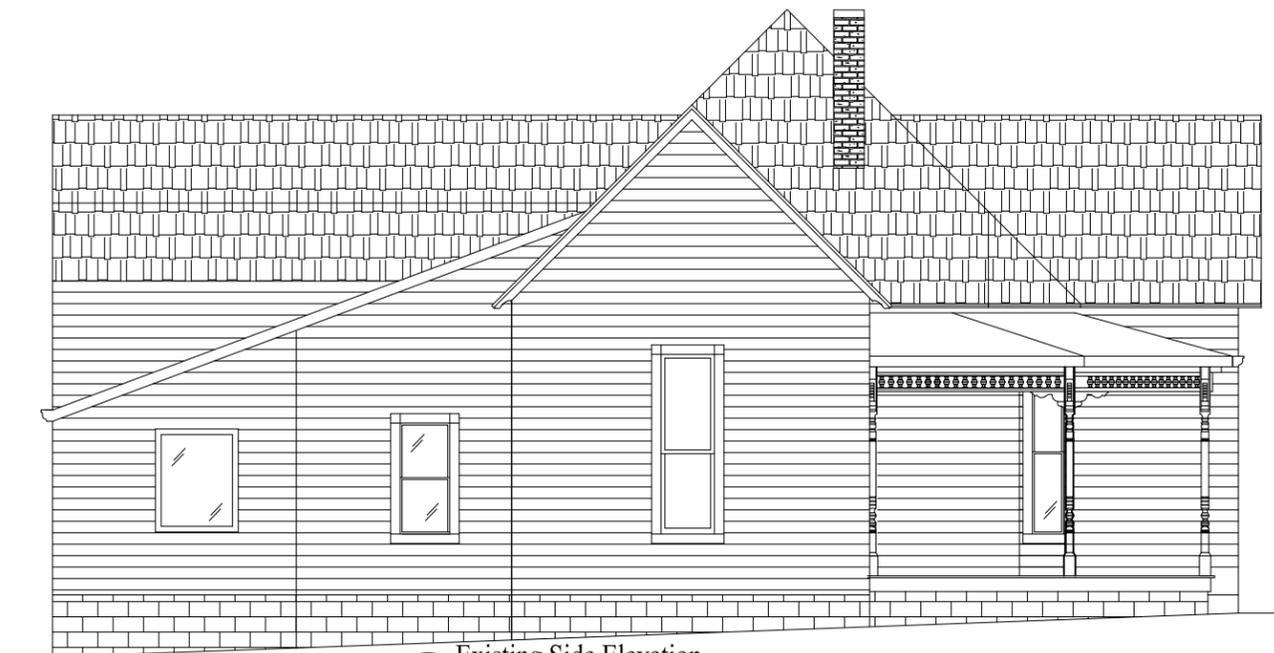
Scale: 1/8" = 1'-0"



03 Existing Side Elevation Scale: 1/8" = 1'-0"



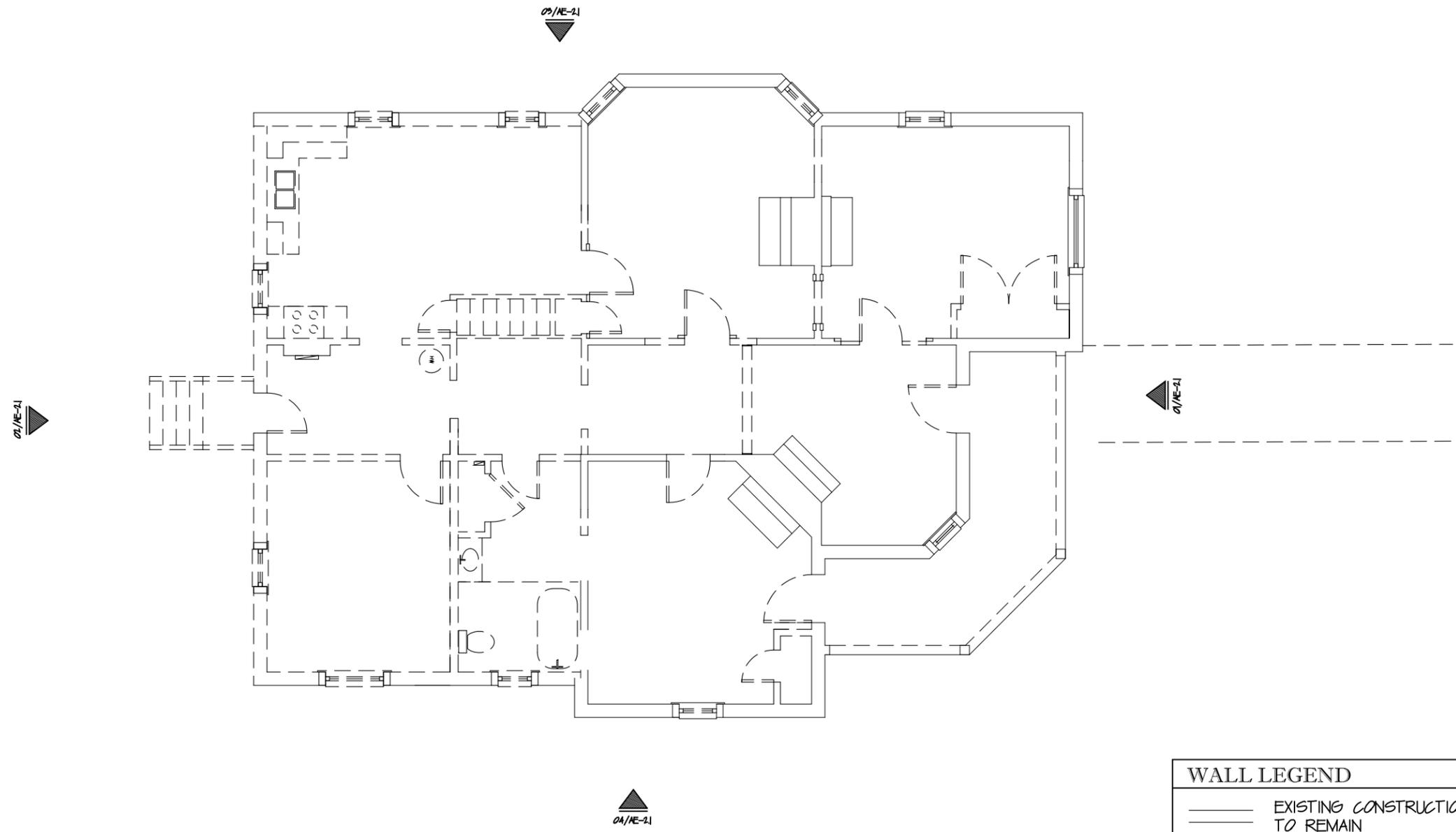
02 Existing Rear Elevation Scale: 1/8" = 1'-0"



04 Existing Side Elevation Scale: 1/8" = 1'-0"

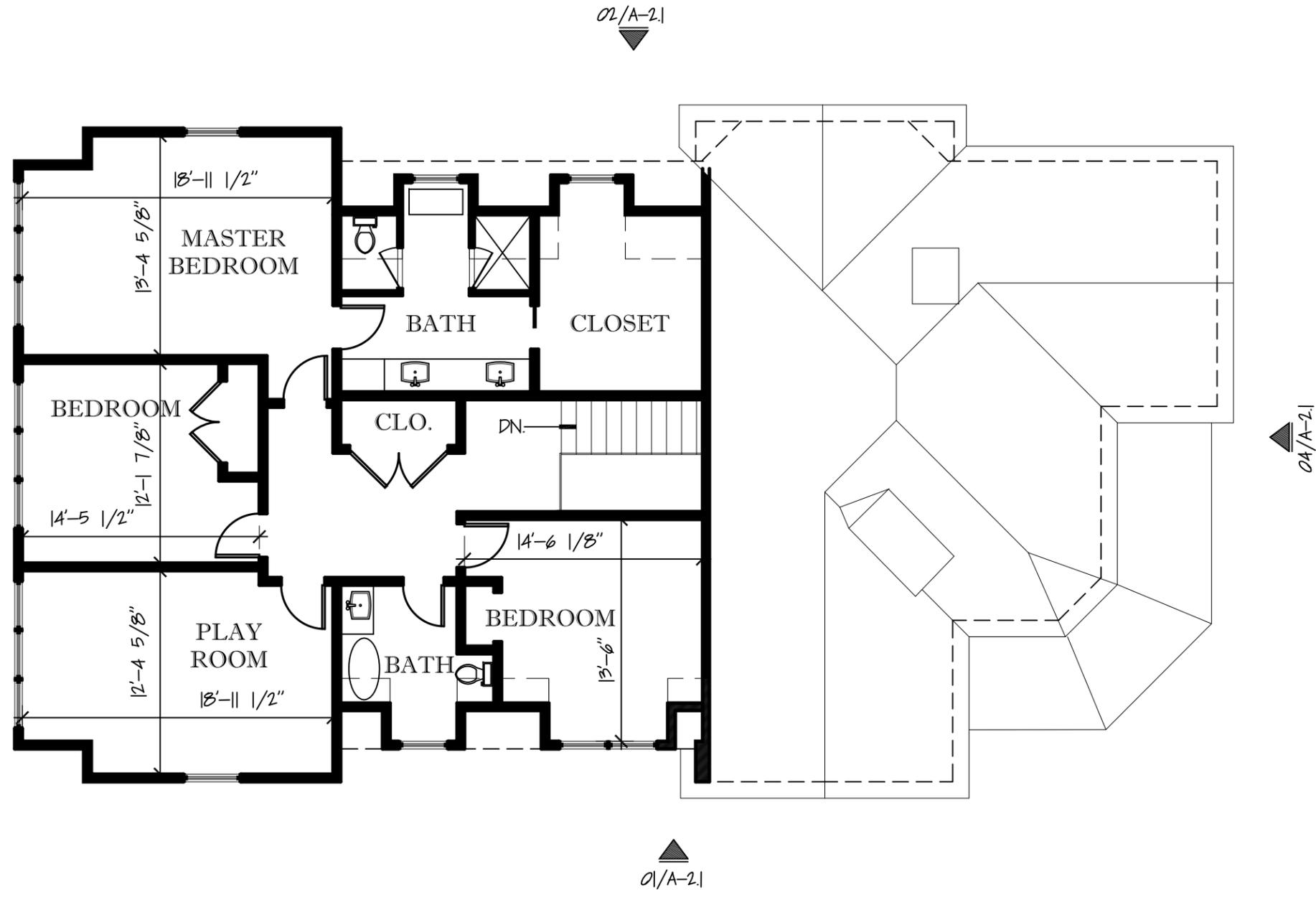


01 Existing Front Elevation Scale: 1/8" = 1'-0"

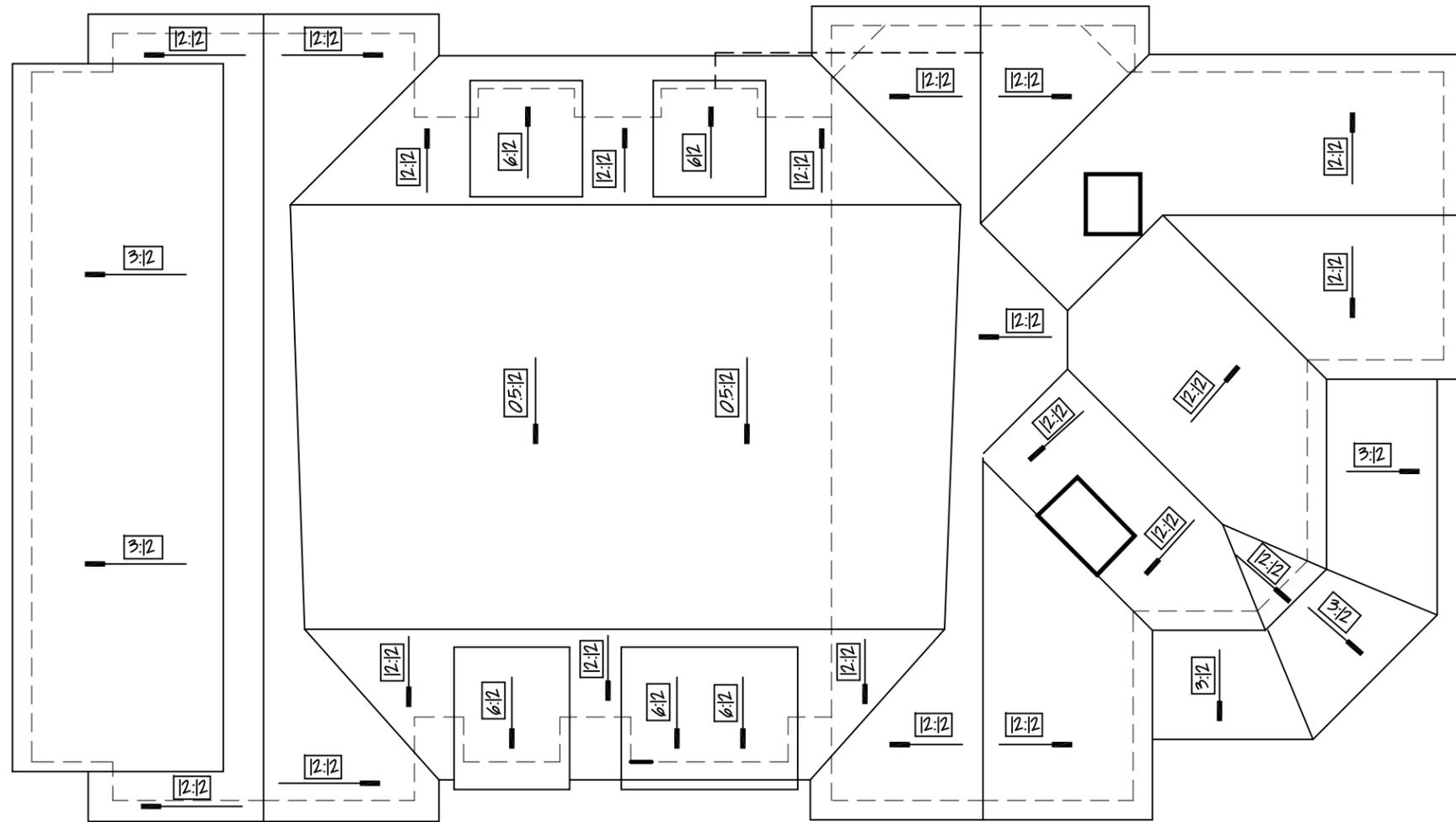


WALL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING TO BE REMOVED

Main Level Demolition Plan Scale: 1/8" = 1'-0"



Upper Level Floor Plan Scale: 1/8" = 1'-0"

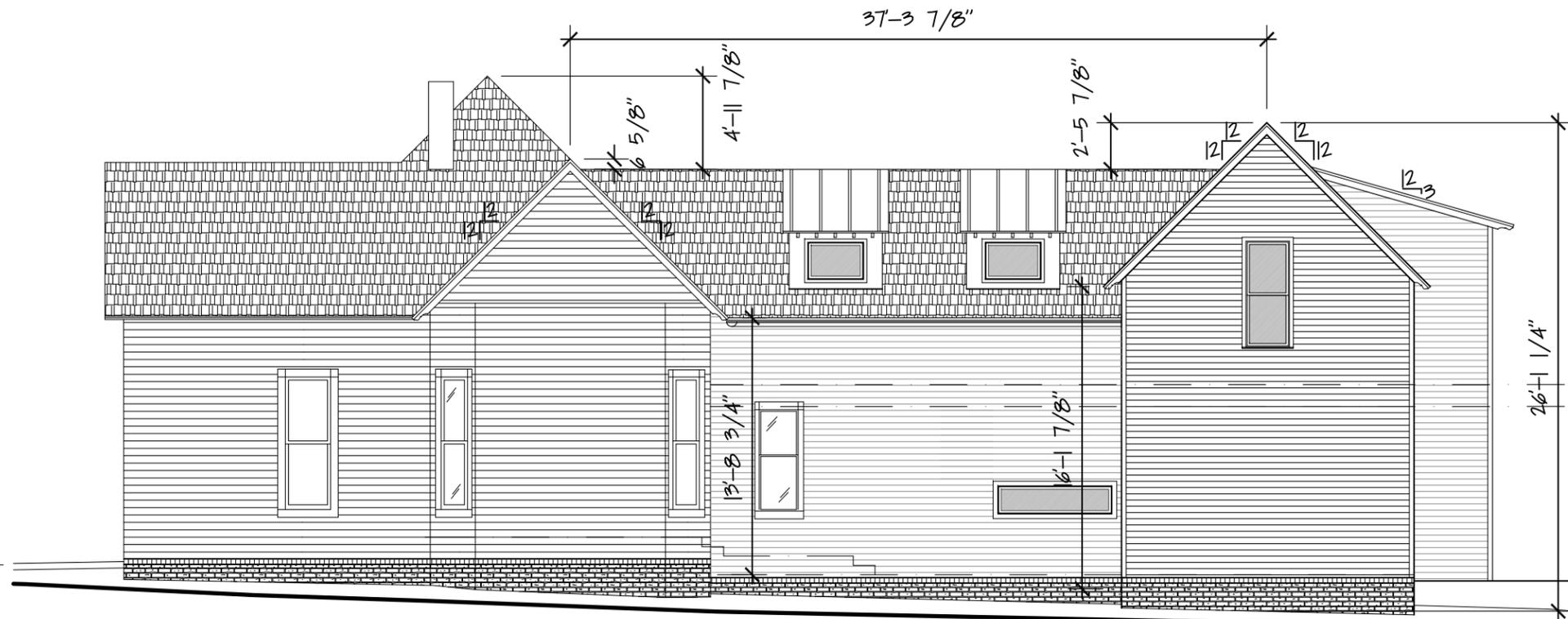


12:12 Roof Plan Scale: 1/8" = 1'-0"



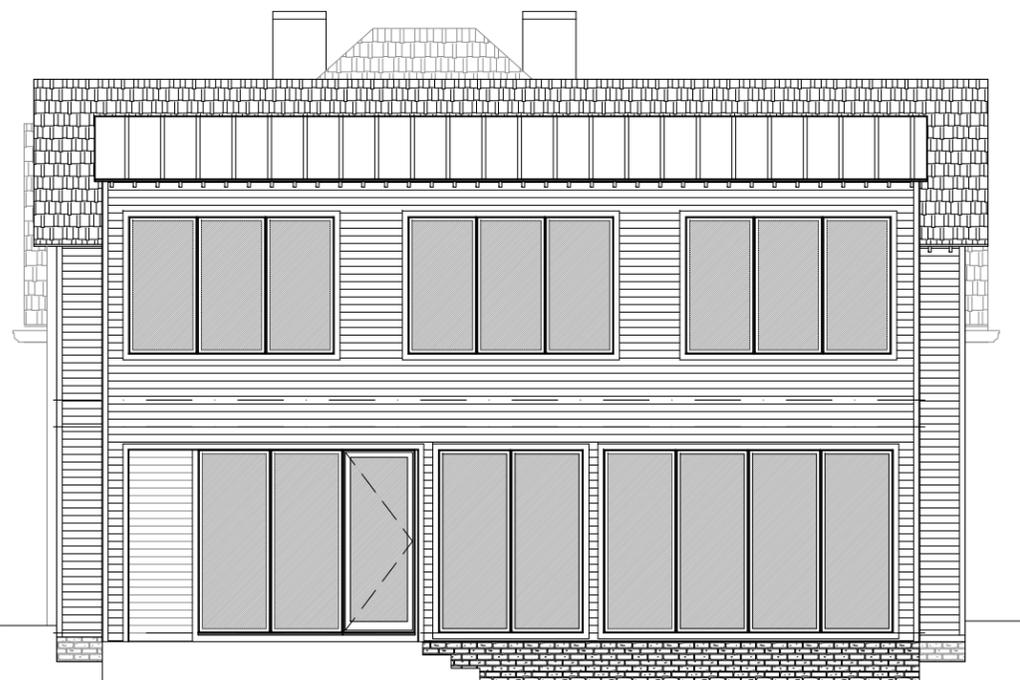
04 Front Elevation

Scale: 1/8" = 1'-0"



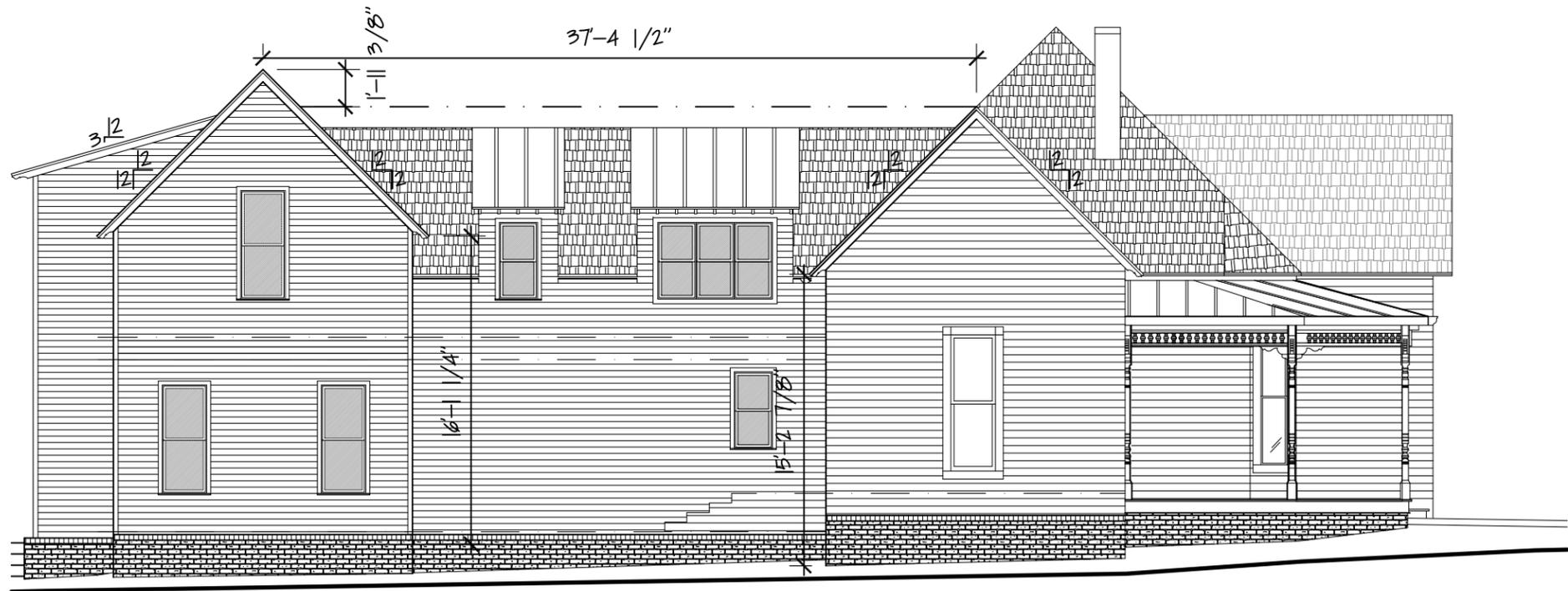
02 Side Elevation

Scale: 1/8" = 1'-0"



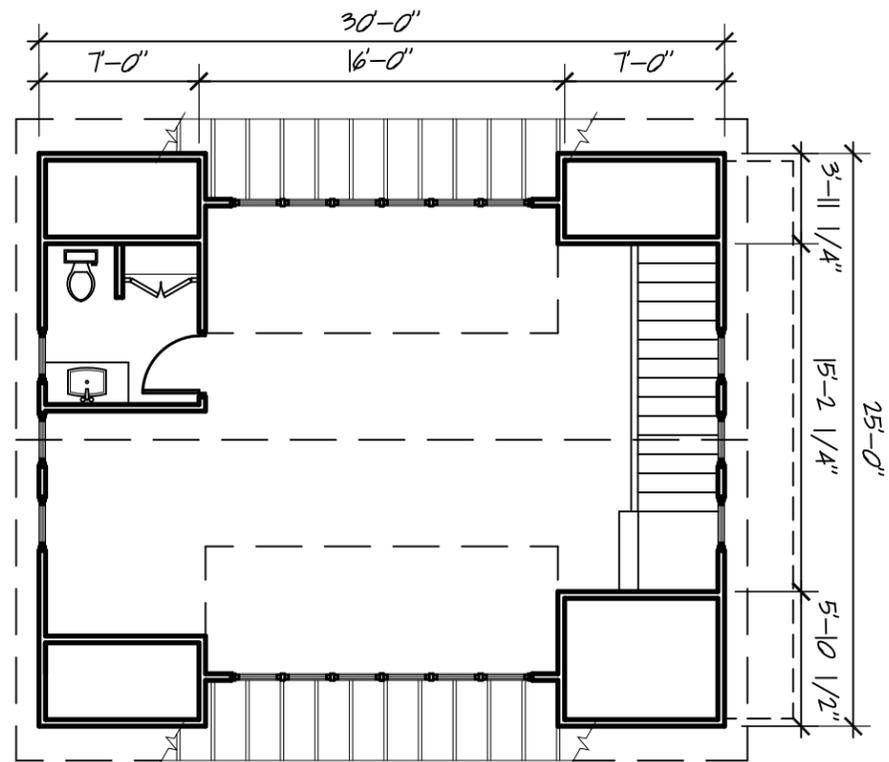
03 Rear Elevation

Scale: 1/8" = 1'-0"

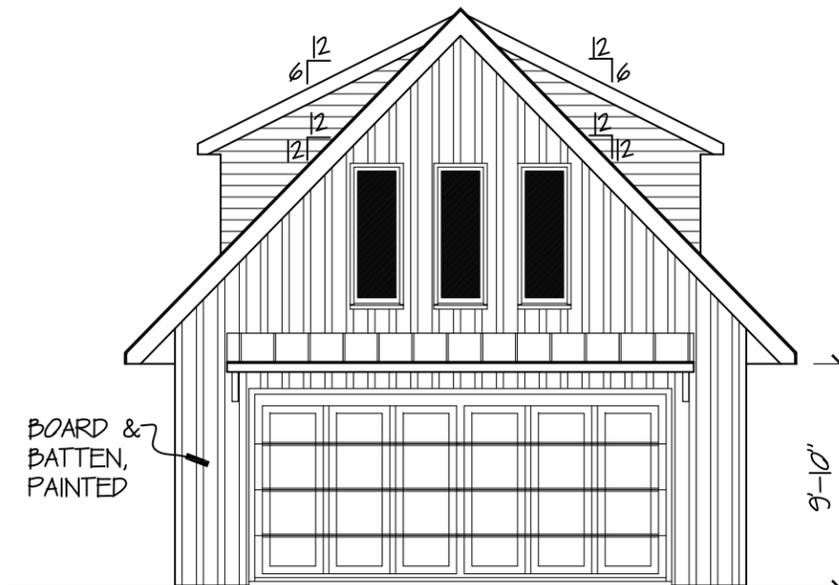


01 Side Elevation

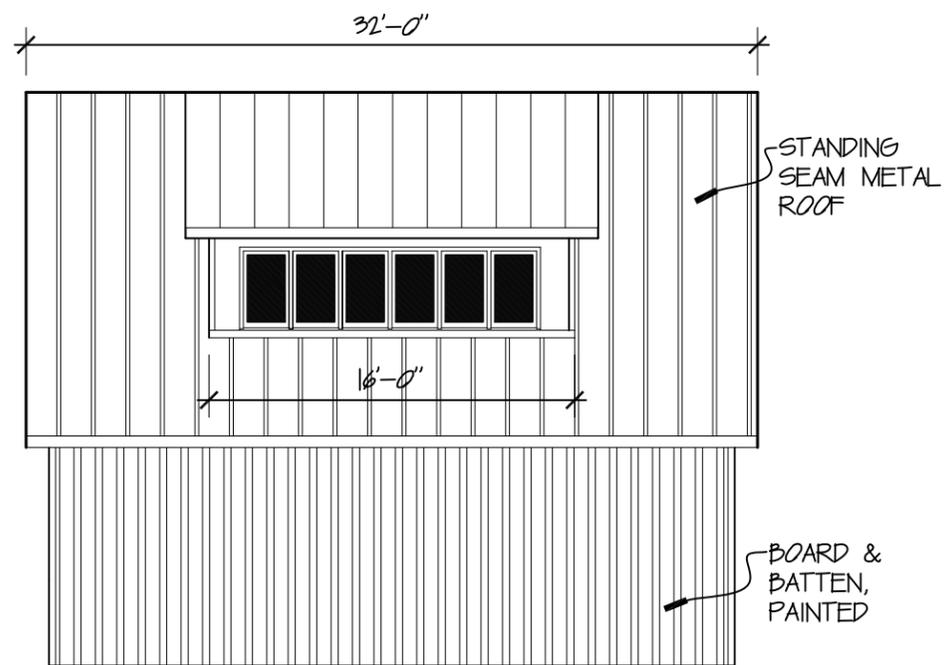
Scale: 1/8" = 1'-0"



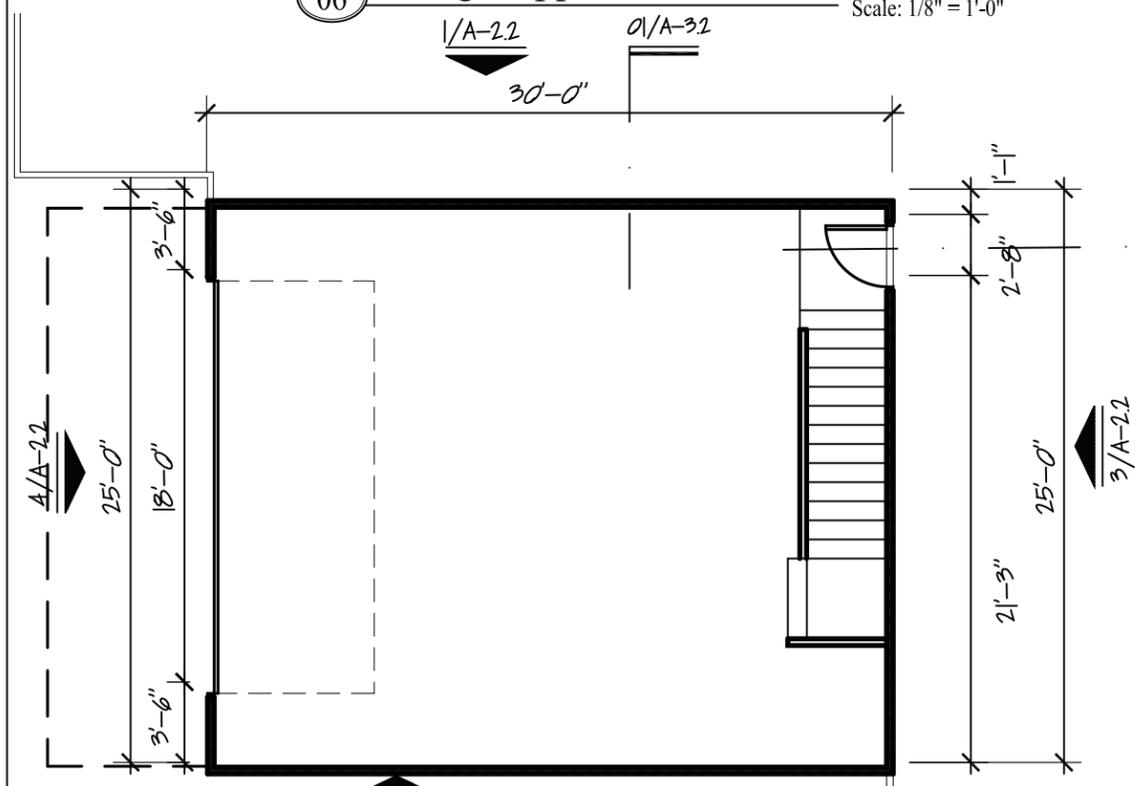
06 Garage Upper Level Floor Plan Scale: 1/8" = 1'-0"



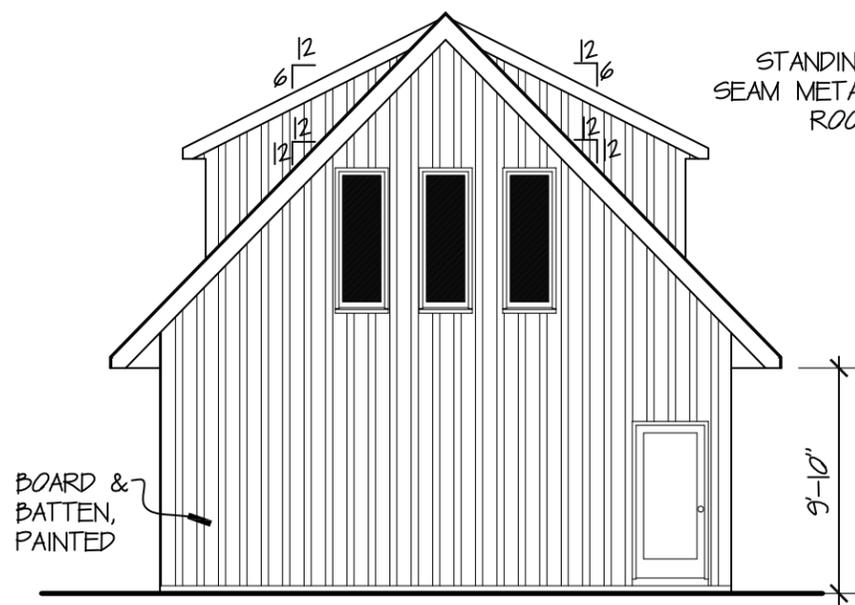
04 Garage West Elevation Scale: 1/8" = 1'-0"



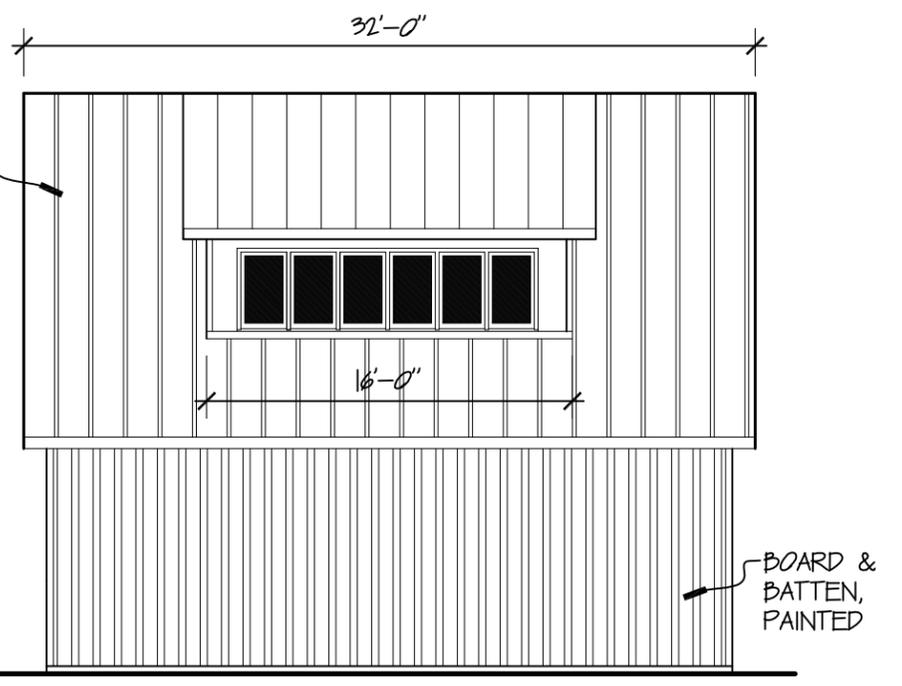
02 Garage East Elevation Scale: 1/8" = 1'-0"



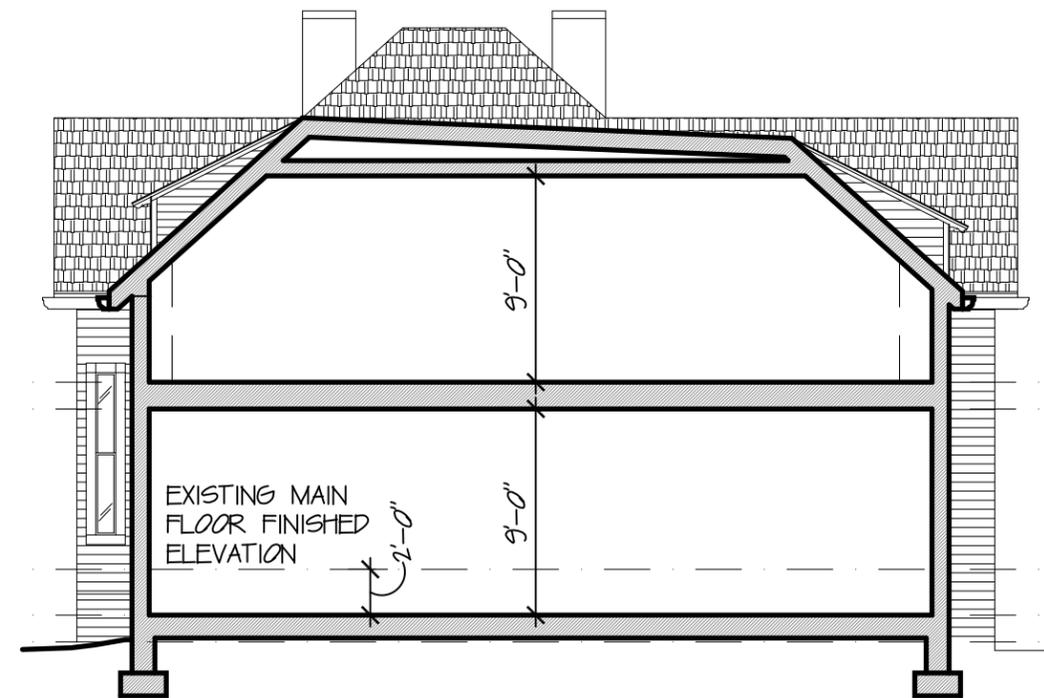
05 Garage Floor Plan Scale: 1/8" = 1'-0"



03 Garage North Elevation Scale: 1/8" = 1'-0"

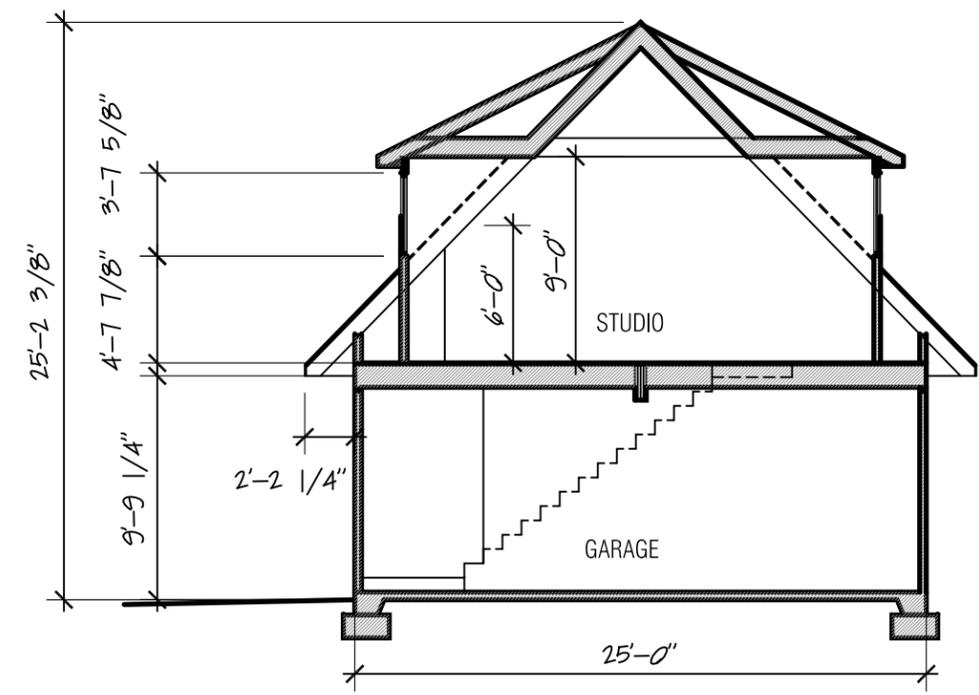


01 Garage South Elevation Scale: 1/8" = 1'-0"



01 Residence Building Section

Scale: 1/8" = 1'-0"



02 Garage Building Section Scale: 1/8" = 1'-0"