

MEGAN BARRY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION 1115 Greenwood Avenue April 19, 2017

Application: Setback determination
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Map and Parcel Number: 08301046400
Applicant: John Pirtle
Project Lead: Melissa Sajid, melissa.sajid@nashville.gov

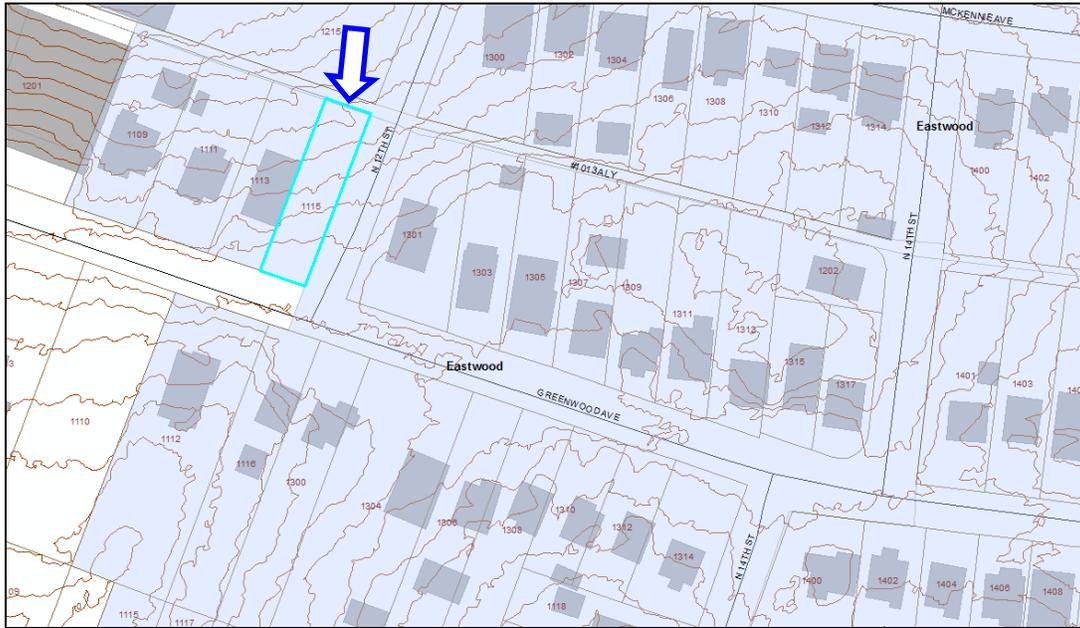
Description of Project: Application is for right side setback determination to reduce the street-side setback from ten feet (10') to nine feet (9').

Recommendation Summary: Staff recommends approval of the setback determination with the condition that the previously approved conditions for the infill approved by the Commission on October 19, 2016 remain unchanged.

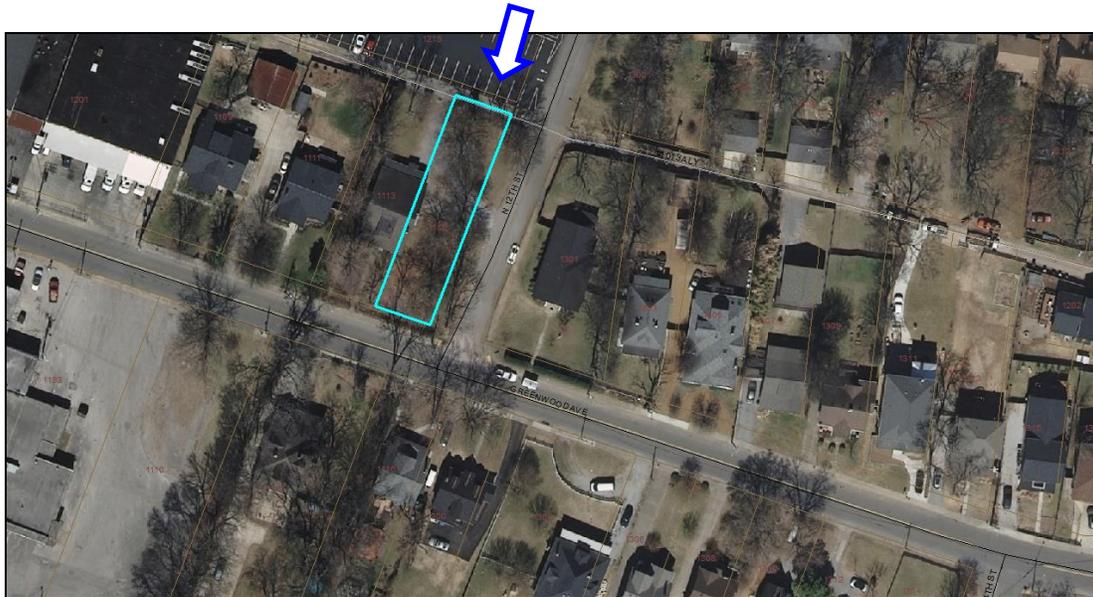
With this condition, staff finds that the project meets II.B.1 of the *Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines*.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B.1 New Construction

B. GUIDELINES

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

Background: The applicant proposes to reduce the right side setback from ten feet (10') to nine feet (9') for a new single-family residence at 1115 Greenwood Avenue that MHZC approved in October 2016. The setback determination was part of that request but was not properly noticed at that time.



Figure 1: 1115 Greenwood Ave

The lot is currently vacant and is located at the northwest corner of the intersection of North Twelfth Street and Greenwood Avenue (See Figure 1). The lot is approximately forty-six feet (46') wide at Greenwood Avenue, which is narrower than most lots in the immediate area. The setback determination is for the street setback along North Twelfth Street.

Analysis and Findings: The application is to construct a new two-story single-family residence. The request includes a right-side setback determination to reduce the setback from ten feet (10') to nine feet (9').

Setback & Rhythm of Spacing: The proposed infill meets the bulk standards for the front, rear, and left side setbacks; however, it does not meet the bulk standards for the right-side (street side) setbacks.

As the house is located on a corner lot, the minimum setback on the side street is ten feet (10'). The applicant has requested a right side setback determination to reduce the setback from ten feet (10') to nine feet (9'). Staff finds that reducing this side setback is appropriate. The lot is narrower than the typical lot in the immediate area, so reducing the right-side setback allows for a building footprint that is more appropriate for the context. In addition, there are other buildings along North Twelfth Street where the side of a building appears to be closer to the street-side property line than ten feet (10').

Staff finds that the setbacks to be appropriate and recommends approval of the setback determination. Staff finds that the project meets Section II.B.1.c.

Recommendation:

Staff recommends approval of the setback determination with the condition that the previously approved conditions for the infill approved by the Commission on October 19, 2016 remain unchanged.

With this condition, staff finds that the project meets II.B.1 of the *Eastwood Neighborhood Conservation Zoning Overlay Design Guidelines*.



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3313637

METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
hislap1@nashville.gov

HISTORICAL COMMISSION PERMIT - 2017005482

Entered on: 24-Jan-2017

Site Address

1115 GREENWOOD AVE
NASHVILLE TN, 37206

Historic District: Eastwood NCZO

Parcel Owner

EGERTON, MARCH
P O BOX 160730
NASHVILLE, TN 37216

Purpose: Construct new single-family home on vacant lot (1920 SF footprint); setback determination to reduce right side setback from 10' to 9'.

CLADDING & TRIM

All/any trim, railings, vents and associated type elements are to be wood or cement fiberboard. Clad material is not approved. Wood or cement fiberboard shall be a smooth face material void of any simulated wood grain pattern or rough, unfinished appearance. All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.

Siding exposure shall have a maximum reveal of five (5) inches.

Four inch (nominal) wood corner-boards are required at the face of each exposed corner.

WINDOWS

Windows on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings. In the case of additions, only those windows marked on the attached scaled plans are approved for replacement.

Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.

DOORS

In the case of additions, only those doors marked on the attached scaled plans are approved for replacement. Doors on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings.

HVAC

HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street façade.

GENERAL

The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field.

Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

This permit does not permit use.

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: John Pirtle, Third Coast Builders

Activities to be Completed - Call: (615) 862-7970

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

DOOR APPROVAL PRIOR TO INSTALL – HZ

UTILITY LOCATION APPROVAL PRIOR TO INSTALL – HZ

PARKING PAD MATERIAL APPROVAL PRIOR TO INSTALL – HZ

FRONT WALKWAY MATERIAL APPROVAL PRIOR TO INSTALL - HZ

REVIEWS REQUIRED:

FIELD STAKING INSPECTION - HZ

FOUNDATION CHECK INSPECTION - HZ

FIRST FLOOR SYSTEM - HZ

ROUGH FRAMING INSPECTION - HZ

RANDOM MONTHLY INSPECTION - HZ

Issued Date: 24-Jan-2017 **Issued By:** Melissa Sajid



10/12 Pitch

HARDI STAGGERED SHAKE THAT RESEMBLES CEDAR SHAKE

1"X10" HARDI BOARD BAND

HARDI BOARD W/ 5" REVEAL

8" DIAMETER PERMACAST COMPOSITE COLUMNS

8/12 Pitch

1"X10" HARDI BOARD

HARDI STAGGERED SHAKE THAT RESEMBLES CEDAR SHAKE

HARDI STAGGERED SHAKE THAT RESEMBLES CEDAR SHAKE

DORMER SET IN 2' FROM WALL BELOW.

2x2 wood spindles

Notes for Front Elevation:

All siding shall be smooth-faced.

MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the first floor system has been constructed
 - d. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Utility location
 - d. Parking pad
 - e. Front walkway

All windows are wood clad double hung.
 Bottom windows are all 3060
 Top windows are all 2854,
 Door is 103010 with a 5010 transom
 All siding on Bottom of front elevation is Hardi with a 5" Reveal
 Siding that faces the front on the gables is hard simulated cedar shake
 Foundation is Split-faced block
 Front porch rail is pressure treated wood.
 Front porch steps are concrete.

Third Coast Builders
 708 Brockten St.
 Lebanon, TN. 37087

Project:
 1115 Greenwood Ave.
 Nashville, TN. 37206

Scale 1/4" = 1'

FRONT ELEVATION

Please see other elevation sheets for additional plans notes.

Page 1

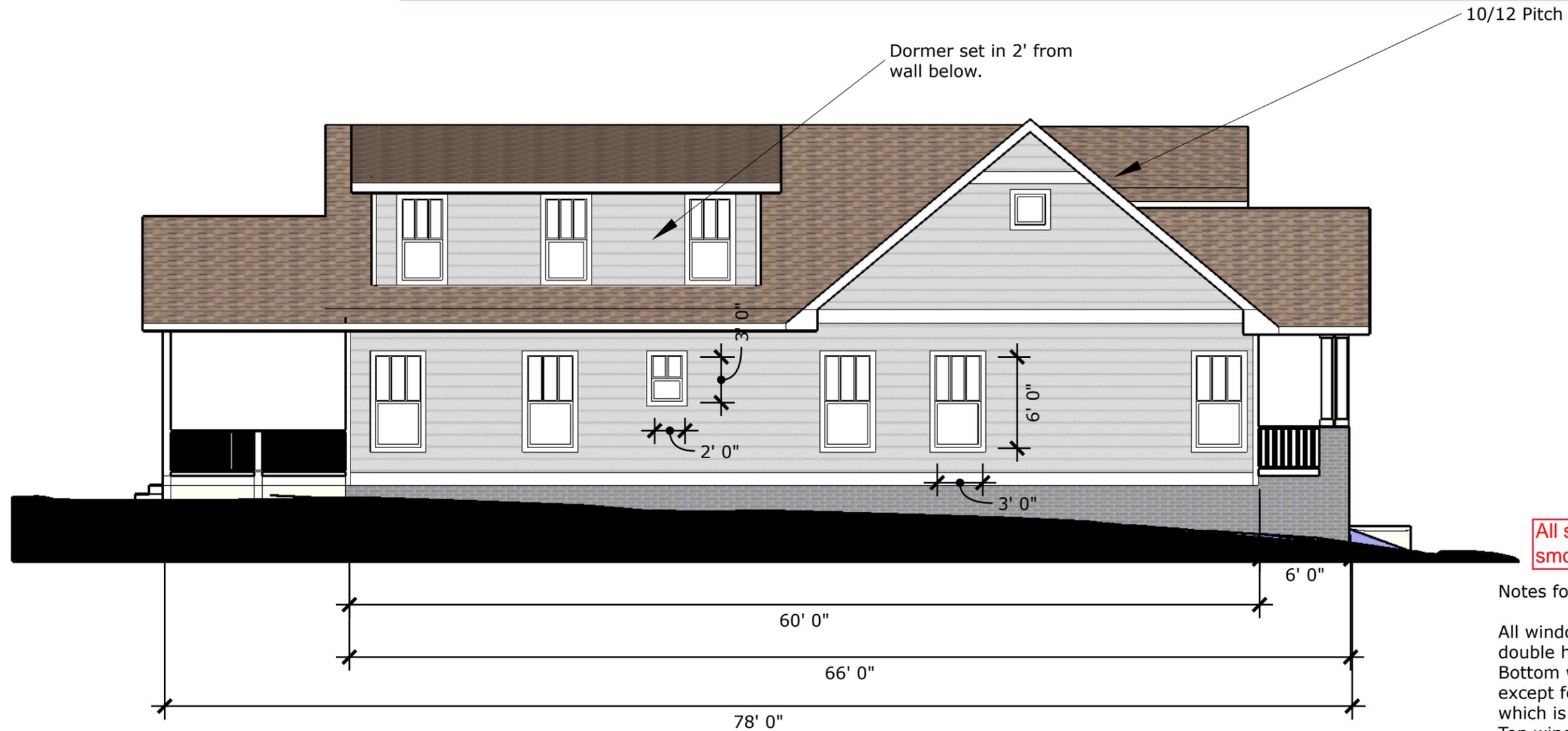
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MHZC NOTES; CALL 862-7970 IF QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. This permit does not permit use.
4. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
5. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
6. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
7. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
8. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
9. Four inch (nominal) wood corner-boards are required at the face of each exposed corner.
10. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field.



All siding shall be smooth-faced.

Notes for Left Elevation:

- All windows are wood clad double hung.
- Bottom windows are all 3060 except for bathroom window, which is 2838
- Top windows are all 2854, except fixed window in bathroom which is 2020
- All siding on Left elevation is Hardi with a 5" Reveal
- Foundation is Split-faced block
- All Deck & Rail material is pressure treated wood
- Stairs on front porch are concrete
- Stairs on back deck are wood

Third Coast Builders
708 Brockten St.
Lebanon, TN. 37087

Project:
1115 Greenwood Ave.
Nashville, TN. 37206

Scale 1/8" = 1' LEFT ELEVATION

Page 2

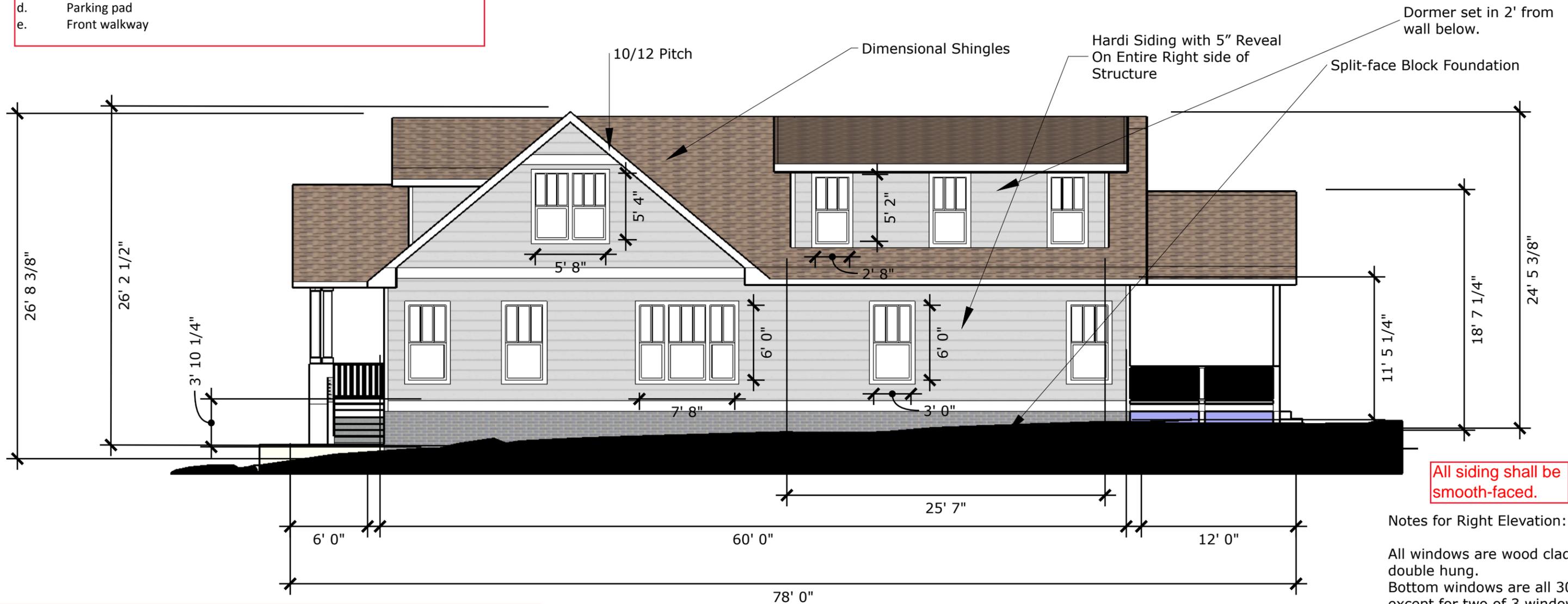
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2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Utility location
 - d. Parking pad
 - e. Front walkway

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5. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
6. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.



All siding shall be smooth-faced.

Notes for Right Elevation:

All windows are wood clad double hung.
 Bottom windows are all 3060 except for two of 3 windows in Dining room, which are 2060
 Top windows are all 2854
 All siding on Right elevation is Hardi with a 5" Reveal
 Foundation is Split-faced block
 All deck and rail materials are pressure treated wood.

7. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
8. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
9. Four inch (nominal) wood corner-boards are required at the face of each exposed corner.
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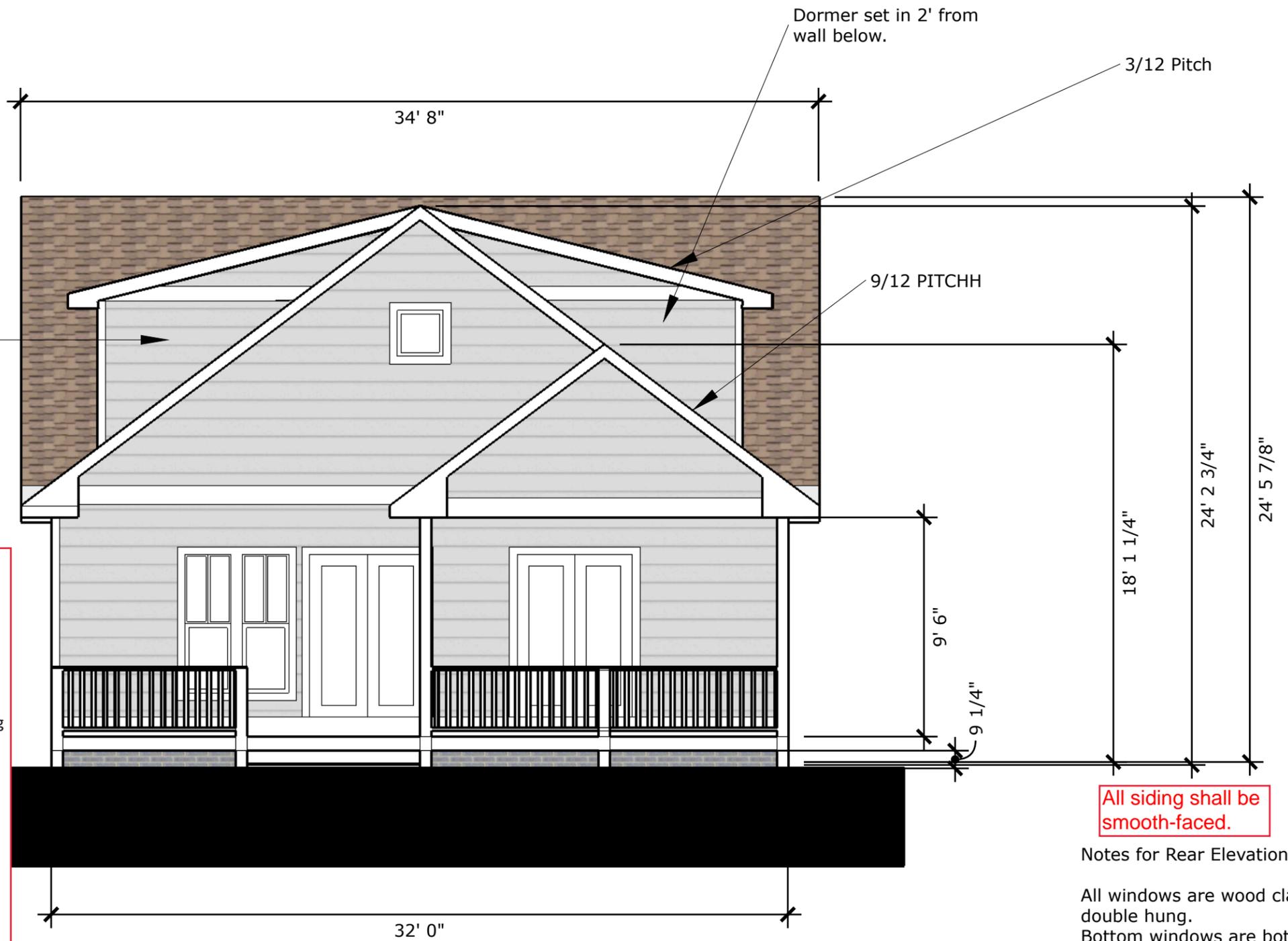
Scale 1/8" = 1' RIGHT ELEVATION

MHZC INSPECTIONS & FINAL APPROVALS

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2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
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Dormer set in 2' from wall below.



MHZC NOTES; CALL 862-7970 IF QUESTIONS

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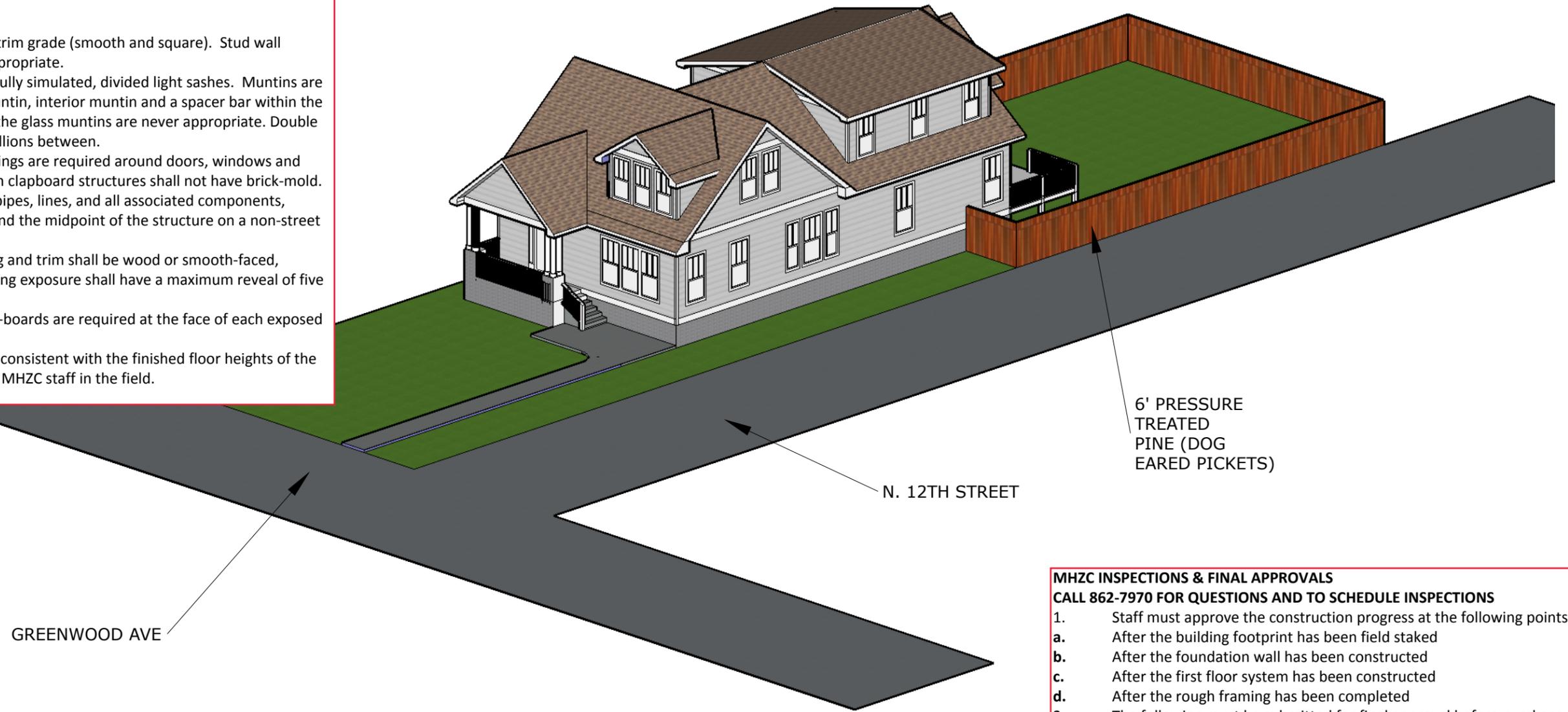
Notes for Rear Elevation:

All windows are wood clad double hung.
 Bottom windows are both 2060
 Top window is 2020
 Doors are 5068 French doors
 All siding on Rear elevation is Hardi with a 5" Reveal
 Foundation is Split-faced block
 All deck materials are pressure treated wood.

Scale 3/16" = 1' REAR ELEVATION

MHZC NOTES; CALL 862-7970 IF QUESTIONS

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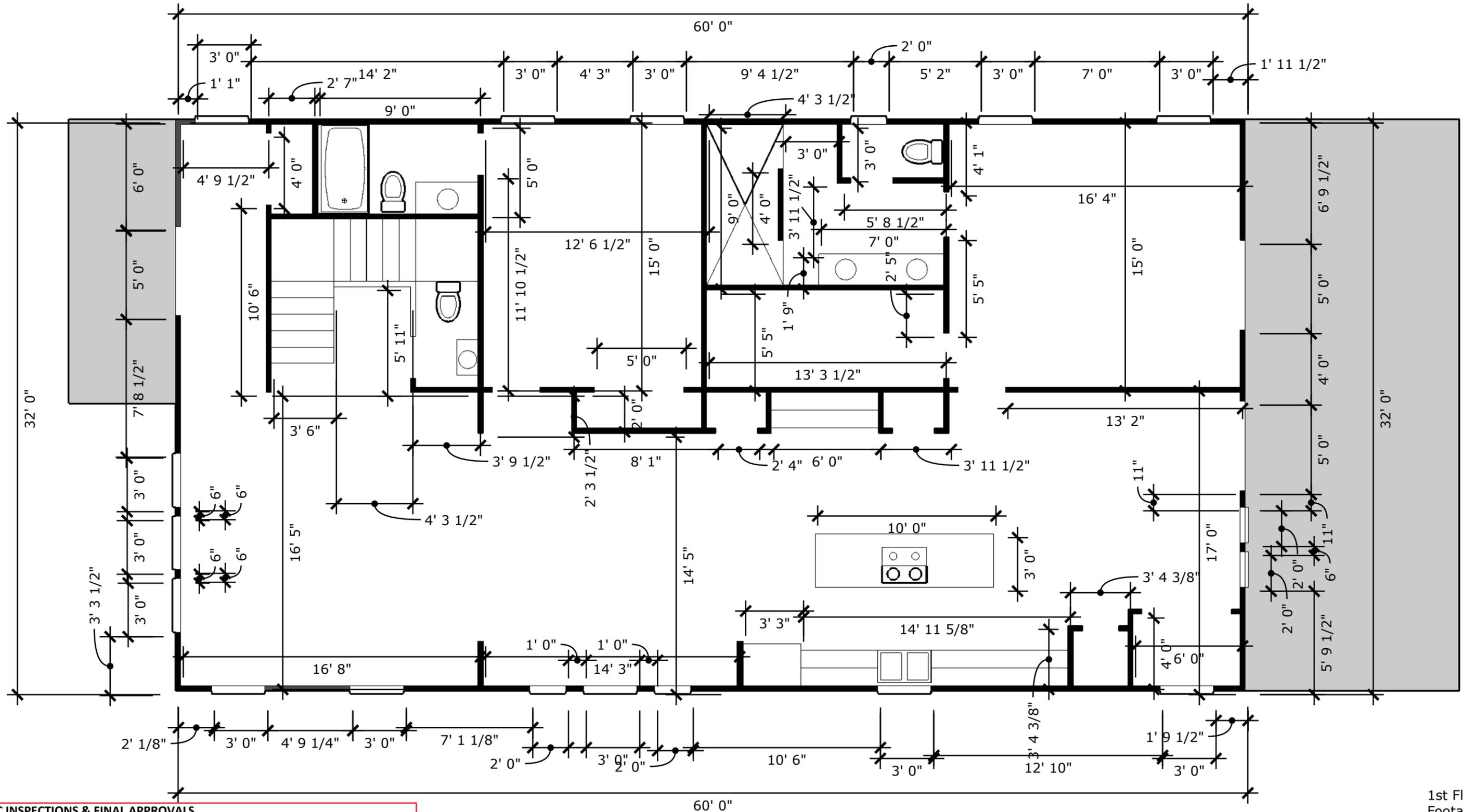


- MHZC INSPECTIONS & FINAL APPROVALS**
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS
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 - b. After the foundation wall has been constructed
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 2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Utility location
 - d. Parking pad
 - e. Front walkway

Third Coast Builders
708 Brockten St.
Lebanon, TN. 37087

Project:
1115 Greenwood Ave.
Nashville, TN. 37206

Scale 1" = 15' ISO ELEVATION



1st Floor Square Footage =
1,920 sf

MHZC INSPECTIONS & FINAL APPROVALS
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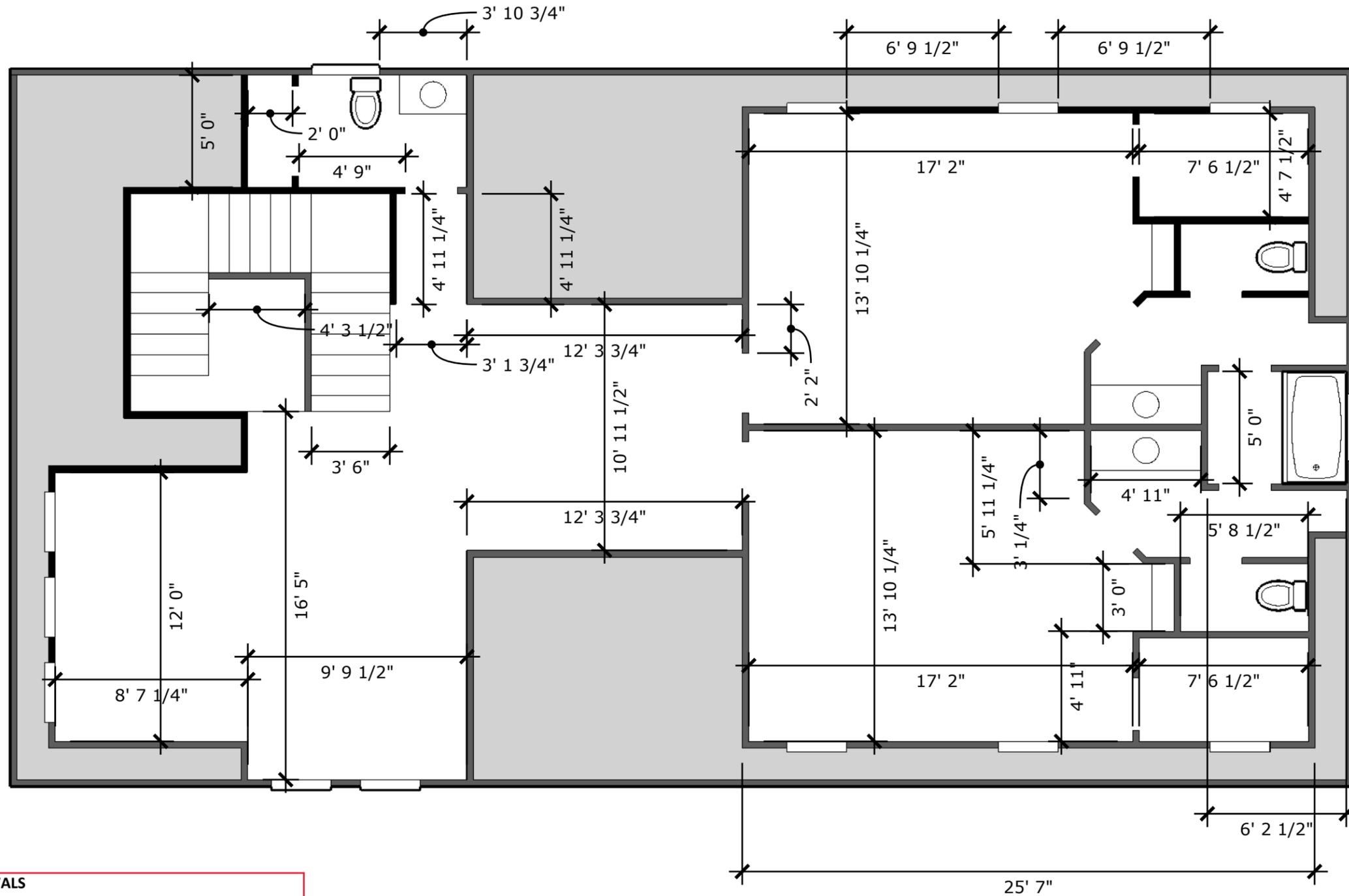
rd Ave.
7206

Scale 3/16" = 1' MAIN FLOOR

Page 6

Please see 2nd floor plan for additional plans notes.

ALL DORMERS ARE SET IN 2' FROM OUTSIDE WALL OF HOUSE.



2nd Floor Square Footage =
1,150 sf
Total Square Footage =
3,070 sf

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3. This permit does not permit use.

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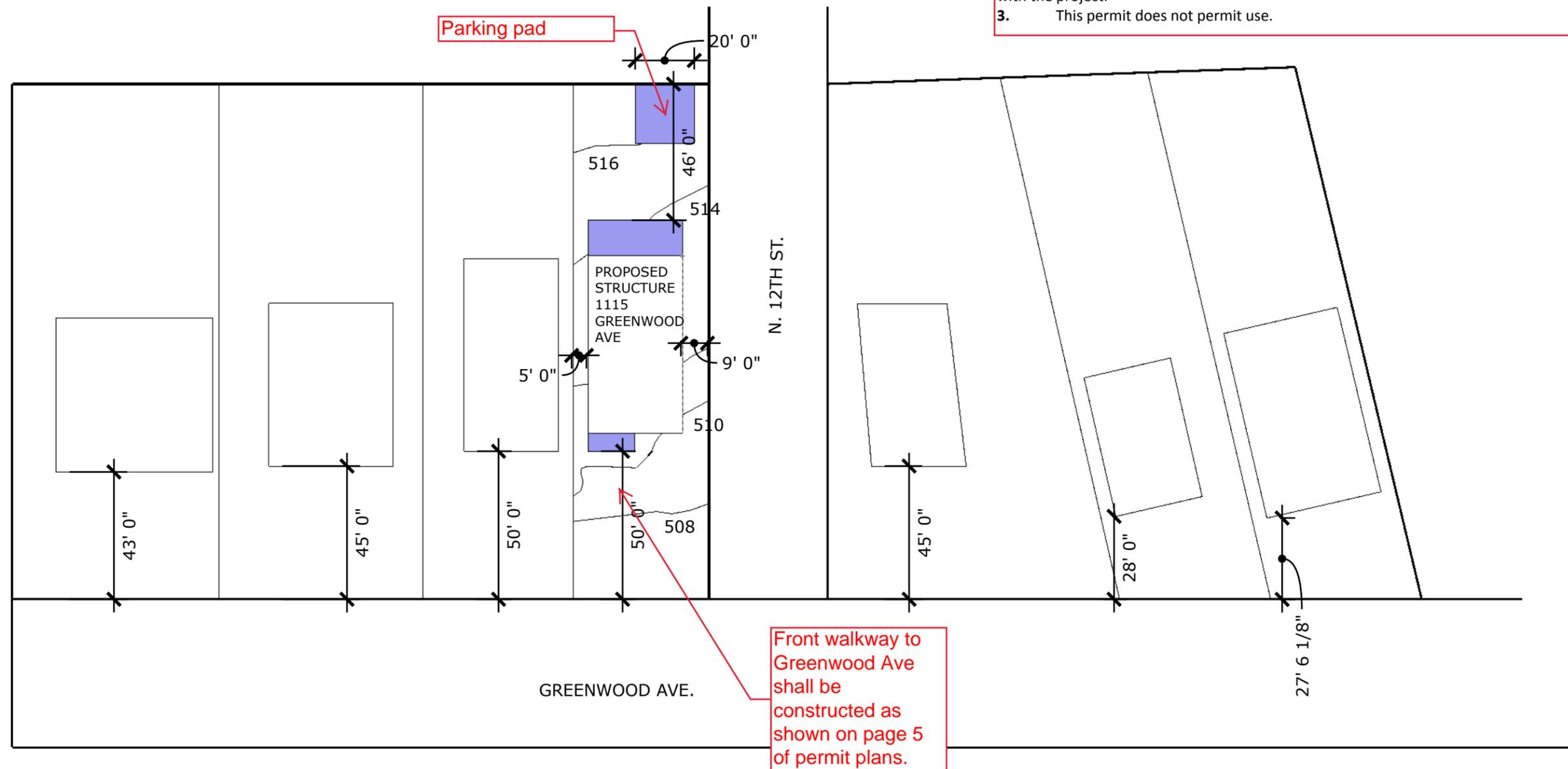
d Ave.
7206

Scale " 3/16= 1'

2ND FLOOR

MHJC NOTES; CALL 862-7970 IF QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHJC for a revision of the permit prior to construction or material purchase.
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3. This permit does not permit use.



Front walkway to Greenwood Ave shall be constructed as shown on page 5 of permit plans.

- MHJC INSPECTIONS & FINAL APPROVALS**
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS
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1 Ave.
206

Scale: 1" = 40'

SITE PLAN W/
TOPO